

SITE INFORMATION
 PARCEL ID: R06500-003-004-000
 CURRENT ZONING: RB-CD & O&I-1-CD
 PROPOSED USE: MIXED USE
 TOTAL SITE AREA: 34.98 ACRES
 OWNER INFORMATION: BARCLAY COMMONS RETAIL, LLC
 111 METROPOLITAN AVE, SUITE 700
 CHARLOTTE, NC 28204

FLOOD INFORMATION:
 THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312500J, DATED APRIL 3, 2006

CAMA LAND USE CLASSIFICATION:
 DRAINAGE EASEMENTS: URBAN
 MB 51 PG 9-13

TOTAL IMPERVIOUS AREA:
 BUILDINGS 9 & 10: 25,488 SF
 BUILDINGS 9 & 10: 15,800 SF
 APPROVED PH 1: 655,141 SF
 REMAINING IMPERVIOUS: 385,885 SF

ZONING ACREAGE:
 RB-CD: 34.21 AC
 O&I-1-CD: 0.77 AC

PHASE 2 TABULATIONS

- TOTAL PH 2 AREA: 7.23 AC
- TOTAL BUILDING SF: ± 15,800 SF
- BUILDING 9: ± 6,700 SF
- BUILDING 10: ± 9,100 SF
- TOTAL PH 2 BUILDING 9 & 10 AREA AND PARKING: ± 1.87 AC OUT OF 7.23 AC
- PH 2 BUILDING COVERAGE: 15,800 SF / 7.23 AC = 5% COVERAGE
- TOTAL PH 1 AND PH 2 BUILDING COVERAGE: (15,800 SF + 74,101 SF) / 29.62 AC = 7% COVERAGE

DIMENSIONAL REQUIREMENTS

RB - REGIONAL BUSINESS

- MINIMUM LOT AREA: 1 ACRE
- MINIMUM LOT WIDTH: 100'
- MAXIMUM LOT COVERAGE: 40%
- MINIMUM FRONT SETBACK: 0' (RB-CD)
- MINIMUM REAR SETBACK: 15'
- MINIMUM INTERIOR SIDE SETBACK: 0'
- MINIMUM CORNER LOT SIDE SETBACK: 25'
- MAXIMUM BUILDING HEIGHT: 35'

O&I-1 - OFFICE & INSTITUTIONAL 1

- MINIMUM LOT AREA: 15,000 SF
- MAXIMUM LOT COVERAGE: 40%
- MINIMUM LOT WIDTH: 80'
- MINIMUM FRONT SETBACK: 20'
- MINIMUM REAR SETBACK: 20'
- MINIMUM INTERIOR SIDE SETBACK: 10'
- MINIMUM CORNER LOT SIDE SETBACK: 20'
- MAXIMUM BUILDING HEIGHT: 45'

GENERAL ZONING AND PERMITTING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY APPROVED PLANS, STANDARDS, AND SPECIFICATIONS.
- LIMITS OF DISTURBANCE: PREVIOUSLY PERMITTED = 71.16 AC (PERMITTED DURING PHASE 1)
- CONTRACTOR SHALL GAIN ACCESS TO SITE THROUGH THE EXISTING CONSTRUCTION ENTRANCE ALONG GEORGE ANDERSON DRIVE AND LIMITS OF DISTURBANCE DEPICTED ON THE BARCLAY WEST GALLERY PARK BOULEVARD PLANS PREPARED BY HANOVER DESIGN SERVICES DATED 04.21.15 LAST REVISED 06.09.15 UNTIL INGRESS / EGRESS IS ALLOWED AND APPROVED ALONG FUTURE GALLERY PARK BOULEVARD.
- IT IS POSSIBLE THAT CONSTRUCTION OF GALLERY PARK BOULEVARD MAY BE ONGOING AT THE TIME OF CLEARING AND MASS GRADING CONSTRUCTION AS DEPICTED ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH OWNER / OWNER'S REPRESENTATIVE SCHEDULE AND CONSTRUCTION ACTIVITIES TO MINIMIZE DELAYS OR INTERFERENCE WITH ANY OTHER CONTRACTORS OR SUBCONTRACTORS.
- PER HANOVER DESIGN SERVICES, P.A. SURVEY AND PLANS DATED 04.21.15 LAST REVISED 06.09.15, '404 WETLANDS DO NOT EXIST ON SITE PER U.S. CORPS OF ENGINEERS DETERMINATION. SEE ACTION SAW-2012-01938. DETERMINATION EXPIRATION DATE 01-18-2016.
- PERMITTED EROSION CONTROL LIMITS OF DISTURBANCE TAKEN FROM BARCLAY WEST GALLERY PARK BOULEVARD PLANS PREPARED BY HANOVER DESIGN SERVICES, P.A. DATED 04.21.15 LAST REVISED 06.09.15.
- THE PROPOSED GALLERY PARK BOULEVARD AND WET DETENTION POND AS SHOWN HAVE BEEN TAKEN FROM A CAD FILE PROVIDED BY HANOVER DESIGN SERVICES, P.A. ON 06.04.15. ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CONFIRM THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER WITH ANY DISCREPANCIES.
- FOR ADDITIONAL INFORMATION PERTAINING TO THE COMMERCIAL TRACTS, REFERENCE PARAMOUNT ENGINEERING PLANS PREVIOUSLY SUBMITTED TO THE CITY OF WILMINGTON INCLUDING: TRC PLANS, LANDSCAPE PLANS, STORMWATER PLANS, CFPUA UTILITY PLANS, AND EROSION CONTROL PLANS.

CITY STANDARD NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
- CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATION, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910.341.0698.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
- ANY PVC MAINS ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS, ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3' COVER.

PARKING DATA
 PREVIOUSLY APPROVED TOTAL PH 1 PARKING PROVIDED: 863 SPACES
 PREVIOUSLY APPROVED TOTAL PH 1 PARKING PROVIDED: 940 SPACES

PHASE 2 TRACT BREAK OUT PARKING SUMMARY:
TOTAL PHASE 2 PARKING REQUIRED: 65 SPACES
 REQUIRED:
 RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS)
 RETAIL: 1 SPACE PER 400 SF
 RESTAURANT: 1,900 SF - 1,000 SF KITCHEN/ RESTROOMS = 900 SF/ 80 SF = 11.25 OR 12 SPACES
 RETAIL: 4,800 SF/ 400 SF = 12 SPACES
 RESTAURANT: 4,700 SF - 2,340 SF KITCHEN/ RESTROOMS = 2,360 SF/ 80 SF = 29.5 OR 30 SPACES
 RETAIL: 4,400 SF/ 400 SF = 11 SPACES

DEDICATED PARKING:
 BUILDING 9: 29 SPACES
 BUILDING 10: 6 SPACES
 SHARED PARKING WITH PH 1: 55 SPACES

TOTAL PH 2 PARKING SPACES PROVIDED: 90 SPACES TOTAL
 TOTAL PH 2 HANDICAP SPACES REQUIRED: 3 SPACES INCLUDING 1 VAN SPACES
 TOTAL PH 2 PROVIDED: 4 SPACES INCLUDING 2 VAN SPACES

TOTAL PH 2 BIKE PARKING REQUIRED: 5 SPACES PER CITY ORDINANCE SECTION 18-228F
TOTAL PH 2 BIKE PARKING PROVIDED: 9 SPACES PROVIDED

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

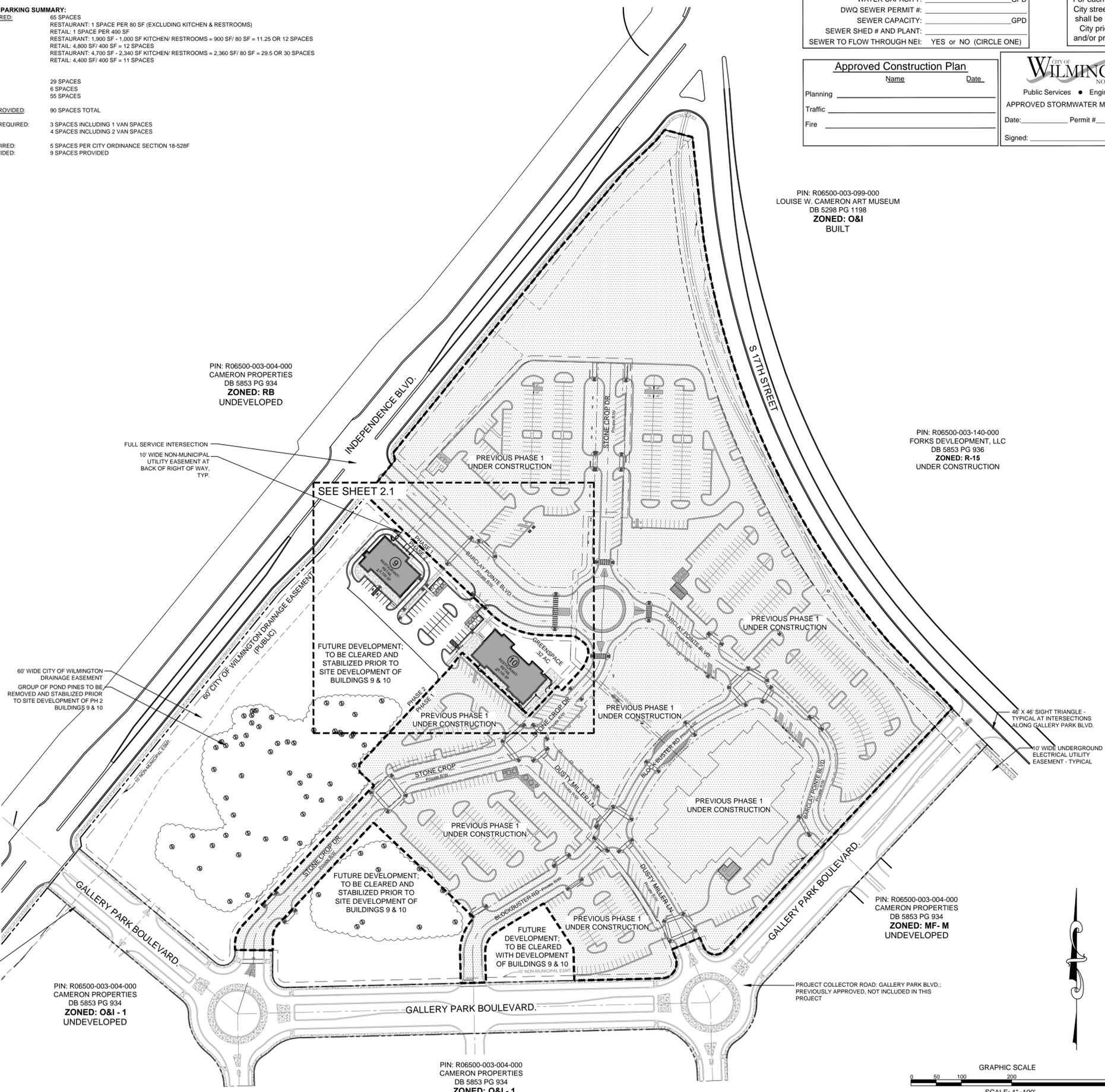
Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____



PIN: R06500-003-099-000
 LOUISE W. CAMERON ART MUSEUM
 DB 5298 PG 1198
ZONED: O&I BUILT

PIN: R06500-003-140-000
 FORKS DEVELOPMENT, LLC
 DB 5853 PG 936
ZONED: R-15 UNDER CONSTRUCTION

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: MF-M UNDEVELOPED

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1 UNDEVELOPED

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1 UNDEVELOPED



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
 (Rev. 1 - Revised per TRC comments)

CLIENT INFORMATION:
 Barclay Commons Retail, LLC
 111 Metropolitan Ave, Suite 700
 Charlotte, NC 28204

PARAMOUNT ENGINEERING
 5911 Oleander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) / (910) 791-6760 (F)
 NC License #: C-2846

OVERALL SITE PLAN
 THE POINTE AT BARCLAY - PHASE 2
 BUILDINGS 9 & 10
 BARCLAY WEST TRACT B
 CITY OF WILMINGTON
 NORTH CAROLINA

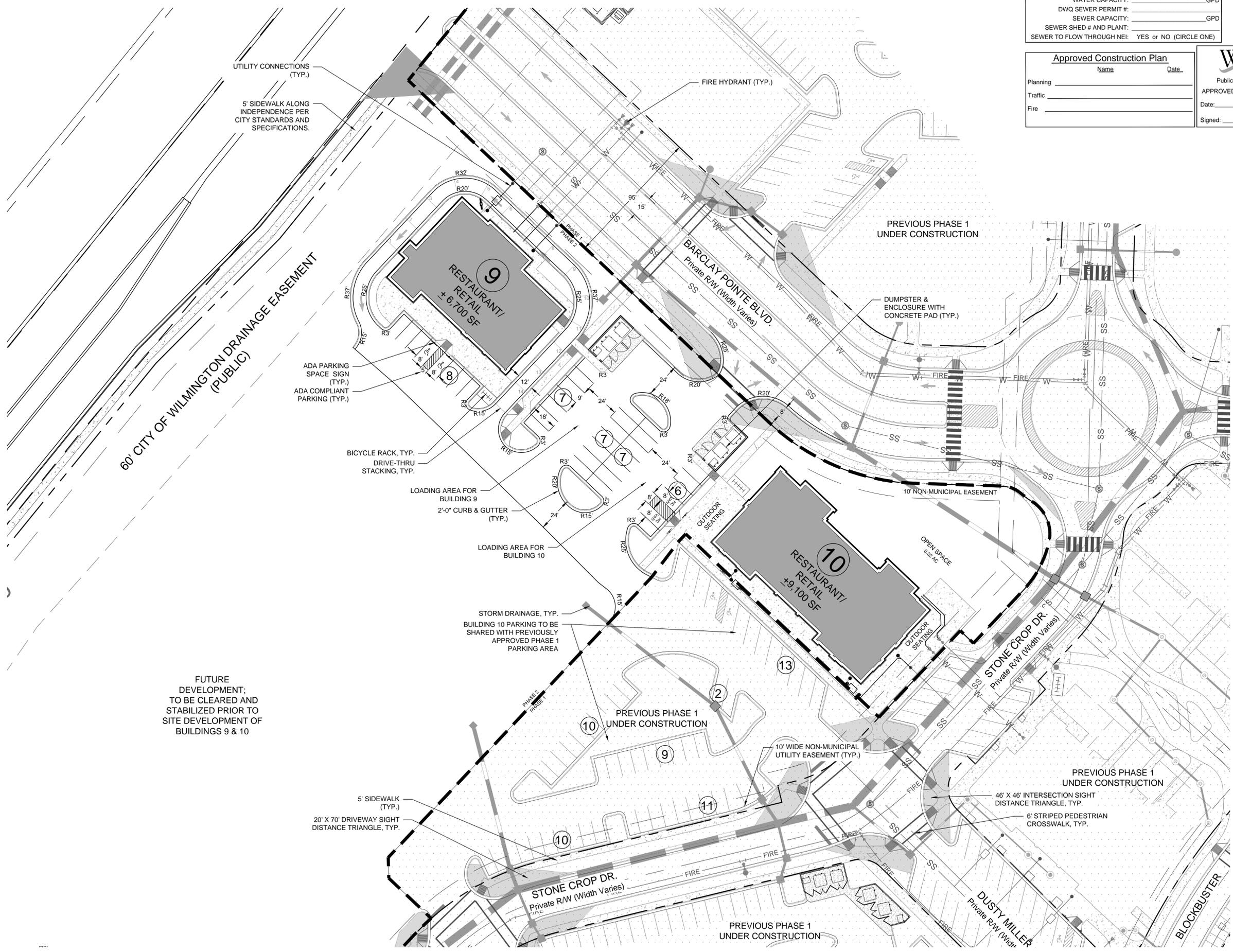
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONST.

DRAWING INFORMATION:
 DATE: 03/09/16
 1" DWG
 JAM
 JAM
 JAM

SEAL

C-2.0

PEI JOB#: 14222.PE



NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

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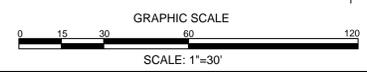
Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit #: _____
 Signed: _____

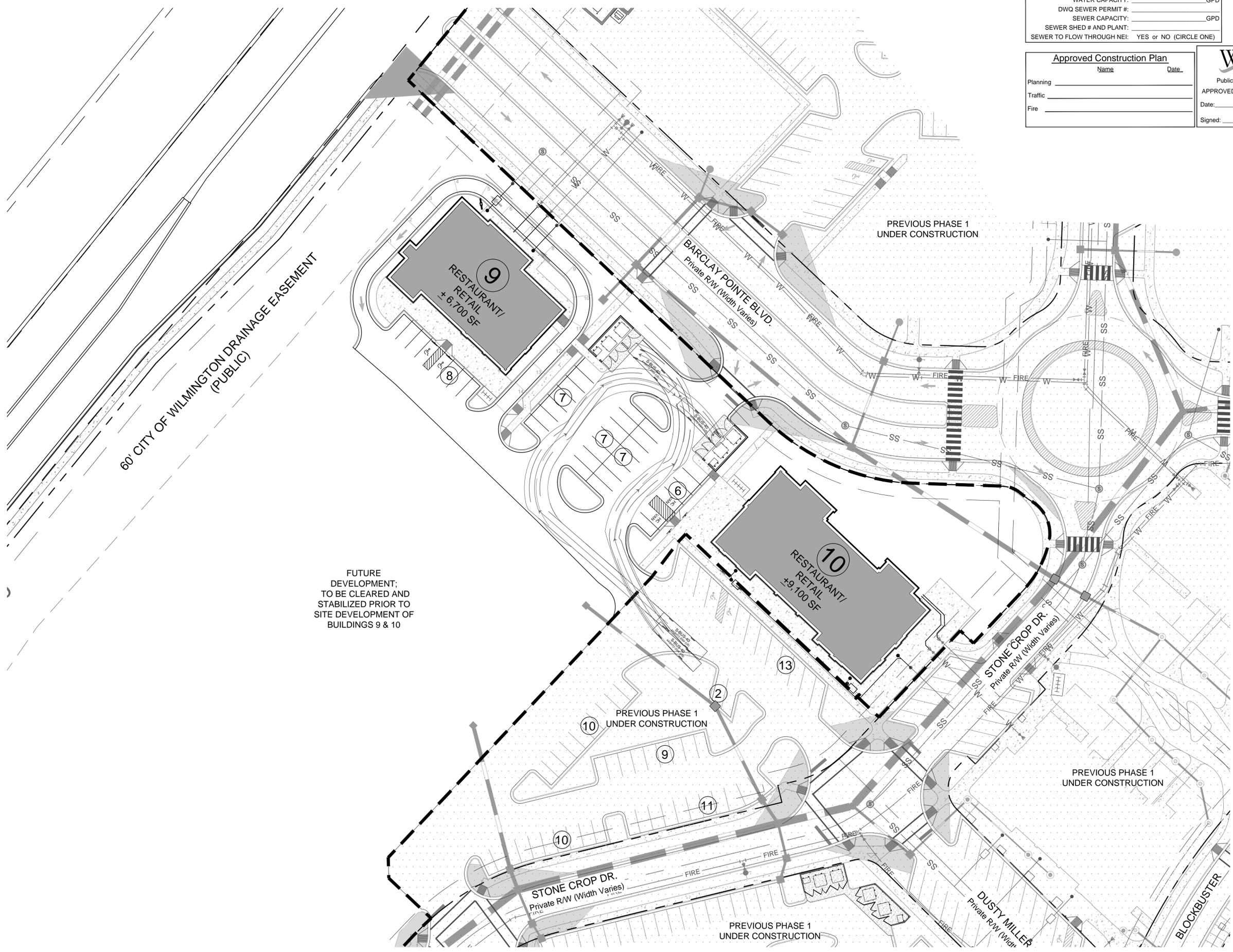
60' CITY OF WILMINGTON DRAINAGE EASEMENT (PUBLIC)

FUTURE DEVELOPMENT;
 TO BE CLEARED AND
 STABILIZED PRIOR TO
 SITE DEVELOPMENT OF
 BUILDINGS 9 & 10

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



REVISIONS: REVISION 1 - Revised per TEC comments	
CLIENT INFORMATION: Barclay Commons Retail, LLC 111 Metropolitan Ave, Suite 700 Charlotte, NC 28204	
PARAMOUNT ENGINEERING 5911 Oleander Drive, Suite 201 Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	
SITE PLAN THE POINTS AT BARCLAY - PHASE 2 BUILDINGS 9 & 10 'BARCLAY WEST' TRACT B' CITY OF WILMINGTON NORTH CAROLINA	
PROJECT STATUS CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.	DRAWING INFORMATION DATE: 03.09.18 DRAWN: JDM DESIGNED: JDM CHECKED: JDM
SEAL	C-2.1 PEI JOB#: 14222.PE



NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

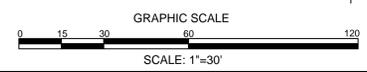
CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____



REVISIONS:

REV. 1 - Revised per TEC comments	
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CLIENT INFORMATION:

Barclay Commons Retail, LLC
111 Metropolitan Ave, Suite 700
Charlotte, NC 28204

PARAMOUNT ENGINEERING

5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
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TRUCK TURN EXHIBIT 1
THE POINTE AT BARCLAY - PHASE 2
BUILDINGS 9 & 10
BARCLAY WEST TRACT B
CITY OF WILMINGTON
NORTH CAROLINA

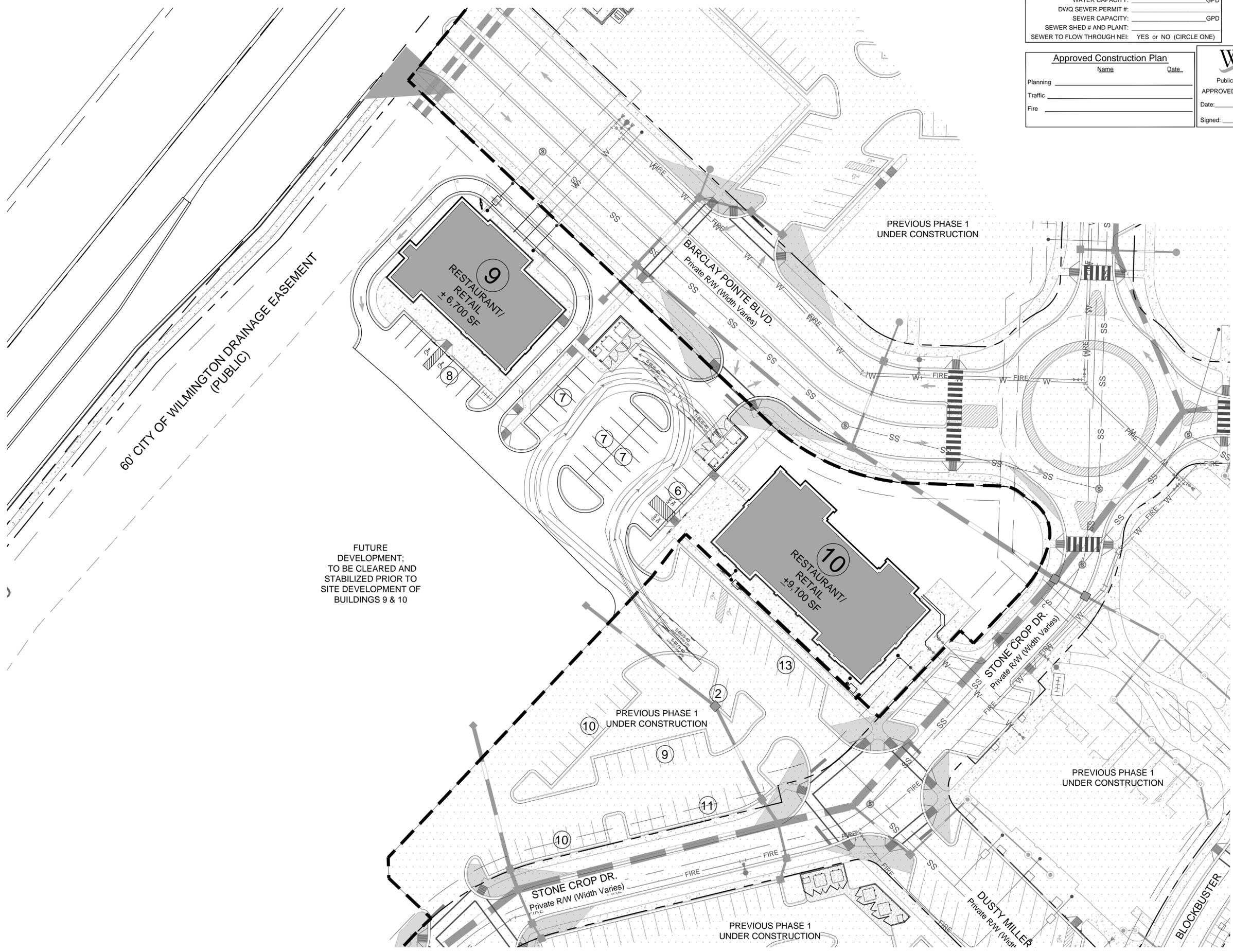
PROJECT STATUS	03.09.18
CONCEPTUAL LAYOUT:	1
PRELIMINARY LAYOUT:	1
RELEASED FOR CONST.:	1
DRAWING INFORMATION	
DATE:	03.09.18
DESIGNED:	JDM
DRAWN:	JDM
CHECKED:	AME

SEAL

EX-1

PEI JOB#: 14222.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWO SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

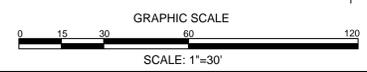
CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____



REVISIONS:

REV. #	DESCRIPTION
1	Revised per TEC comments

CLIENT INFORMATION:

Barclay Commons Retail, LLC
111 Metropolitan Ave, Suite 700
Charlotte, NC 28204

PARAMOUNT ENGINEERING

5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

TRUCK TURN EXHIBIT 2
THE POINTE AT BARCLAY - PHASE 2
BUILDINGS 9 & 10
BARCLAY WEST TRACT B
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS	CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.:
DRAWING INFORMATION	DATE: 03.09.16 DRAWN: JOM DESIGNED: JOM CHECKED: JOM

SEAL

EX-2

PEI JOB#: 14222.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

SITE INFORMATION

PARCEL ID: R06500-003-004-000
 CURRENT ZONING: RB-CD & O&I -1-CD
 PROPOSED USE: MIXED USE
 TOTAL SITE AREA: 34.98 ACRES
 OWNER INFORMATION: BARCLAY COMMONS RETAIL, LLC
 2508 INDEPENDENCE BLVD, SUITE 202
 WILMINGTON, NC

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- STAKE ALL TREES AS SHOWN IN DETAIL OR AS OTHERWISE DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- SET ALL TREES IN 5" MINIMUM DIAMETER PINE STRAW MULCH BED.
- ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING SEEDED AREAS SHALL BE MULCHED WITH 3" INCH MINIMUM AND 4" INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SEED. ALL TURF AREAS MUST BE IRRIGATED OR HAND WATERED. ALL TURF AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND. REFERENCE PLANT SCHEDULE FOR TURF SELECTION.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED. ALL MATERIAL INCLUDING TURF AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- STREET TREES WILL BE PLANTED AS CLOSE TO CITY REGULATIONS AS POSSIBLE; HOWEVER, SITE CONDITIONS INCLUDING THE LOCATIONS OF DRIVEWAYS, SIGNS, ETC. MAY REQUIRE ADJUSTMENT FROM PROPOSED PLAN. PROPOSED POND BANK STABILIZATION WILL INCLUDE ORNAMENTAL GRASSES FROM TOP OF BANK TO WATER LEVEL AND WILL COMPLY WITH CITY STANDARD SD 15-16.
- ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10' IN ACCORDANCE WITH SECTION 18-556 OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- ANY TREES NEAR ROADWAYS AND WALKWAYS BUT LOCATED OUTSIDE OF DESIGNATED SIGHT DISTANCE TRIANGLES WILL BE MAINTAINED TO PROVIDE CLEAR SIGHT LINES UP TO 10'.
- IN CASES WHERE SIGHT DISTANCE TRIANGLES INTERFERE WITH OTHER REQUIRED BUFFER OR PLANTING AREAS, THE SIGHT DISTANCE TRIANGLE WAS MAINTAINED AND PLANTINGS WERE ADJUSTED TO ALLOW FOR PROPER SIGHT LINES.
- AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED BY OWNER.
- ALL TREE LOCATIONS WILL BE ADJUSTED AS NEEDED WITH LIGHT LOCATIONS.
- TREES SHALL BE PLANTED NO LESS THAN 5' FROM SEWER AND WATER LINES.
- ALL LANDSCAPE PLANTINGS WILL BE COMPLIANT WITH ARTICLE 8 OF THE CITY OF WILMINGTON LDC.
- IF OWNER REQUESTS ADDITIONAL PLANTINGS WITHIN SIGHT TRIANGLES, ALL PLANTINGS WILL BE LIMITED TO SHRUBS AND/OR ORNAMENTAL GRASSES LESS THAN 30" IN HEIGHT.

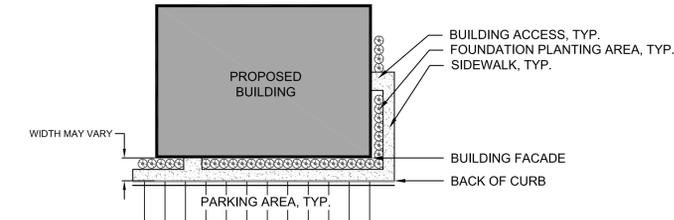
Landscape Calculations

Required Foundation Plantings												Provided			
Phase 2															
Location	Bldg. Hgt.	LF - Front	Front SF (LF x Bldg. Hgt. x .12)	LF - Rear	Rear SF (LF x Bldg. Hgt. x .12)	LF - Side A	Side A SF (LF x Bldg. Hgt. x .12)	LF - Side B	Side B SF (LF x Bldg. Hgt. x .12)	Front SF Provided	Rear SF Provided	Side A SF Provided	Side B SF Provided		
Building 9	25	111	333	111	333	76	228	65	195	208	375	344	308		
Building 10	25	143	429	143	429	76	228	76	228	0	744	200	0		

LANDSCAPE CALCULATIONS:

SHADING REQUIREMENTS:
 PH 1 REQUIRED: 23.6 AC X 0.20 = 4.72 AC
 5.59 AC OR 243,828 SF
 PH 2 BLDG 9 & 10 REQUIRED: 1.87 AC X 0.20 = 0.37 AC
 5.59 AC OR 243,828 SF
 PH 2 BLDG 9 & 10 PROVIDED: 7 LARGE CANOPY @ 707 SF = 4,949 SF OR 0.12 AC

ALL COMBINED PHASES:
 REQUIRED: 4.72 AC + 0.37 AC = 5.09 AC
 PROVIDED: 5.59 AC + 0.12 AC = 5.71 AC



A TYPICAL FOUNDATION PLANTING DETAILS

FOUNDATION PLANTING NOTES:

- LOCATION OF ± 3' HGT. PLANTINGS MAY VARY BASED ON BUILDING AND SITE DESIGN.
- LANDSCAPING TO BE LOCATED BETWEEN THE BACK OF CURB AND BUILDING FACADE.
- ALL FOUNDATION PLANTINGS SHALL BE COMPLIANT WITH ARTICLE 8 SECTION 18-490 OF THE CITY OF WILMINGTON LDC PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

PLANT SCHEDULE

Key	Qty	Common Name	Size & Specs.
Trees			
NUT	7	Nuttall Oak	3" cal. min.
Shrubs			
DGJ	9	Dwarf Gardenia 'Jubilation'	3 gal.; 12" hgt. min.; 3' o.c.
DYH	16	Dwarf Yaupon Holly	3 gal.; 12" hgt. min.; 3' o.c.
LOR	6	Loropetalum 'Ruby'	7 gal.; 12" hgt. min.; 5' o.c.
LORE	24	Loropetalum 'Ever Red'	3 gal.; 12" hgt. min.; 4' o.c.
PIT	46	Pittosporum 'Louisiana Green'	7 gal.; 12" hgt. min.; 3' o.c.
RH	6	Oakleaf Red Holly	8" hgt.; 8' o.c.
Grasses			
FG	35	Pennisetum 'Karley Rose'	3 gal.
MG	45	Pink Muhly Grass	3 gal.
Turf			
			Seed all disturbed areas and areas outside of plantbeds; contractor to verify seed or sod selection prior to purchase and installation
Centepede Seed			
Mulch			
Pine Straw Mulch			Apply at 3" depth min. and 4" depth max

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

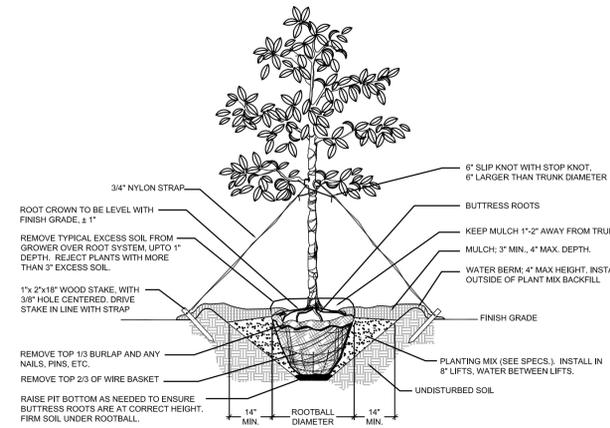


APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

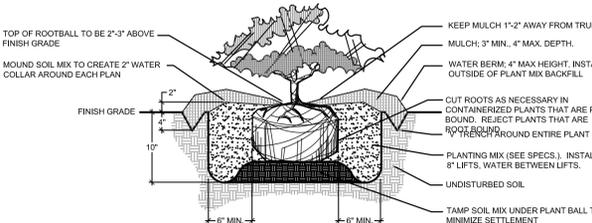
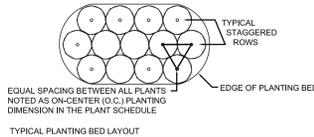
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



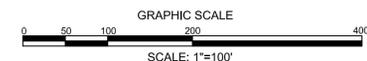
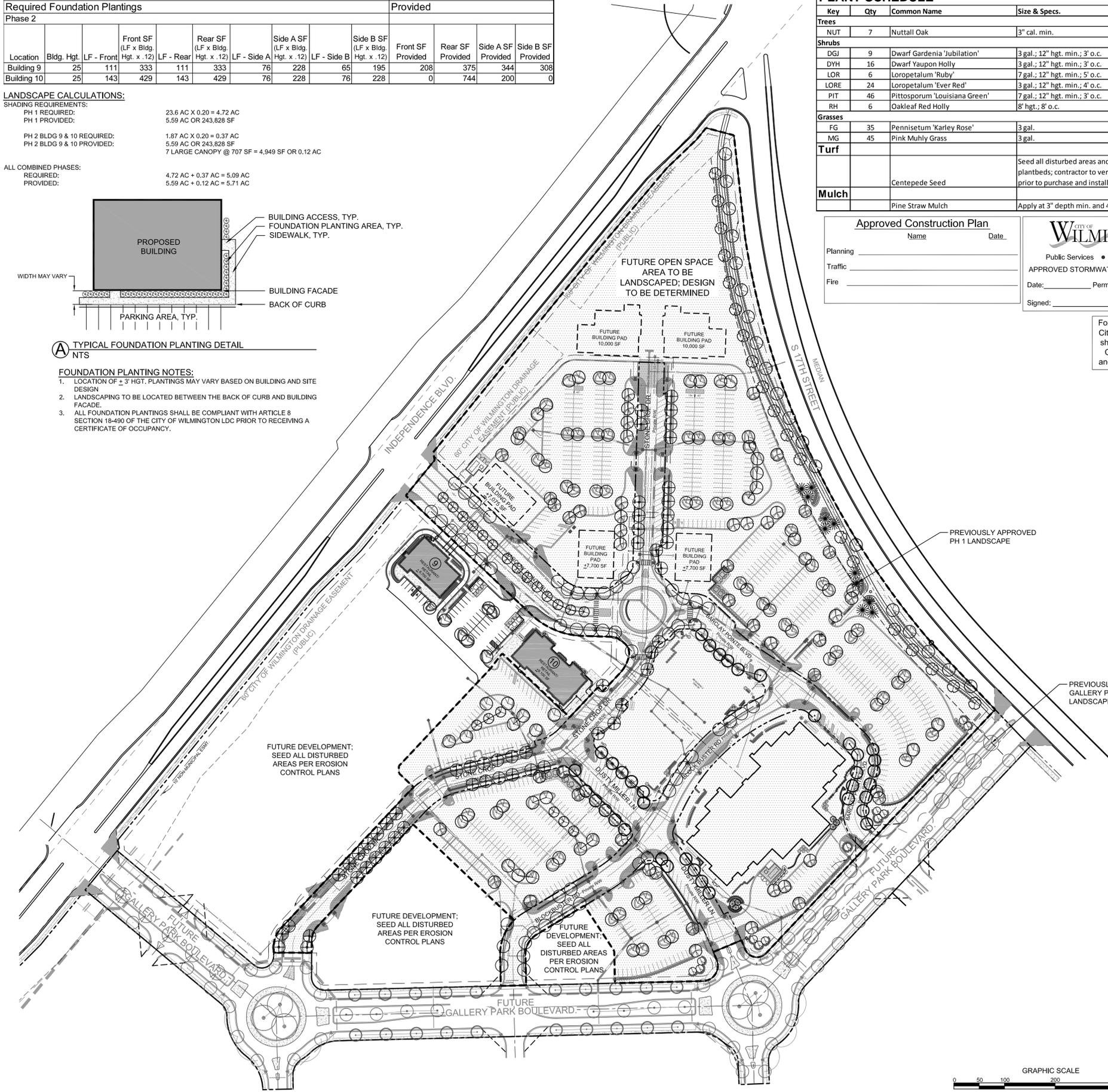
A SINGLE STEM TREE INSTALLATION DETAIL

NOTES:

- OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
- INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE
- TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL
- SOAK PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION.



B SHRUB INSTALLATION DETAIL



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:

Barclay Commons Retail, LLC
 111 Metropolitan Ave, Suite 700
 Charlotte, NC 28204

PARAMOUNTE ENGINEERING
 5911 Oleander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License # C-2846

OVERALL LANDSCAPE PLAN
THE POINTE AT BARCLAY - PHASE 2
BUILDINGS 9 & 10
'BARCLAY WEST TRACT B'
CITY OF WILMINGTON
NORTH CAROLINA

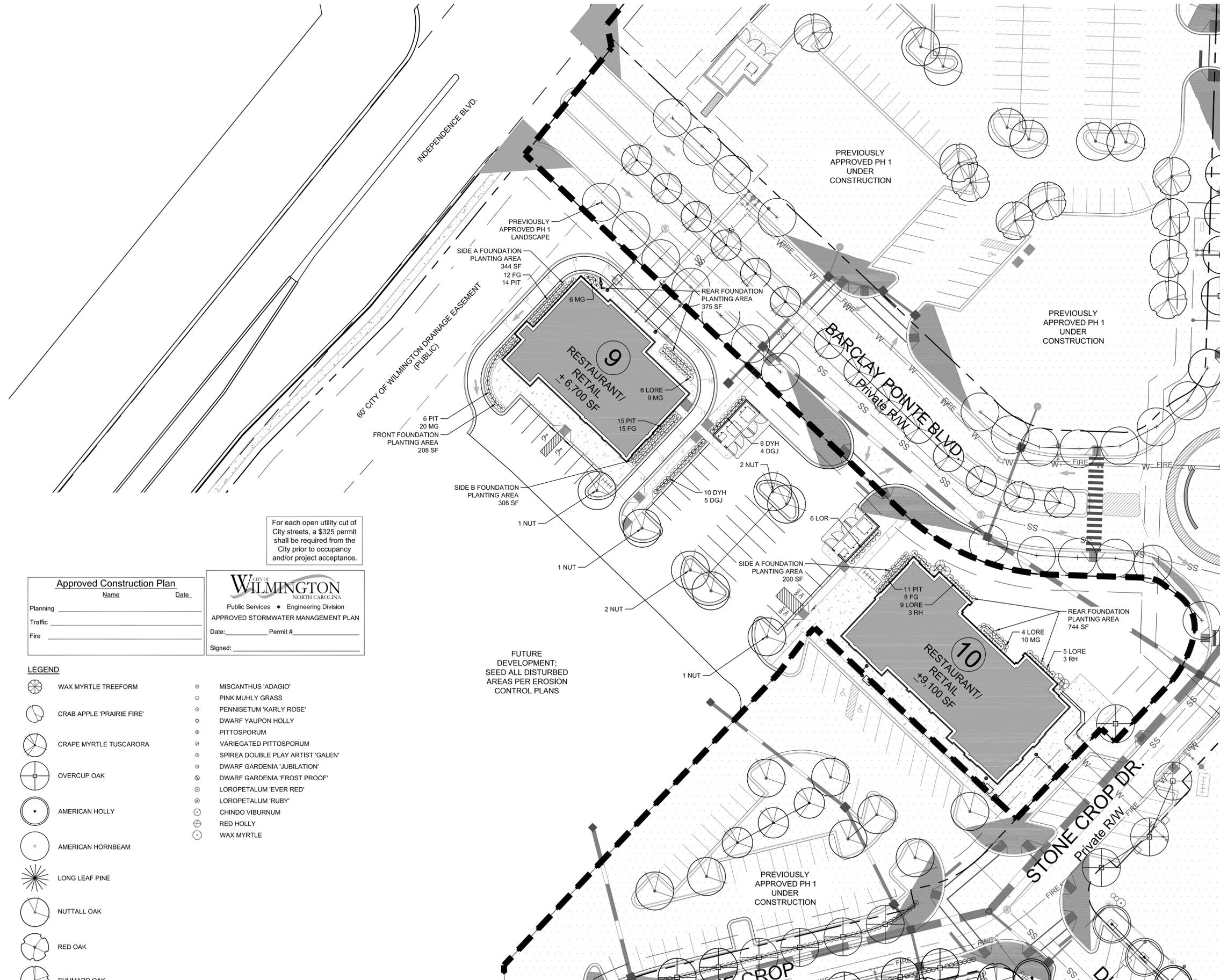
PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 FINAL DESIGN LAYOUT: _____
 RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
 DATE: 12/01/15
 SCALE: 1" = 100'
 DESIGNED: _____
 CHECKED: _____

SEAL

L-1.0

PEJ JOB#: 14222.PE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

- LEGEND**
- WAX MYRTLE TREEFORM
 - CRAB APPLE 'PRAIRIE FIRE'
 - CRAPE MYRTLE TUSCARORA
 - OVERCUP OAK
 - AMERICAN HOLLY
 - AMERICAN HORNBEAM
 - LONG LEAF PINE
 - NUTTALL OAK
 - RED OAK
 - SHUMARD OAK
 - MISCANTHUS 'ADAGIO'
 - PINK MUHLY GRASS
 - PENNISETUM 'KARLY ROSE'
 - DWARF YAUPON HOLLY
 - PITTOSPORUM
 - VARIEGATED PITTOSPORUM
 - SPIREA DOUBLE PLAY ARTIST 'GALEN'
 - DWARF GARDENIA 'JUBILATION'
 - DWARF GARDENIA 'FROST PROOF'
 - LOROPETALUM 'EVER RED'
 - LOROPETALUM 'RUBY'
 - CHINDO VIBURNUM
 - RED HOLLY
 - WAX MYRTLE

FUTURE DEVELOPMENT:
SEED ALL DISTURBED AREAS PER EROSION CONTROL PLANS



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p> <p>Rev. L - Revised per TRC comments</p>	
<p>CLIENT INFORMATION:</p> <p>Barclay Commons Retail, LLC 111 Metropolitan Ave, Suite 700 Charlotte, NC 28204</p>	
<p>PARAMOUNT ENGINEERING 5911 Olander Drive, Suite 201 Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6700 (F) NC License # Z-C-2846</p>	
<p>LANDSCAPE PLAN THE POINTE AT BARCLAY - PHASE 2 BUILDINGS 9 & 10 'BARCLAY WEST TRACT B' CITY OF WILMINGTON NORTH CAROLINA</p>	
<p>PROJECT STATUS</p> <p>CONCEPTUAL LAYOUT: _____</p> <p>FINAL DESIGN: _____</p> <p>RELEASED FOR CONSTRUCTION: _____</p>	<p>DRAWING INFORMATION</p> <p>DATE: 12/15/15</p> <p>SCALE: 1"=30'</p> <p>DESIGNED: _____</p> <p>CHECKED: _____</p>
<p>SEAL</p>	
<p>L-1.1</p>	
<p>PEJ JOB#: 14222.PE</p>	