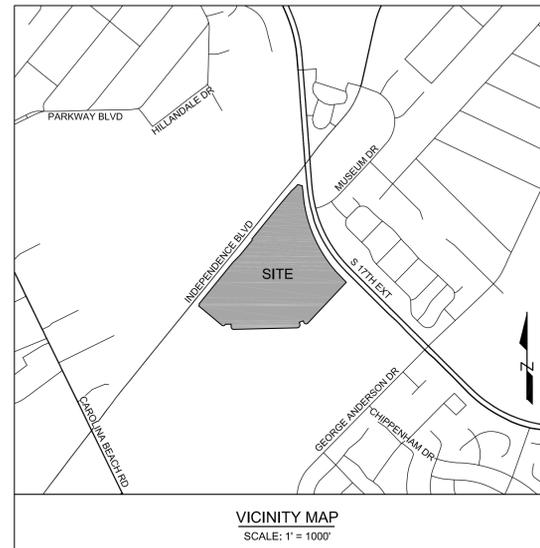


THE POINTE AT BARCLAY 'BARCLAY WEST TRACT B' - PHASE 2

WILMINGTON, NORTH CAROLINA

TRC SUBMITTAL SET MARCH 2016

PROJECT ADDRESS:
3401 INDEPENDENCE BLVD
Wilmington, NC 28412



OWNER:
COLLETT - CAMERON PROPERTIES
2508 INDEPENDENCE BLVD, SUITE 202
WILMINGTON, NORTH CAROLINA 28412
ATTN: ADAIR GRAHAM JR., HILL RODGERS, OR RYAN MOSSER

CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS:
PARAMOUNTE ENGINEERING, INC.
5911 OLEANDER DRIVE, SUITE 201
WILMINGTON, NORTH CAROLINA 28403
ATTN: DAN WEEKS, RLA (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
INDEX	SITE PLAN
C-2.0	OVERALL SITE PLAN
C-2.1 - C-2.5	SITE PLAN
EX-1	SITE INVENTORY EXHIBIT

PREPARED BY:
PARAMOUNTE
ENGINEERING, INC.
5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6707 (P)
NC License # C-2846
PROJECT # 14222.PE



Know what's below.
Call before you dig.

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWO SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

CITY OF WILMINGTON, DEVELOPMENT SERVICES

ATTN: JIM DIEPENBROCK
PH: 910-341-3257

PIEDMONT NATURAL GAS
ATTN: CARL PIAQUET
PH: 910-350-2242

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)

ATTN: FRANK STYERS
PH: 910-332-6670

DUKE ENERGY PROGRESS
ATTN: KEVIN LEATHERWOOD
PH: 910-602-4304

BELL SOUTH
ATTN: STEVE DAYVAULT
PH: 910-392-8712

TIME WARNER CABLE
PH: 910-763-4638

REVISIONS:

CLIENT INFORMATION:
Barclay Commons Retail, LLC
111 Metropolitan Ave, Suite 700
Charlotte, NC 28204

PARAMOUNTE
ENGINEERING, INC.
5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6707 (P)
NC License # C-2846

COVER SHEET
THE POINTE AT BARCLAY - PHASE 2
'BARCLAY WEST TRACT B'
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS	CONCEPTUAL LAYOUT: _____
	FINAL DESIGN: _____
	RELEASED FOR CONSTRUCTION: _____
DRAWING INFORMATION	DATE: _____
	SCALE: _____
	DESIGNED: _____
	CHECKED: _____
	AS NOTED: _____
	DATE: _____
	BY: _____
	TITLE: _____

SEAL

C-0.0

PEI JOB#: 14222.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

SITE INFORMATION	
PARCEL ID:	R06500-003-004-000
CURRENT ZONING:	RB-CD & O&I-1-CD
PROPOSED USE:	MIXED USE
TOTAL SITE AREA:	34.58 ACRES
OWNER INFORMATION:	BARCLAY COMMONS RETAIL, LLC 111 METROPOLITAN AVE, SUITE 700 CHARLOTTE, NC 28204
FLOOD INFORMATION:	THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312500J DATED APRIL 3, 2006
CAMA LAND USE CLASSIFICATION:	URBAN
DRAINAGE EASEMENTS:	RB-CD: 34.21 AC MB 51 PG 9-13
TOTAL IMPERVIOUS AREA:	
PH 2 PAVEMENT:	204,431 SF
PH 2 BLDGS:	5,500 SF
PH 2 FUTURE:	73,790 SF
APPROVED PH 1:	663,026 SF
REMAINING PH 1 IMPERVIOUS:	421,465 SF
ZONING ACREAGE:	TOTAL 1,388,212 SF (31.4 AC, 89%) RB-CD: 34.21 AC O&I-1-CD: 0.77 AC

PHASE 2 TABULATIONS	
TOTAL PH 2 AREA:	7.23 AC
TOTAL ESTIMATED BUILDING SF:	± 79,290 SF
BUILDING PAD 9:	± 5,500 SF
BUILDING PAD 10:	± 9,100 SF
BUILDING PAD 11:	± 39,040 SF
BUILDING PAD 12:	± 7,150 SF
BUILDING PAD 13:	± 7,150 SF
BUILDING PAD 14:	± 7,150 SF
BUILDING PAD 15:	± 4,200 SF
BUILDING COVERAGE:	79,290 SF / ± 7.23 AC = 25% COVERAGE

DIMENSIONAL REQUIREMENTS	
RE - REGIONAL BUSINESS	1 ACRE
MINIMUM LOT AREA:	100'
MINIMUM LOT WIDTH:	40%
MAXIMUM LOT COVERAGE:	0' (RB-CD)
MINIMUM FRONT SETBACK:	15'
MINIMUM REAR SETBACK:	0'
MINIMUM INTERIOR SIDE SETBACK:	20'
MINIMUM CORNER LOT SIDE SETBACK:	25'
MAXIMUM BUILDING HEIGHT:	35'

O&I-1 - OFFICE & INSTITUTIONAL 1	
MINIMUM LOT AREA:	15,000 SF
MAXIMUM LOT COVERAGE:	40%
MINIMUM LOT WIDTH:	80'
MINIMUM FRONT SETBACK:	20'
MINIMUM REAR SETBACK:	20'
MINIMUM INTERIOR SIDE SETBACK:	10'
MINIMUM CORNER LOT SIDE SETBACK:	20'
MAXIMUM BUILDING HEIGHT:	45'

GENERAL ZONING AND PERMITTING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY APPROVED PLANS, STANDARDS, AND SPECIFICATIONS.
- LIMITS OF DISTURBANCE:
PREVIOUSLY PERMITTED = 71.16 AC (PERMITTED DURING PHASE 1)
CONTRACTOR SHALL GAIN ACCESS TO SITE THROUGH THE EXISTING CONSTRUCTION ENTRANCE ALONG GEORGE ANDERSON DRIVE AND LIMITS OF DISTURBANCE DEPICTED ON THE BARCLAY WEST GALLERY PARK BOULEVARD PLANS PREPARED BY HANOVER DESIGN SERVICES DATED 04.21.15 LAST REVISED 06.09.15 UNTIL INGRESS / EGRESS IS ALLOWED AND APPROVED ALONG FUTURE GALLERY PARK BOULEVARD.
- IT IS POSSIBLE THAT CONSTRUCTION OF GALLERY PARK BOULEVARD MAY BE ONGOING AT THE TIME OF CLEARING AND MASS GRADING CONSTRUCTION AS DEPICTED ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH OWNER / OWNER'S REPRESENTATIVE SCHEDULE AND CONSTRUCTION ACTIVITIES TO MINIMIZE DELAYS OR INTERFERENCE WITH ANY OTHER CONTRACTORS OR SUBCONTRACTORS.
- PER HANOVER DESIGN SERVICES, P.A. SURVEY AND PLANS DATED 04.21.15 LAST REVISED 06.09.15, *04 WETLANDS DO NOT EXIST ON SITE PER U.S. CORPS OF ENGINEERS DETERMINATION. SEE ACTION SAW-2012-01936. DETERMINATION EXPIRATION DATE 01-18-2018.*
- PERMITTED EROSION CONTROL LIMITS OF DISTURBANCE TAKEN FROM BARCLAY WEST GALLERY PARK BOULEVARD PLANS PREPARED BY HANOVER DESIGN SERVICES, P.A. DATED 04.21.15 LAST REVISED 06.09.15.
- THE PROPOSED GALLERY PARK BOULEVARD AND WET DETENTION POND AS SHOWN HAVE BEEN TAKEN FROM A CAD FILE PROVIDED BY HANOVER DESIGN SERVICES, P.A. ON 06.04.15. ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CONFIRM THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER WITH ANY DISCREPANCIES.
- FOR ADDITIONAL INFORMATION PERTAINING TO THE COMMERCIAL TRACTS, REFERENCE PARAMOUNTE ENGINEERING PLANS PREVIOUSLY SUBMITTED TO THE CITY OF WILMINGTON INCLUDING: TRC PLANS, LANDSCAPE PLANS, STORMWATER PLANS, CFPJA UTILITY PLANS, AND EROSION CONTROL PLANS.

CITY STANDARD NOTES

- PRIOR TO ANY CLEARING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7885 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
- CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPJA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPJA WATER SHALL COMPLY WITH CFPJA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPJA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCCOR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATION, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910.341.0698.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
- ANY PVC MAINS ARE TO BE MARKED WITH NO.10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS, ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3' COVER.

PARKING DATA	
PREVIOUSLY APPROVED TOTAL PH 1 PARKING REQUIRED:	863 SPACES
PREVIOUSLY APPROVED TOTAL PH 1 PARKING PROVIDED:	940 SPACES
PHASE 2 TRACT BREAK OUT PARKING SUMMARY:	
TOTAL PHASE 2 PARKING REQUIRED:	274 SPACES
BUILDING 9:	RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS) RETAIL: 1 SPACE PER 400 SF 2,000 SF - 1,000 SF KITCHEN/ RESTROOMS = 1,000 SF/ 80 SF = 12.5 OR 13 SPACES 3,500 SF/ 400 SF = 8.75 OR 9 SPACES
BUILDING PAD 10:	RESTAURANT: 1 SPACE PER 400 SF GROCERY: 1 SPACE PER 400 SF 39,040 SF/ 400 SF = 97.6 OR 98 SPACES
BUILDING PAD 11:	GAS STATION: 1 SPACE PER 400 SF 7,150 SF/ 400 SF = 17.8 OR 18 SPACES
BUILDING PAD 12:	RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS) 7,150 SF - 2,385 SF KITCHEN/ RESTROOMS = 4,765 SF/ 80 SF = 59.5 OR 60 SPACES
BUILDING PAD 13:	RETAIL: 1 SPACE PER 400 SF 7,150 SF/ 400 SF = 17.8 OR 18 SPACES
BUILDING PAD 14:	RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS) 4,200 SF - 1,400 SF KITCHEN/ RESTROOMS = 2,800 SF/ 80 SF = 35 SPACES
BUILDING PAD 15:	
TOTAL ESTIMATED PH 2 BUILDING SF:	79,290 SF TOTAL
TOTAL PHASE 2 PARKING SPACES PROVIDED:	474 SPACES TOTAL
TOTAL HANDICAP SPACES REQUIRED:	11 SPACES INCLUDING 2 VAN SPACES
TOTAL PROVIDED:	18 SPACES INCLUDING 10 VAN SPACES (DISTRIBUTED TO SHARE PARKING ACROSS PH 1)
TOTAL BIKE PARKING REQUIRED:	20 SPACES PER CITY ORDINANCE SECTION 18-528F
TOTAL BIKE PARKING PROVIDED:	20 SPACES PROVIDED
TOTAL PHASE 1 & 2 PARKING REQUIRED:	1,175 SPACES
TOTAL PHASE 1 & 2 PARKING PROVIDED:	1,414 SPACES

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TOTAL HANDICAP SPACES REQUIRED:	11 SPACES INCLUDING 2 VAN SPACES
TOTAL PROVIDED:	18 SPACES INCLUDING 10 VAN SPACES (DISTRIBUTED TO SHARE PARKING ACROSS PH 1)
TOTAL BIKE PARKING REQUIRED:	20 SPACES PER CITY ORDINANCE SECTION 18-528F
TOTAL BIKE PARKING PROVIDED:	20 SPACES PROVIDED
TOTAL PHASE 1 & 2 PARKING REQUIRED:	1,175 SPACES
TOTAL PHASE 1 & 2 PARKING PROVIDED:	1,414 SPACES

PHASE 2 TRACT BREAK OUT PARKING SUMMARY:	
BUILDING 9:	RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS) RETAIL: 1 SPACE PER 400 SF 2,000 SF - 1,000 SF KITCHEN/ RESTROOMS = 1,000 SF/ 80 SF = 12.5 OR 13 SPACES 3,500 SF/ 400 SF = 8.75 OR 9 SPACES
BUILDING PAD 10:	RESTAURANT: 1 SPACE PER 400 SF GROCERY: 1 SPACE PER 400 SF 39,040 SF/ 400 SF = 97.6 OR 98 SPACES
BUILDING PAD 11:	GAS STATION: 1 SPACE PER 400 SF 7,150 SF/ 400 SF = 17.8 OR 18 SPACES
BUILDING PAD 12:	RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS) 7,150 SF - 2,385 SF KITCHEN/ RESTROOMS = 4,765 SF/ 80 SF = 59.5 OR 60 SPACES
BUILDING PAD 13:	RETAIL: 1 SPACE PER 400 SF 7,150 SF/ 400 SF = 17.8 OR 18 SPACES
BUILDING PAD 14:	RESTAURANT: 1 SPACE PER 80 SF (EXCLUDING KITCHEN & RESTROOMS) 4,200 SF - 1,400 SF KITCHEN/ RESTROOMS = 2,800 SF/ 80 SF = 35 SPACES
BUILDING PAD 15:	
TOTAL ESTIMATED PH 2 BUILDING SF:	79,290 SF TOTAL
TOTAL PHASE 2 PARKING SPACES PROVIDED:	474 SPACES TOTAL
TOTAL HANDICAP SPACES REQUIRED:	11 SPACES INCLUDING 2 VAN SPACES
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BUILDING PAD 15:	
TOTAL ESTIMATED PH 2 BUILDING SF:	79,290 SF TOTAL
TOTAL PHASE 2 PARKING SPACES PROVIDED:	474 SPACES TOTAL
TOTAL HANDICAP SPACES REQUIRED:	1

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

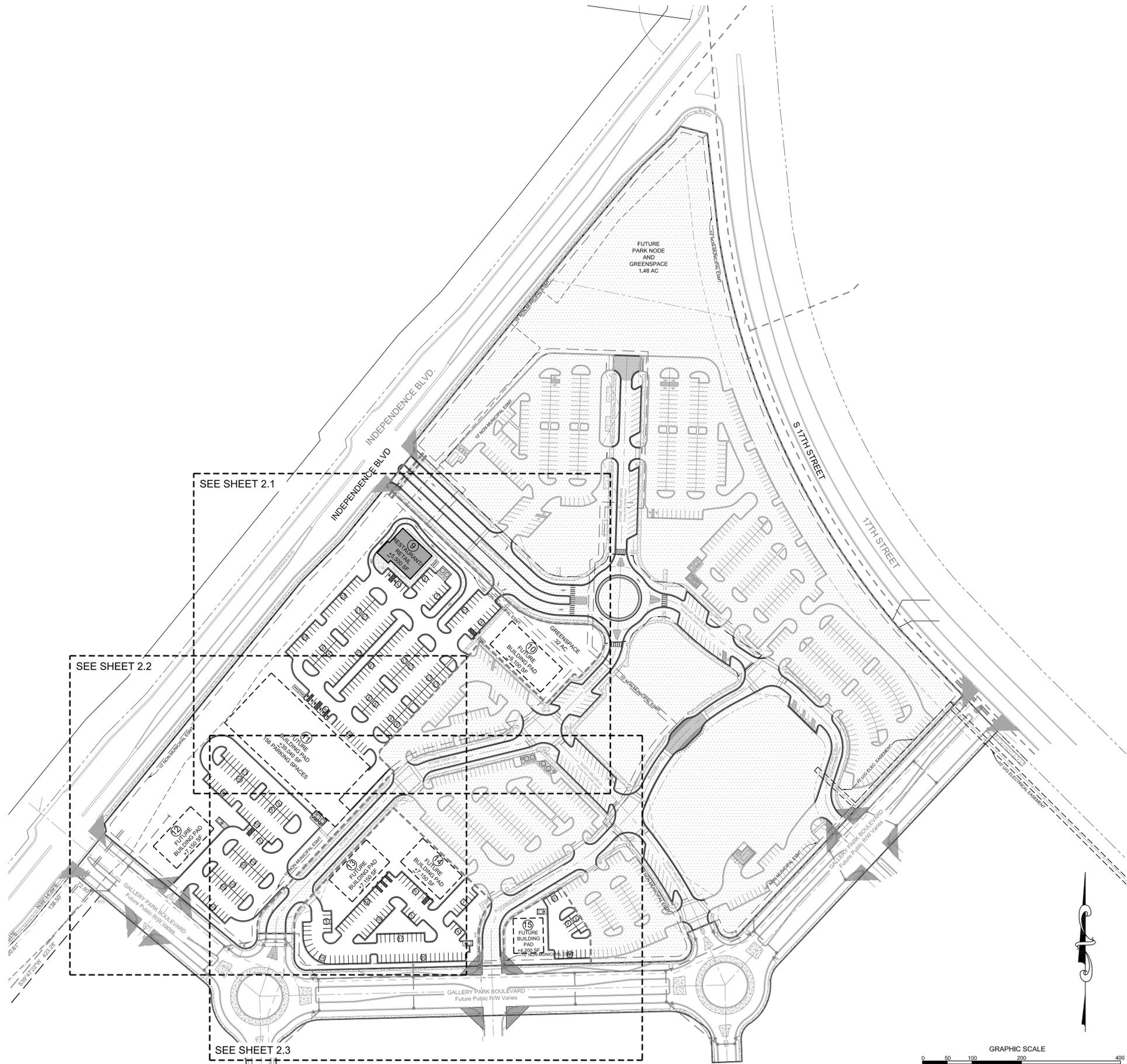
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
Barclay Commons Retail, LLC
 111 Metropolitan Ave, Suite 700
 Charlotte, NC 28204

PARAMOUNT ENGINEERING
 5911 Olander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

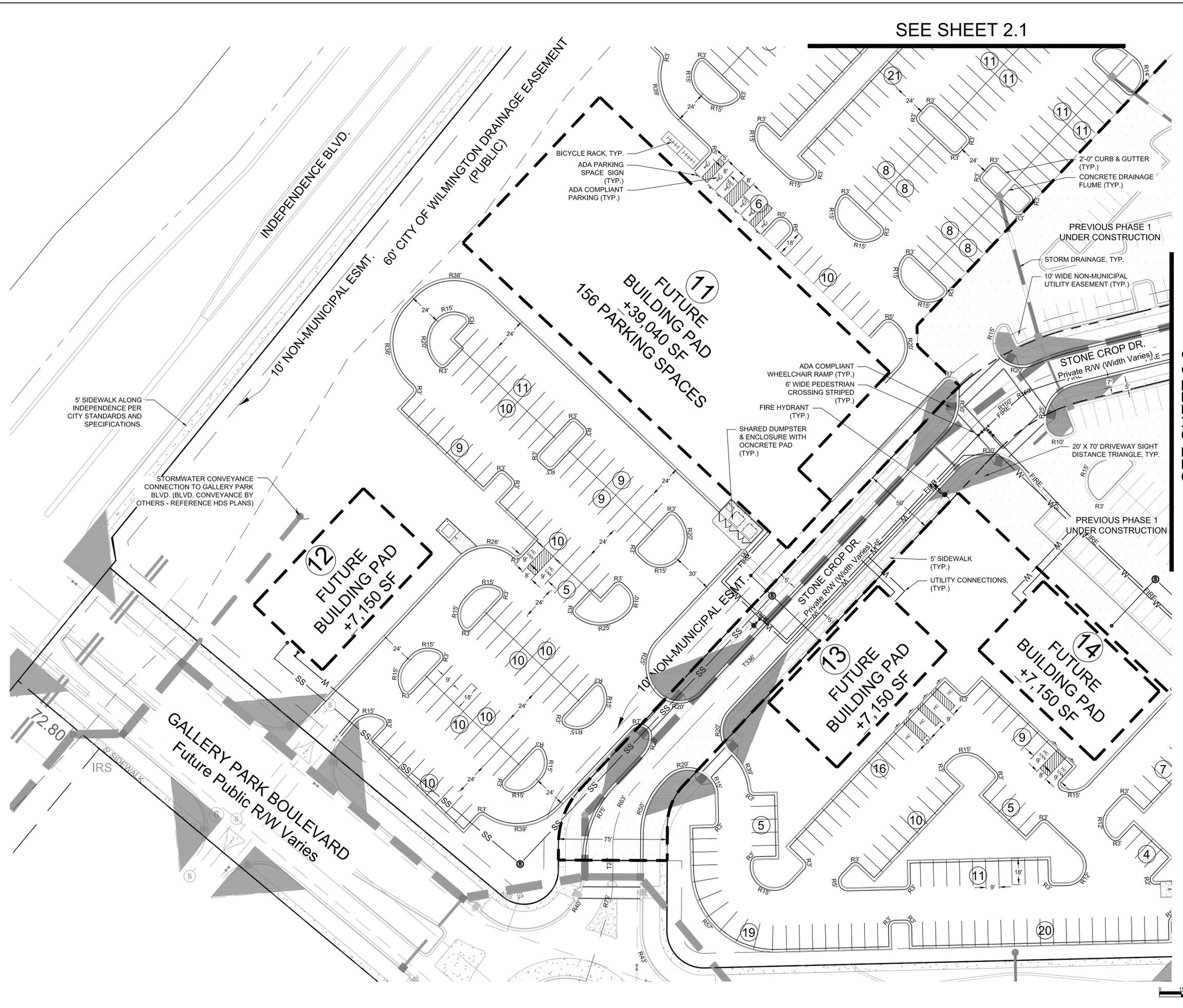
SITE PLAN
 INDEX SHEET
 THE POINTE AT BARCLAY - PHASE 2
 'BARCLAY WEST TRACT B'
 CITY OF WILMINGTON
 NORTH CAROLINA

PROJECT STATUS

CONCEPTUAL LAYOUT: _____
 FINAL DESIGN LAYOUT: _____
 RELEASED FOR CONSTRUCTION: _____
 DRAWING INFORMATION
 DATE: _____
 SCALE: 1" = 100'
 DESIGNED: _____
 CHECKED: _____

INDEX

PEI JOB#: 14222.PE



SEE SHEET 2.1

SEE SHEET 2.3

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REVISIONS:

CLIENT INFORMATION:
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111 Metropolitan Ave, Suite 700
Charlotte, NC 28204

PARAMOUNT ENGINEERING
5911 Olander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License # Z-C-2846

SITE PLAN
THE POINTE AT BARCLAY - PHASE 2
BARCLAY WEST TRACT B
CITY OF WILMINGTON
NORTH CAROLINA

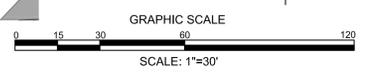
PROJECT STATUS
CONCEPTUAL LAYOUT: _____
FINAL DESIGN LAYOUT: _____
RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION
DATE: 10.08.16
SCALE: 1"=30'
DESIGNED: _____
DRAWN: _____
CHECKED: _____

SEAL

C-2.2
PEI JOB#: 14222.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



SEE SHEET 2.1

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWO SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)

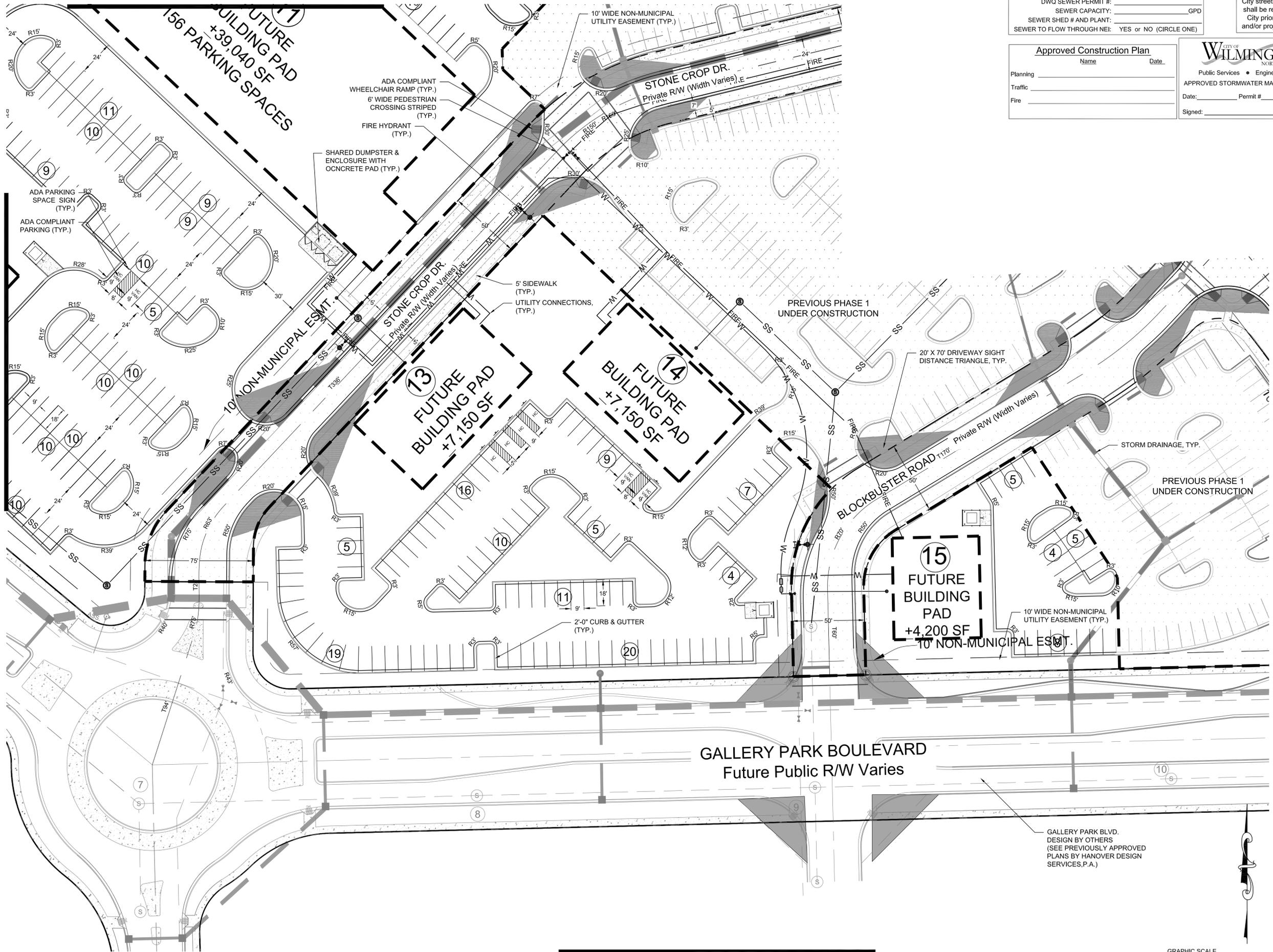
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

SEE SHEET 2.2



REVISIONS:

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NC License # C-2846

SITE PLAN
THE POINTE AT BARCLAY - PHASE 2
BARCLAY WEST TRACT B
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS	CONCEPTUAL LAYOUT: _____
	FINAL DESIGN LAYOUT: _____
	RELEASED FOR CONSTRUCTION: _____
DRAWING INFORMATION	DATE: _____
	SCALE: _____
	DESIGNED: _____
	CHECKED: _____

SEAL
C-2.3
PEI JOB#: 14222.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

SEE SHEET 2.4

