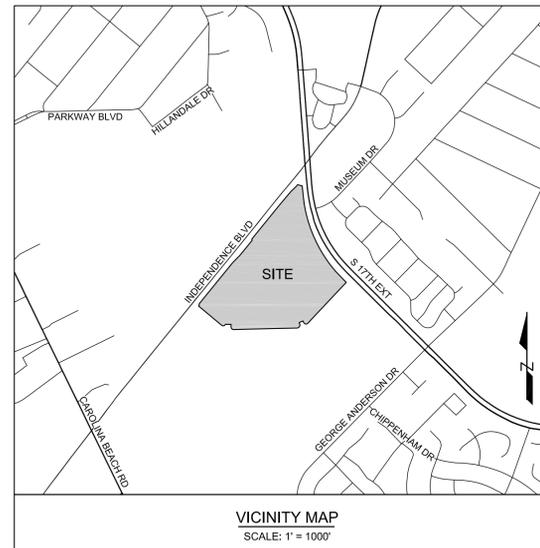


GALLERY PARK PHASE 1

WILMINGTON, NORTH CAROLINA MAJOR SITE PLAN TRC/SRB SUBMITTAL SET JUNE 2015

PROJECT ADDRESS:
3151 S. 17th St.
Wilmington, NC 28412



OWNER:
COLLETT - CAMERON PROPERTIES
2508 INDEPENDENCE BLVD, SUITE 202
WILMINGTON, NORTH CAROLINA 28412
ATTN: ED GOODWIN

CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS:
PARAMOUNTE ENGINEERING, INC.
5911 OLEANDER DRIVE, SUITE 201
WILMINGTON, NORTH CAROLINA 28403
ATTN: DAN WEEKS, RLA (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-2.1	SITE INVENTORY MAP
C-2.2	SITE INVENTORY ENLARGEMENTS
C-3.0	OVERALL UTILITY PLAN
SV-1	SURVEY EXHIBIT

PREPARED BY:
PARAMOUNTE
ENGINEERING, INC.
5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707
NC License # C-2846
PROJECT # 14222.PE

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWO SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

CITY OF WILMINGTON, DEVELOPMENT SERVICES

ATTN: JIM DIEPENBROCK
PH: 910-341-3257

PIEDMONT NATURAL GAS
ATTN: CARL PAQUET
PH: 910-350-2242

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)

ATTN: FRANK STYERS
PH: 910-332-6670

DUKE ENERGY PROGRESS
ATTN: KEVIN LEATHERWOOD
PH: 910-602-4304

BELL SOUTH
ATTN: STEVE DAYVAULT
PH: 910-392-8712

TIME WARNER CABLE
PH: 910-763-4638

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
Collett - Cameron Properties
2508 Independence Blvd, Suite 202
Wilmington, NC

PARAMOUNTE
ENGINEERING, INC.
5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License # C-2846

COVER SHEET
GALLERY PARK
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN LAYOUT:
RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION:
DATE: _____
SCALE: 1" = 100'
DESIGNED: _____
CHECKED: _____

SEAL

C-0.0

PEJ JOB#: 14222.PE

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HAMOVER COUNTY, CARE FEAR PUBLIC UTILITY AUTHORITY (CFPA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THIS PROJECT. THE SURVEYOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PREPARE THE SITE IMPROVEMENT STANDARDS.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITH AN EXISTING FACILITY, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID FACILITY AS TO THE LOCATION OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE REFERENCED IN THE RECORDED EASEMENTS.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- 1. FREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY HANOVER DESIGN SERVICES, P.A. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNERS REPRESENTATIVE AND/OR PARAMOUNT ENGINEERING, INC. IMMEDIATELY.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DIGGING OPERATIONS BY OBSERVATIONS, ELECTRIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONCRETE, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL, CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT THE SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFF-SITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
11. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
12. EXISTING FIRE HYDRANTS OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
13. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

TRAFFIC NOTES:

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY (FOR DRIVEWAYS) ARE TO BE THERMOPLASTIC A MEET CITY AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRING A UTILITY CUT PERMIT, CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RW.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
9. A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET-YARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGHT DISTANCES AND ANY OTHER REQUIREMENTS OF TRAFFIC ENGINEERING.
10. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND SEQUENCE OF CONSTRUCTION SHALL BE DETERMINED BY THE PROJECT DEVELOPER, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES(S), ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE BEGINNING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND/OVER ON ALL EXPOSED PERIMETER DICES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO DITCHES, BORROW OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HAMOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED FOR REVIEW AND APPROVAL OF THE PLAN. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING DRAINAGE OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):

- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). INCIDENTS FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NONPAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONGS DISTURBED BANKS AND CHANNEL, AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

MAINTENANCE PLANS:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEFORE THE SEDIMENT FENCE BECOMES 1/2 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE TRENCHES WILL BE SPACED 5 FEET APART UNLESS A WIRE BACING IS USED WITH 8 FOOT STAKE SPACING.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.

PERMANENT SEEDING SCHEDULE - MIXTURE SCP

Table with 3 columns: SPECIES, RATE (LB/ACRE), and COMMENTS. Includes CENTPEDE GRASS at 10-20.

Seeding Dates

MARCH - JUNE

Soil Amendments

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS. OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

Mulch

DO NOT MULCH

Maintenance

FERTILIZE SPRINGLY ~20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

Table with 3 columns: SPECIES, RATE (LB/ACRE), and COMMENTS. Includes RYE (GRAN) at 120.

WINTER AND EARLY SPRING

Table with 3 columns: SPECIES, RATE (LB/ACRE), and COMMENTS. Includes ANNUAL LEVEPDEZA (KOBLE IN PIEDMONT AND COASTAL PLAIN, KOREAN RAINFORS) at 50.

SUMMER

Table with 3 columns: SPECIES, RATE (LB/ACRE), and COMMENTS. Includes GERMAN MILLET at 40.

FALL

Table with 3 columns: SPECIES, RATE (LB/ACRE), and COMMENTS. Includes RYE (GRAN) at 120.

Seeding dates

COASTAL PLAIN - DEC-1-APR. 15 - LATE WINTER AND EARLY SPRING APRIL 15 - JUNE 15 - SUMMER AUG. 15 - DEC. 30 - FALL

Soil amendments

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

Mulch

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

Maintenance

REFERFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SITE NOTES:

- 1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
3. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC. SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
4. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
5. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
6. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
7. ALL UTILITIES TO SERVICE PROPOSED STRUCTURE SHALL BE UNDERGROUND ON SITE.
8. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURBS AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
9. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
10. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HAMOVER COUNTY, OR CFPA, RESPECTIVELY.
11. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OR OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
12. THE CONTRACTOR SHALL OBTAIN PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC. THAT MAY BE REQUIRED.
13. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
14. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO NCDOT. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
15. ALL PARKING LOT DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE.
16. LANDSCAPE PLANTINGS AT ENTRANCES/EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
17. SEEDING TO BE INSTALLED TO LOCAL REQUIREMENTS & STANDARD PRACTICES.
18. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

NC ACCESSIBILITY NOTES:

- 1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BEHIND THE PROJECT. IN ADDITION, PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS. WHETHER BY PARAMOUNT ENGINEERING OR OTHERS, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICTS.
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DETECT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH/RAVE FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IS PERMITTED).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROXIMATELY THE TURN. FORTY-EIGHT (48) INCHES MINIMUM CURBS THE TURN AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. *SEE NOTE 7 ABOVE FOR NO CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES*.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT FORM A COMPLIANT T-SHAPED TURNING SPACE. PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1), AND HANDRAILS ARE PROVIDED ON THE RAMP RUN. THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2:08 IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDINGS. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RAMPS AND LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE AND A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE AND A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE AND A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOOKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 38 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES. IF PROVIDED, NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES. LEADING TO THE LANDING, LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES. PARKING SPACES, PARKING ACCESSIBLES, CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNING AT CURB RAMPS. NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/4 INCH WIDE BY 1/2 INCH DEEP, ONE (1) INCH TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

PARKING SPACE NOTES:

- 1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESSIBLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE ASBLE. THE ASBLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS ASBLE IS 7 FEET). WHERE PARKING SPACES AND ACCESSIBLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENT SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESSIBLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESSIBLE, ACCESSIBLES SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESSIBLE ASBLE.
3. PARKING ACCESSIBLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED TO CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERRED THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS ASBLE.
5. ACCESSIBLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESSIBLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESSIBLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESSIBLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACES. EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESSIBLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESSIBLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESSIBLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESSIBLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESSIBLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INCLUDING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GROUND AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS ASBLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1108.13 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 138-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACES, ACCESSIBLES, SIGNAGE, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

- 1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS ASBLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICULAR PULL-UP SPACE THEY SERVE.
3. ACCESS ASBLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS ASBLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS ASBLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS ASBLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS ASBLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR INLET SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

- 1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE AND A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.
3. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
4. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE AND A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL UTILITY NOTES:

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

STORM WATER NOTES:

- 1. TOTAL SITE AREA = 1,233,729 SF (34.98 AC)
2. DISTURBED AREA = 1,233,729 SF (34.98 AC)
3. IMPERVIOUS AREA DRAINING TO STORMWATER SYSTEM = 1,070,270 SF (24.57 AC)

WETLAND NOTES:

- 1) NO WETLANDS EXISTS ON THIS SITE.

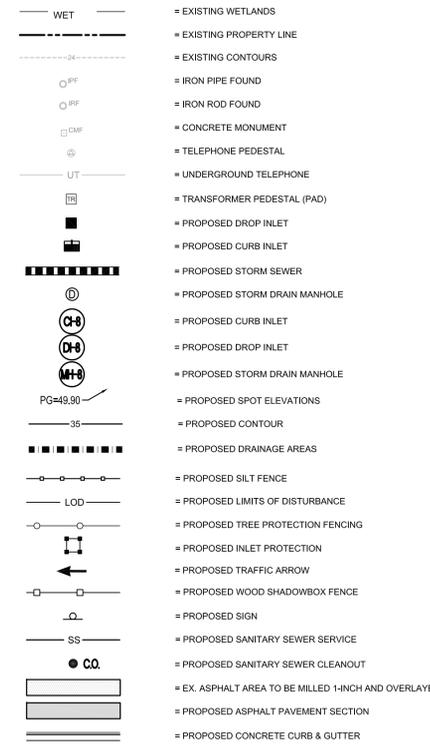
ROOF DRAIN NOTE:

- 1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

EXISTING UTILITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO OR BEGINNING CONSTRUCTION.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

LEGEND

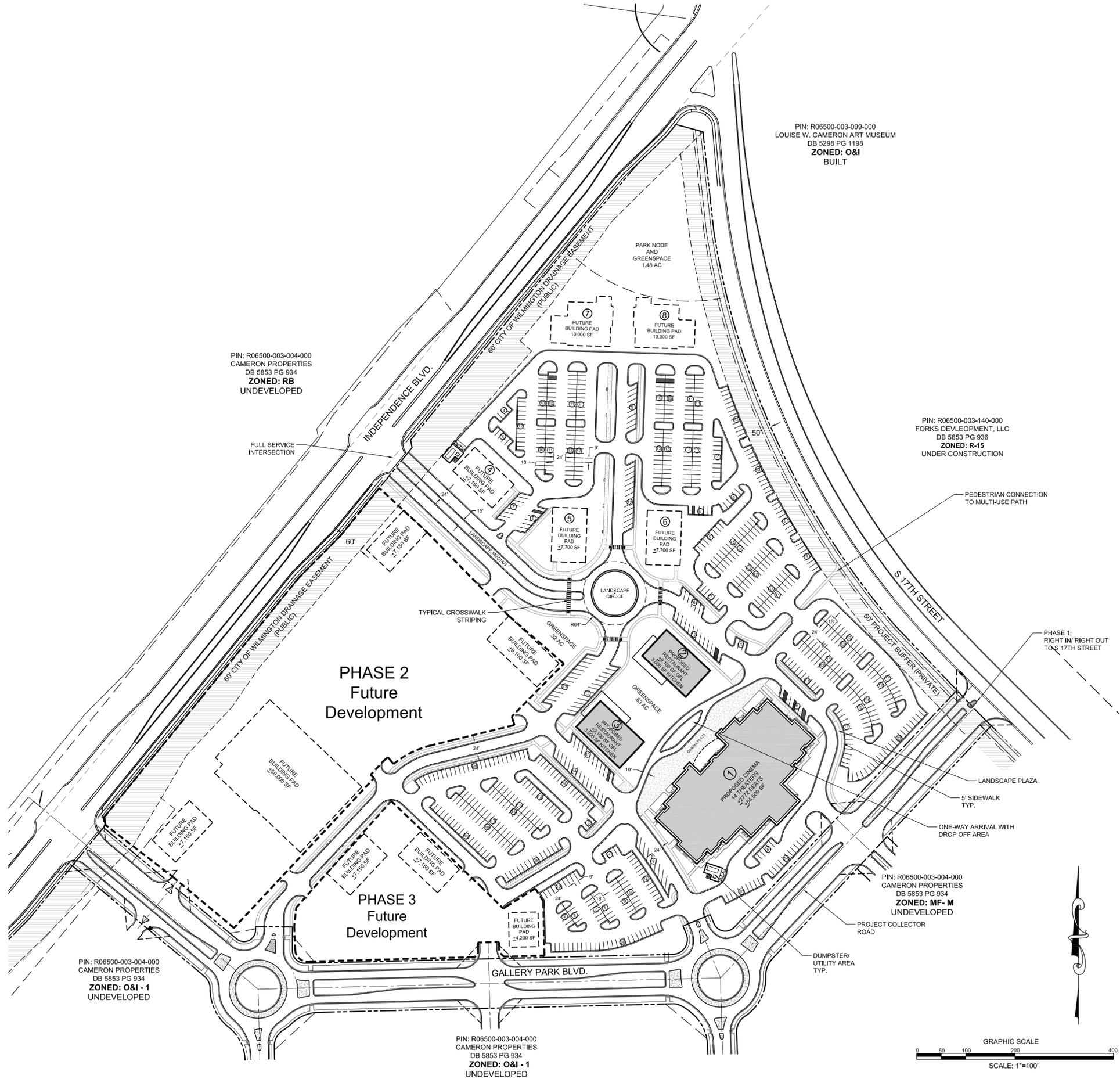


SITE INFORMATION
 PARCEL ID: R06500-003-004-000
 CURRENT ZONING: RB-CD & O&I-1-CD
 PROPOSED USE: MIXED USE
 TOTAL SITE AREA: 34.98 ACRES
 OWNER INFORMATION: COLLETT - CAMERON PROPERTIES
 1201 GLEN MEADE RD
 WILMINGTON NC, 28401
 FLOOD INFORMATION: THIS PARCEL IS LOCATED IN
 FLOOD ZONE X, WHICH IS NOT A SPECIAL
 FLOOD HAZARD AREA AS DETERMINED
 BY FEMA FLOOD PANEL 3720312500J,
 DATED APRIL 3, 2006
 CAMA LAND USE CLASSIFICATION: URBAN
 DRAINAGE EASEMENTS: MB 51 PG 9-13
 TOTAL IMPERVIOUS AREA: BEFORE: 0 AC.
 AFTER: 24.57 AC.
 ZONING ACREAGE: RB-CD: 34.12 AC
 O&I-1: 0.77 AC

PHASE 1 TABULATIONS
 - TOTAL AREA: 26.69 AC
 - TOTAL BUILDING SF: ± 72,700 SF
 - THEATER SF: ± 54,500 SF
 - BUILDING 1: ± 9,100 SF
 - BUILDING 2: ± 9,100 SF
 - BUILDING COVERAGE: 26.69 AC / 72,700 SF = 16% COVERAGE

DIMENSIONAL REQUIREMENTS
 RB - REGIONAL BUSINESS
 - MINIMUM LOT AREA: 1 ACRE
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 0' (RB-CD)
 - MINIMUM REAR SETBACK: 15'
 - MINIMUM INTERIOR SIDE SETBACK: 0'
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'
 O&I-1 - OFFICE & INSTITUTIONAL 1
 - MINIMUM LOT AREA: 15,000 SF
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM LOT WIDTH: 80'
 - MINIMUM FRONT SETBACK: 20'
 - MINIMUM REAR SETBACK: 20'
 - MINIMUM INTERIOR SIDE SETBACK: 10'
 - MINIMUM CORNER LOT SIDE SETBACK: 20'
 - MAXIMUM BUILDING HEIGHT: 45'

PHASE 1 PARKING DATA
 TOTAL REQUIRED: 896 SPACES
 THEATER PARKING REQUIRED: 1 SPACE / 4 SEATS; 2,772 SEATS/4 = 693 SPACES
 RESTAURANT PARKING REQUIRED: 1 SPACE / 60 SF - KITCHEN AREA: 18,200 SF - 6,000 SF = 12,200 SF / 60 SF = 203 SPACES
 PROVIDED: 908 SPACES
 HANDICAP SPACES REQUIRED: 18 SPACES
 PROVIDED: 19 SPACES



PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: RB
 UNDEVELOPED

PIN: R06500-003-099-000
 LOUISE W. CAMERON ART MUSEUM
 DB 5298 PG 1198
ZONED: O&I
 BUILT

PIN: R06500-003-140-000
 FORKS DEVELOPMENT, LLC
 DB 5853 PG 936
ZONED: R-15
 UNDER CONSTRUCTION

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: MF-M
 UNDEVELOPED

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1
 UNDEVELOPED

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1
 UNDEVELOPED

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	
CLIENT INFORMATION: Collett - Cameron Properties 2508 Independence Blvd, Suite 202 Wilmington, NC	
PARAMOUNT ENGINEERING 5011 Olander Drive, Suite 201 Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6700 (F) NC License # C-2846	
TRC SITE PLAN - MAJOR	
GALLERY PARK CITY OF WILMINGTON NORTH CAROLINA	
PROJECT STATUS: CONCEPTUAL LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION: DATE: SCALE: DRAWN: DESIGNED: CHECKED:	DRAWING INFORMATION: DATE: SCALE: DRAWN: DESIGNED: CHECKED:
SEAL	C-2.0 PEJ JOB#: 14222.PE



June 09, 2015

Tract 1
Wilmington, NC

Being part of that parcel or tract of land conveyed to Cameron Properties Limited Partnership in Deed Book 1316 at Page 590 and located to the south of the intersection of Independence Drive and South 17th Street in the City of Wilmington, New Hanover County, North Carolina; said parcel being more particularly described as follows:

Beginning at a point at the intersection of the southeasterly right-of-way of Independence Boulevard (S.R. 1209) with the westerly right-of-way of 17th Street Extension;

Thence in a generally southerly direction along the westerly right-of-way of 17th Street Extension the following Three (3) courses and distances:

- 1) Thence South $06^{\circ}14'13''$ East a distance of 201.77 feet;
- 2) Thence with A Curve Non-tangential In, turning To The Left with An Arc Length Of 889.26', with A Radius Of 1602.79', with A Chord Bearing Of $S 24^{\circ}46'05''$ E, with A Chord Length Of 877.90', to a point;
- 3) Thence $S 43^{\circ}48'23''$ E A Distance Of 182.20' to a point;

Thence through said lands of Cameron Properties Limited Partnership the following Thirteen (13) courses and distances:

- 1) Thence $S 43^{\circ}20'43''$ W A Distance Of 658.89' to a point;
- 2) Thence with A Curve turning To The Right with An Arc Length Of 49.77', with A Radius Of 25.00', with A Chord Bearing Of $N 79^{\circ}37'33''$ W, with A Chord Length Of 41.95', to a point;
- 3) Thence $N 22^{\circ}35'48''$ W A Distance Of 19.50' to a point;
- 4) Thence $S 67^{\circ}24'12''$ W A Distance Of 60.00' to a point;
- 5) Thence $S 22^{\circ}35'48''$ E A Distance Of 17.07' to a point;
- 6) Thence with A Curve turning To The Right with An Arc Length Of 58.23', with A Radius Of 30.00', with A Chord Bearing Of $S 33^{\circ}00'46''$ W, with A Chord Length Of 49.51', to a point;
- 7) Thence $S 88^{\circ}37'20''$ W A Distance Of 747.22' to a point;
- 8) Thence with A Curve turning To The Right with An Arc Length Of 40.78', with A Radius Of 25.50', with A Chord Bearing Of $N 45^{\circ}33'36''$ W, with A Chord Length Of 36.57', to a point;
- 9) Thence $N 00^{\circ}15'28''$ E A Distance Of 47.95' to a point;
- 10) Thence $N 89^{\circ}44'32''$ W A Distance Of 75.00' to a point;
- 11) Thence $S 00^{\circ}15'28''$ W A Distance Of 6.79' to a point;
- 12) Thence with A Curve turning To The Right with An Arc Length Of 53.13', with A Radius Of 23.50', with A Chord Bearing Of $S 65^{\circ}01'25''$ W, with A Chord Length Of 42.51', to a point;
- 13) Thence $N 50^{\circ}12'38''$ W A Distance Of 352.06' to a point on the westerly property line of Cameron Properties Limited Partnership and the south eastern right-of-way of Independence Boulevard;

Thence in a generally northerly and easterly direction on the South Eastern line of Independence Boulevard the following twelve (12) courses and distances:

- 1) Thence N 39°14'39" E A Distance Of 6.50' to a point;
- 2) Thence N 08°15'42" W A Distance Of 11.22' to a point;
- 3) Thence N 08°15'42" W A Distance Of 5.22' to a point;
- 4) Thence N 39°14'39" E A Distance Of 97.47' to a point;
- 5) Thence N 39°14'39" E A Distance Of 526.40' to a point;
- 6) Thence N 44°54'38" E A Distance Of 120.57' to a point;
- 7) Thence N 39°14'56" E A Distance Of 230.01' to a point;
- 8) Thence N 10°53'27" W A Distance Of 15.61' to a point;
- 9) Thence N 39°13'47" E A Distance Of 505.03' to a point;
- 10) Thence N 40°15'35" E A Distance Of 220.01' to a point;
- 11) Thence N 46°22'09" E A Distance Of 80.62' to a point;
- 12) Thence N 39°14'39" E A Distance Of 30.00' to a point; located at the intersection of the easterly right-of-way of Independence Boulevard Extension with the westerly right-of-way of 17th Street Extension;

Thence S 75°08'29" E A Distance Of 56.86' to the Point of Beginning said parcel containing 1,523,923.22 square feet or 34.98 acres, more or less.
