

MAP FOR  
**DTSC, LLC**  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY  
 NORTH CAROLINA  
 DATE: NOV. 18, 2015

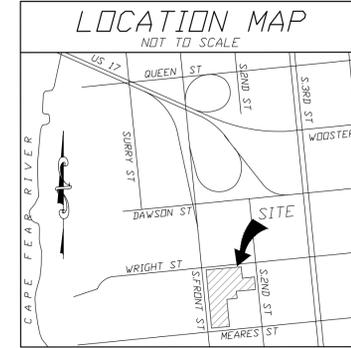
**2nd STREET**  
 66' PUBLIC RIGHT OF WAY

**WRIGHT STREET**  
 66' PUBLIC RIGHT OF WAY

**MEARES STREET**  
 66' PUBLIC RIGHT OF WAY

**FRONT STREET**  
 66' PUBLIC RIGHT OF WAY

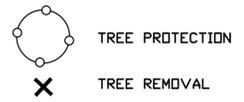
| SITE DATA TABLE                     |   |
|-------------------------------------|---|
| PIN                                 | R05413-015-005-000                        |
| OWNER                               | DTSC, LLC                                 |
| ADDRESS                             | 101 MEARES STREET<br>WILMINGTON, NC 28401 |
| ZONING                              | UMX - URBAN MIXED USE                     |
| ACREAGE                             | 1.84 AC                                   |
| EXISTING BLDG.                      | 2685 SF                                   |
| EX. PARKING & DRIVES                | 1096 SF                                   |
| TOTAL EXISTING IMPERVIOUS           | 3781 SF                                   |
| PROPOSED BUILT-UPON AREA            | 48,273 SF = 1.11 AC (60%)                 |
| PERVIOUS PARKING/DRIVES             | 35,941 SF                                 |
| 40% OF PERVIOUS PARKING/DRIVES      | 14,376 SF = 0.33 AC                       |
| SIDEWALK BUILT-UPON AREA            | 960 SF = 0.02 AC                          |
| IMPERVIOUS PAVEMENT EDGING          | 967 SF = 0.02 AC                          |
| PROPOSED LANDSCAPING / NATURAL AREA | 10,374 SF = 0.24 AC                       |
| TOTAL PROP. PARKING ON SITE         | 6 SPACES                                  |
| ADA PARKING REQUIRED / PROVIDED     | 0 / 2 SPACES                              |
| DISTURBED AREA                      | 1.84 AC                                   |
| CAMA LAND USE DESIGNATION           | URBAN                                     |
| USDA SOIL CLASSIFICATION            | BAYMEADE-URBAN LAND                       |
| SETBACK REQUIREMENTS                | 0 - ALL SIDES                             |
| FEMA FLOOD ZONE X                   | FEMA MAP PANEL 3720311700K                |
| CAPE FEAR RIVER BASIN               | NE CAPE FEAR RIVER, CLASS SC/SW           |



**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE.
3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
4. THERE ARE NO WETLANDS ON THIS SITE.
5. NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITIES EXIST.
7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE INTERIOR OF THE SITE.
8. ALL SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.

**LEGEND**



**Approved Construction Plan**

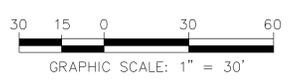
| Name     | Date  |
|----------|-------|
| Planning | _____ |
| Traffic  | _____ |
| Fire     | _____ |

| LINE NUMBER | DESCRIPTION          |
|-------------|----------------------|
| L1          | N 06°14'20" W 18.00' |
| L2          | S 87°42'00" W 25.00' |
| L3          | S 87°42'00" W 20.00' |

**SURVEY REFERENCE**  
 DEED BOOK 5821 PAGE 1060  
 TRACT 2, BLOCK 17  
 TRACT 3, BLOCK 17  
 QUILTAM D.B. 5918 PG. 93

- LEGEND**
- E.I.P. = EXISTING IRON PIPE
  - E.I. = EXISTING IRON
  - E.C.M. = EXISTING CONCRETE MONUMENT
  - R.W. = RIGHT OF WAY
  - C.P. = COMPUTED POINT
- PROPERTY LINE** N/V SOUTHERN METALS RECYCLING DB 1381 PG 1335  
**BUILDING SETBACK** ZONING - HEAVY INDUSTRIAL  
**CENTERLINE**
- EASEMENT**  
**COMPUTED PROPERTY LINE**  
 SSMH = SANITARY SEMI MANHOLE  
 SSMH = STORM WATER MANHOLE

- NOTES**
1. AREA COMPUTED BY COORDINATE METHOD
  2. ALL DISTANCES ARE HORIZONTAL
  3. FOR REFERENCE SEE AS NOTED
  4. SURVEYED AUG. 2015
  5. 1.84 ACRES TOTAL AREA



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

| REV. NO. | DESCRIPTION | DATE |
|----------|-------------|------|
|          |             |      |
|          |             |      |
|          |             |      |
|          |             |      |

101 MEARES STREET  
**FRONT STREET STORAGE**  
 WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

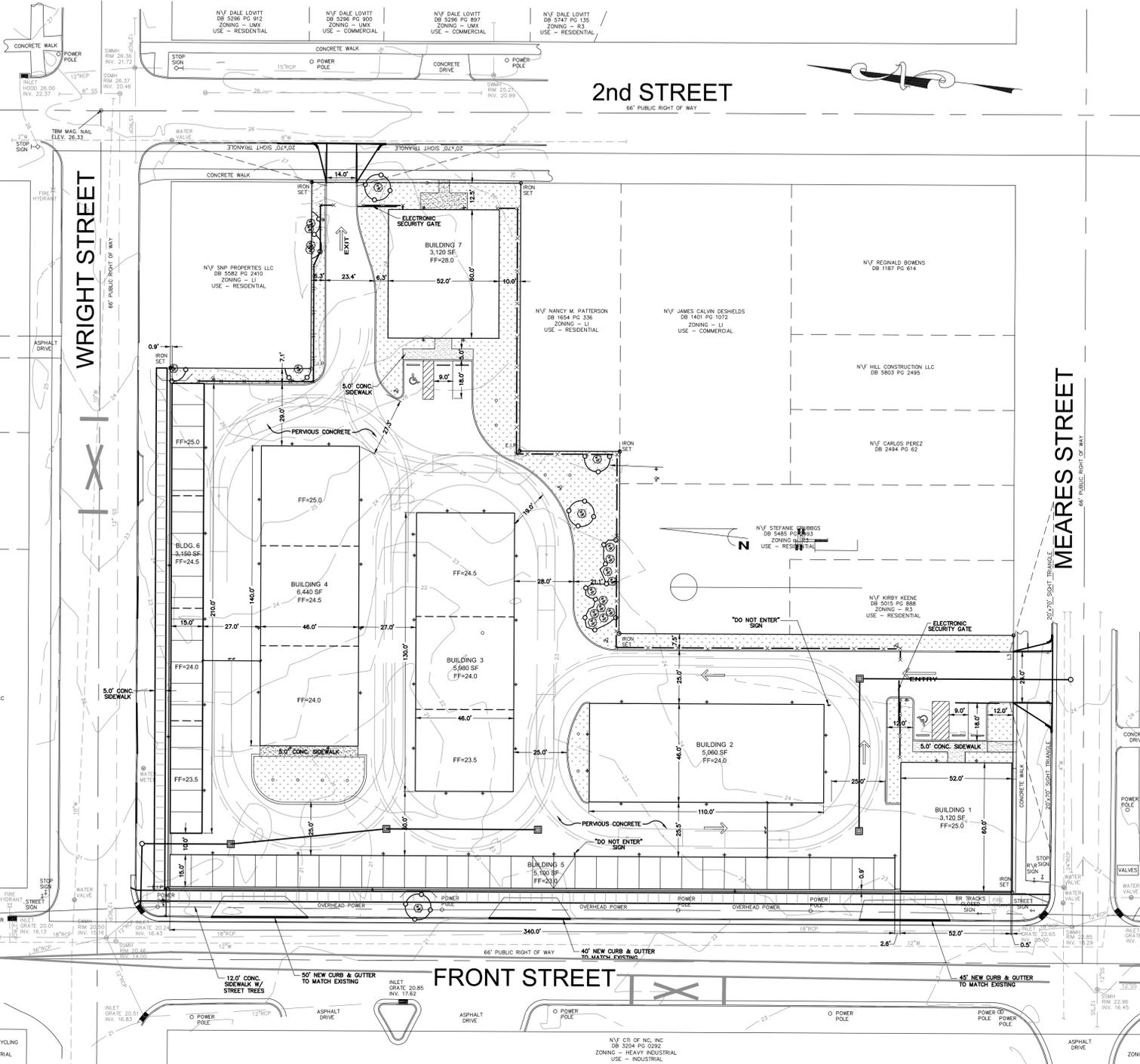


**EXISTING CONDITIONS AND SITE INVENTORY**

**RIGHT ANGLE ENGINEERING, P.C.**  
 212 PRINCESS STREET  
 WILMINGTON, NC 28401  
 (910) 251-8544 FAX (910) 251-2208

DATE: 2-9-16  
 Scale: 1" = 30'  
 Drawn: NNC  
 Checked: WSL  
 Project No: DB0115  
 Sheet No: **C1**

MAP FOR  
**DTSC, LLC**  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY  
 NORTH CAROLINA  
 DATE: NOV. 18, 2015



| SITE DATA TABLE                     |   |
|-------------------------------------|---|
| PIN                                 | R05413-015-005-000                        |
| PIN                                 | R05413-015-014-001                        |
| OWNER                               | DTSC, LLC                                 |
| ADDRESS                             | 101 MEARES STREET<br>WILMINGTON, NC 28401 |
| ZONING                              | UMX - URBAN MIXED USE                     |
| ACREAGE                             | 1.84 AC                                   |
| EXISTING BLDG.                      | 2685 SF                                   |
| EX. PARKING & DRIVES                | 1096 SF                                   |
| TOTAL EXISTING IMPERVIOUS           | 3781 SF                                   |
| PROPOSED BUILT-UPON AREA            | 48,273 SF = 1.11 AC (60%)                 |
| PROPOSED BUILDINGS                  | 31,970 SF = 0.73 AC                       |
| PERVIOUS PARKING/DRIVES = 35,941 SF |   |
| 40% OF PERVIOUS PARKING/DRIVES      | 14,376 SF = 0.33 AC                       |
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| TOTAL PROP. PARKING ON SITE         | 6 SPACES                                  |
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| CAMA LAND USE DESIGNATION           | URBAN                                     |
| USDA SOIL CLASSIFICATION            | BAYMEADE-URBAN LAND                       |
| SETBACK REQUIREMENTS                | 0 - ALL SIDES                             |
| FEMA FLOOD ZONE X                   | FEMA MAP PANEL 3720311700K                |
| CAPE FEAR RIVER BASIN               | NE CAPE FEAR RIVER, CLASS SC,S,W          |

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**City of WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**

| Name     | Date  |
|----------|-------|
| Planning | _____ |
| Traffic  | _____ |
| Fire     | _____ |

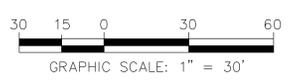
- BUILDING SUMMARY**
- BUILDING ONE**  
(21) 10 X 10'S  
3,120 SQ. FT. CONDITIONED SPACE
  - BUILDING TWO**  
(16) 5 X 5'S (32) 5 X 10'S (24) 10 X 10'S  
5,060 SQ. FT. UNCONDITIONED SPACE
  - BUILDING THREE**  
(16) 5 X 5'S (32) 5 X 10'S (32) 10 X 10'S  
5,980 SQ. FT. UNCONDITIONED SPACE
  - BUILDING FOUR**  
(16) 5 X 5'S (48) 5 X 10'S (28) 10 X 10'S  
6,440 SQ. FT. UNCONDITIONED SPACE
  - BUILDING FIVE**  
(34) 10 X 15'S  
5,100 SQ. FT. UNCONDITIONED SPACE
  - BUILDING SIX**  
(21) 10 X 15'S  
3,150 SQ. FT. UNCONDITIONED SPACE
  - BUILDING SEVEN**  
(21) 10 X 10'S  
3,120 SQ. FT. CONDITIONED SPACE

| LINE | DESCRIPTION | THICKNESS |
|------|-------------|-----------|
| 1    | CONCRETE    | 4"        |
| 2    | ASPHALT     | 4"        |
| 3    | GRAVEL      | 4"        |
| 4    | SOIL        | 4"        |

**SURVEY REFERENCE**  
 DEED BOOK 5821 PAGE 1060  
 TRACT 2, BLOCK 17  
 TRACT 3, BLOCK 17  
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**LEGEND**  
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 BUILDING SETBACK  
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 EASEMENT  
 COMPUTED PROPERTY LINE  
 SSMH = SANITARY SEWER MANHOLE  
 SWMH = STORM WATER MANHOLE

- NOTES**
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  5. 1.84 ACRES TOTAL AREA



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

| REV. NO. | DESCRIPTION | DATE |
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|          |             |      |
|          |             |      |
|          |             |      |

1017 SOUTH FRONT STREET  
**FRONT STREET STORAGE**  
 WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA



**SITE PLAN**

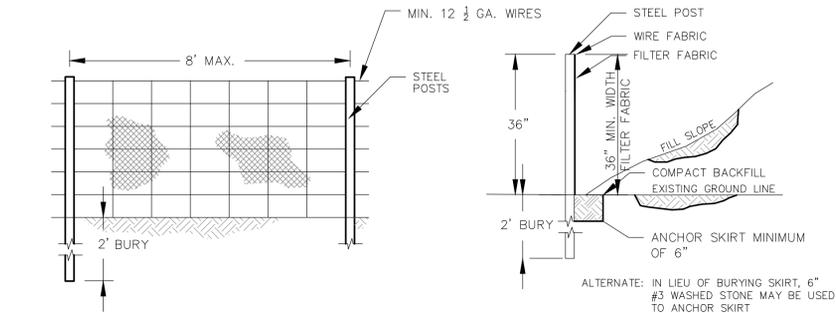
Project No: DB0115  
 Sheet No: C2

**RIGHT ANGLE ENGINEERING, P.C.**  
 212 PRINCESS STREET  
 WILMINGTON, NC 28401  
 (910) 251-8544 FAX (910) 251-2208

DATE: 2-9-16  
 Scale: 1" = 30'  
 Drawn: NNC  
 Checked: WSL  
 Project No: DB0115  
 Sheet No: C2







**GENERAL NOTES:**

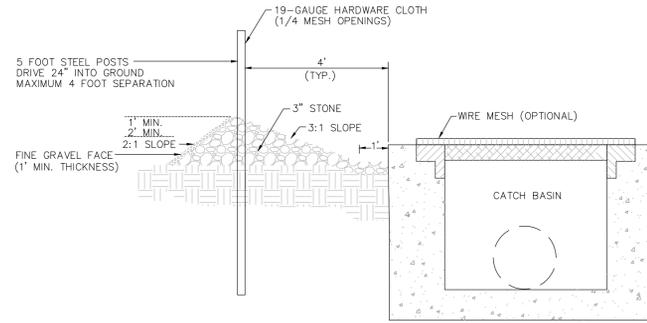
FENCE FABRIC SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING. FILTER FABRIC SHALL BE MIRAFI 100 OR EQUIVALENT AND SHALL BE A MINIMUM OF 36" IN WIDTH. BURLAP CAN NOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS. STEEL POSTS SHALL BE 3"-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE. SILT FENCES SHALL BE INSTALLED AROUND ALL CATCH BASINS. SILT FENCES SHALL BE PROVIDED AS NECESSARY TO PREVENT EXCESSIVE EROSION.

**MAINTENANCE NOTES:**

FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED TO THE NEAREST GRADE, PREPARED AND SEEDDED.

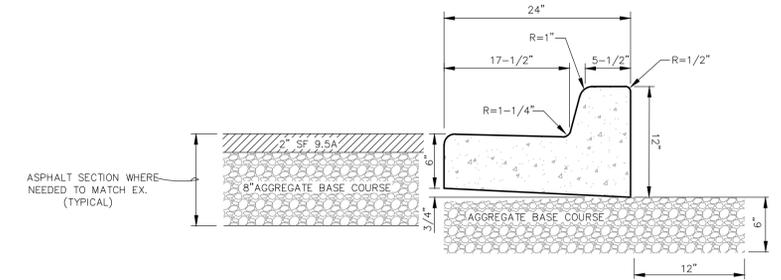
**TEMPORARY SILT FENCE**

NOT TO SCALE



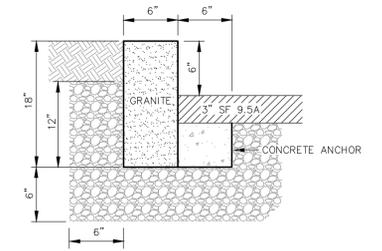
**GRAVEL DROP INLET PROTECTION (GRAVEL DONUT)**

NOT TO SCALE



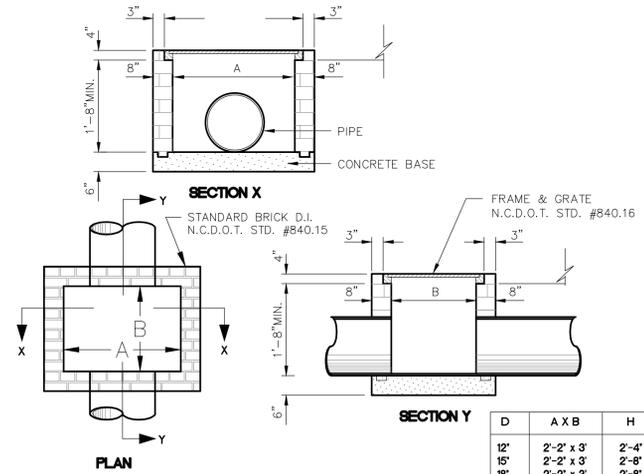
**CONCRETE CURB AND GUTTER (SD 3-11)**

NOT TO SCALE



**GRANITE CURB (SD 3-11)**

NOT TO SCALE



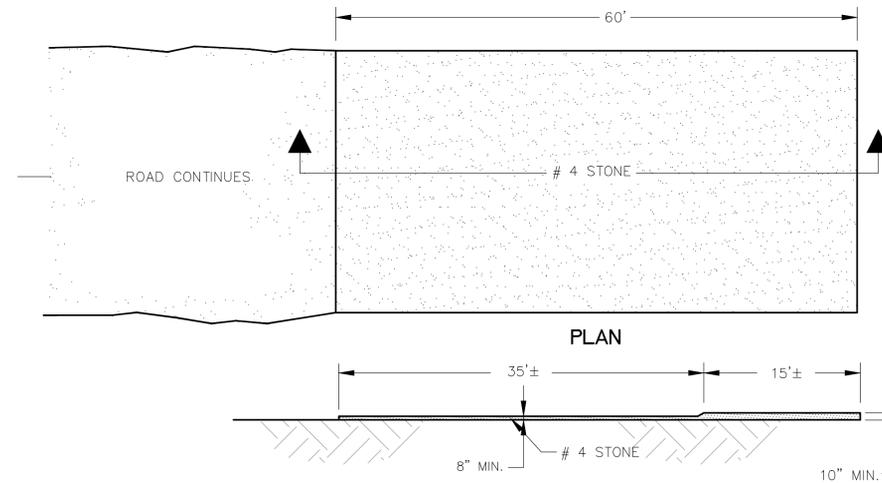
**CAST-IN-PLACE OR MASONRY CATCH BASIN**

NOT TO SCALE

**General Notes: Precast Catch Basins**

- Precast concrete structures shall be in accordance with NCDOT section 1077 for "precast concrete units" of the most recent "Standards Specifications for Roads and Structures" And ASTM-C-913 for "Reinforced Concrete Water and Wastewater Structures".
- Concrete compressive strength shall be 4000 PSI Minimum and shall meet the requirements as specified in NCDOT section 1077.
- Reinforcing steel shall be of deformed steel bars conforming to the requirements of ASTM-A-615, grade 60, or welded wire fabric conforming to the requirement of ASTM-A-82 or both.
- Reinforcing steel design shall be according to C-890-78 for H-20-44 Loading.
- Steps required on structures over 42" deep shall be on steel reinforced copolymer polypropylene plastic.
- Section joints shall be sealed with butyl rubber sealant or NCDOT approved mortar at the option of the contractor.
- Pipe connections shall be sealed with approved mortar. NCDOT approved brick may be used in conjunction with mortar at the contractors option.
- Lift holes shall be located as required for handling and sealed after installation with NCDOT approved mortar.

| D   | A X B      | H     |
|-----|------------|-------|
| 12' | 2'-2" x 3' | 2'-4" |
| 15' | 2'-2" x 3' | 2'-8" |
| 18' | 2'-2" x 3' | 2'-8" |
| 24' | 3' x 3'    | 4'-0" |
| 30' | 4' x 4'    | 4'-4" |
| 36' | 4' x 4'    | 5'-0" |
| 42' | 5' x 5'    | 5'-4" |
| 48' | 5' x 5'    | 6'-0" |



**SECTION**

**TEMPORARY CONSTRUCTION ENTRANCE**

SCALE: 1"=10'

**TEMPORARY SEEDING**

| GRASS TYPE       | AMOUNT/1000 SF | TIME OF SEEDING | INITIAL         | FERTILIZATION/1000 SF MAINTENANCE |
|------------------|----------------|-----------------|-----------------|-----------------------------------|
| RYE GRAIN        | 1-2 LBS        | NOV. THRU JAN.  | 25 LBS 10-10-10 | N/A N/A N/A                       |
| BROWN TOP MILLET | 1-2 LBS        | JUNE THRU AUG.  | 25 LBS 10-10-10 | N/A N/A N/A                       |

**PERMANENT SEEDING**

| GRASS TYPE                 | AMOUNT/1000 SF | TIME OF SEEDING            | INITIAL         | FERTILIZATION/1000 SF MAINTENANCE  |
|----------------------------|----------------|----------------------------|-----------------|--|
| BERMUDA, COMMON            | 1-2 LBS        | APR. THRU JUNE             | 25 LBS 10-10-10 | MARCH-APRIL 12 LBS 10-10-10 EACH 4-8 WKS 1-2 LBS N. AUG- SEPT 12 LBS 10-10-10    |
| FESCUE, TALL (KENTUCKY 31) | 5-7 LBS        | SEPT THRU OCT FEB THRU OCT | 25 LBS 10-10-10 | FEB - MARCH 12 LBS 10-10-10 MAY & DEC 1/2 TO 1 LB. N. SEPT - OCT 12 LBS 10-10-10 |
| SERICEA LESPEDEZA (SLOPES) | 1-2 LBS        | MARCH THRU APR.            | 25 LBS 10-10-10 | FEB - MARCH 1/2 TO 1 LB. N. N/A  |

**CITY OF WILMINGTON NORTH CAROLINA**  
Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

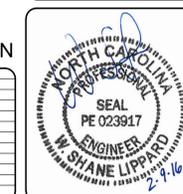
**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

101 MEARES STREET  
**FRONT STREET STORAGE**  
WILMINGTON NEW HANOVER NORTH CAROLINA  
DATE: 2-9-16  
Scale: SHOWN  
Drawn: NNC  
Checked: WSL  
Project No: DB0115  
Sheet No: **D2**

**RIGHT ANGLE ENGINEERING, P.C.**  
212 PRINCESS STREET  
WILMINGTON, NC 28401  
(910) 251-8544 FAX (910) 251-2208

**FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION**

| REV. NO. | DESCRIPTION REVISIONS | DATE |
|----------|-----------------------|------|
|          |                       |      |
|          |                       |      |
|          |                       |      |
|          |                       |      |



**Darryl  
Barker**

**Architect PA**  
1912 HAWTHORNE ROAD  
WILMINGTON, NC 29402  
(910) 471-2802  
dbarker61@qihoo.com

# FRONT STREET STORAGE

**DARRYL BARKER ARCHITECT PA**  
A-1.01 COVER SHEET  
A-1.02 SITE LAY-OUT/PROPOSED LANDSCAPE PLAN  
A-1.03 STREET ELEVATIONS

**RIGHT ANGLE ENGINEERING**  
C-1 EXISTING CONDITIONS & DEMOLITION PLAN  
C-2 SITE PLAN  
C-3 GRADING PLAN  
D-1 SITE DETAILS  
D-2 SITE DETAILS

**DEVELOPMENT PLAN  
FRONT STREET STORAGE  
101 MEARES STREET  
WILMINGTON, NC**

INITIAL DATE: 08-06-15  
COMPLETED DATE: 02-08-16  
DRAWN BY: DB  
CHECKED BY: DB

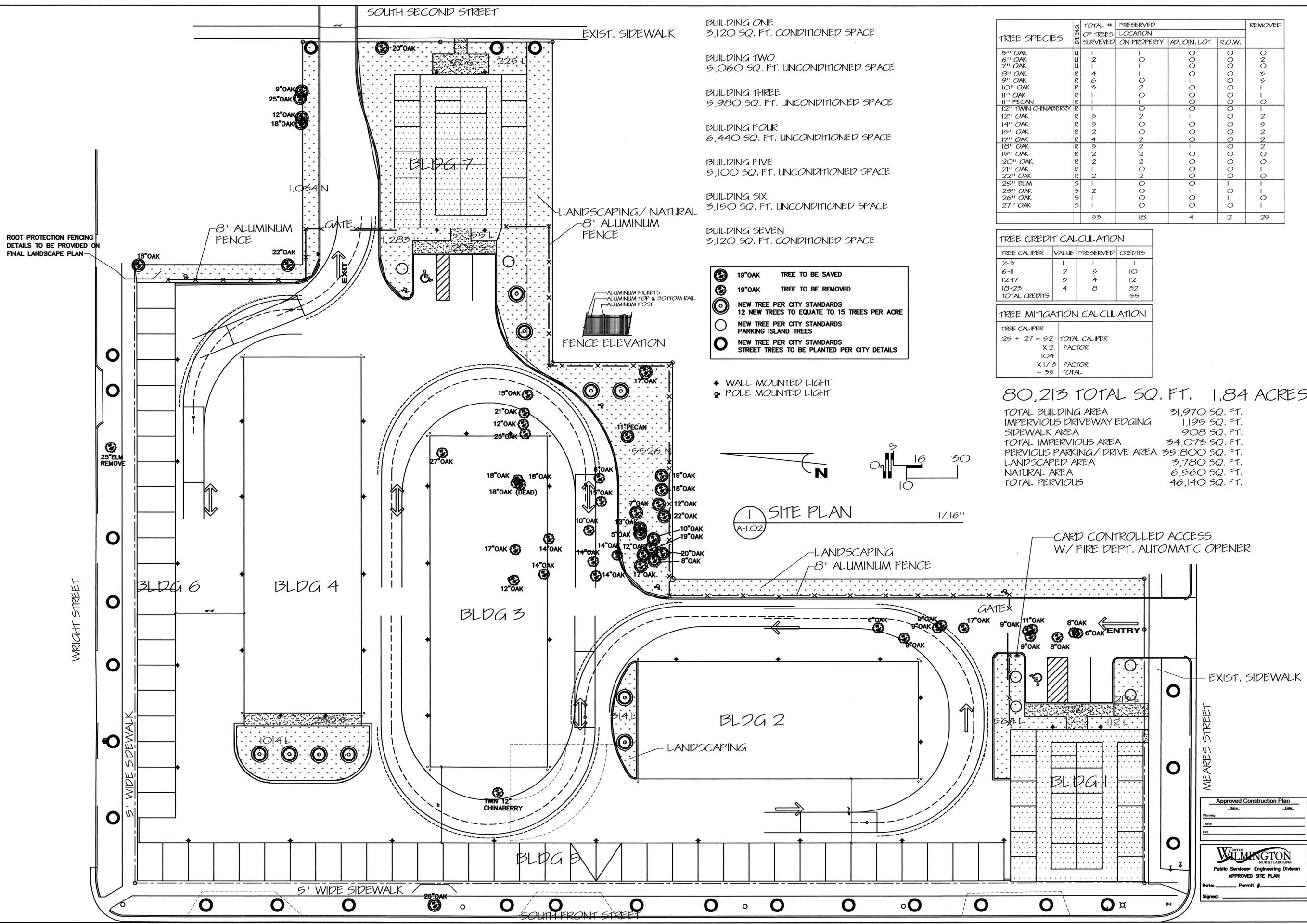
| Approved Construction Plan |      |
|----------------------------|------|
| Item                       | Date |
| Planning                   |      |
| Traffic                    |      |
| Fire                       |      |

|   |          |
|---|----------|
| <br>City of WILMINGTON<br>NORTH CAROLINA<br>Public Services Engineering Division<br>APPROVED COVER SHEET |          |
| Date:   | Permit # |
| Signed: _____   |          |

REVISIONS:  
△ ...

DRAWING:  
COVER SHEET

SHEET NO.:  
**A-1.01**  
OF: 1 of 3



- BUILDING ONE  
3,120 SQ. FT. CONDITIONED SPACE
- BUILDING TWO  
5,060 SQ. FT. UNCONDITIONED SPACE
- BUILDING THREE  
5,980 SQ. FT. UNCONDITIONED SPACE
- BUILDING FOUR  
6,440 SQ. FT. UNCONDITIONED SPACE
- BUILDING FIVE  
5,100 SQ. FT. UNCONDITIONED SPACE
- BUILDING SIX  
3,150 SQ. FT. UNCONDITIONED SPACE
- BUILDING SEVEN  
3,120 SQ. FT. CONDITIONED SPACE

- 19" OAK TREE TO BE SAVED
- 19" OAK TREE TO BE REMOVED
- NEW TREE PER CITY STANDARDS  
12 NEW TREES TO EQUATE TO 15 TREES PER ACRE
- NEW TREE PER CITY STANDARDS  
PARKING ISLAND TREES
- NEW TREE PER CITY STANDARDS  
STREET TREES TO BE PLANTED PER CITY DETAILS
- WALL MOUNTED LIGHT
- POLE MOUNTED LIGHT

| TREE SPECIES        | DESIG. | TOTAL # OF TREES SURVEYED | PRESERVED            |             |        | REMOVED |
|---------------------|--------|---------------------------|----------------------|-------------|--------|---------|
|                     |        |                           | LOCATION ON PROPERTY | ADJOIN. LOT | R.O.W. |         |
| 5" OAK              | U      | 1                         | 1                    | 0           | 0      | 0       |
| 6" OAK              | U      | 1                         | 1                    | 0           | 0      | 0       |
| 7" OAK              | U      | 1                         | 1                    | 0           | 0      | 0       |
| 8" OAK              | U      | 4                         | 1                    | 0           | 0      | 3       |
| 9" OAK              | U      | 6                         | 3                    | 0           | 0      | 3       |
| 10" OAK             | U      | 3                         | 2                    | 0           | 0      | 1       |
| 11" OAK             | U      | 1                         | 1                    | 0           | 0      | 0       |
| 11" PECAN           | R      | 1                         | 1                    | 0           | 0      | 0       |
| 12" TWIN CHINABERRY | R      | 1                         | 0                    | 0           | 0      | 1       |
| 12" OAK             | R      | 5                         | 2                    | 1           | 0      | 2       |
| 14" OAK             | R      | 5                         | 0                    | 0           | 0      | 5       |
| 15" OAK             | R      | 2                         | 0                    | 0           | 0      | 2       |
| 17" OAK             | R      | 4                         | 2                    | 0           | 0      | 2       |
| 18" OAK             | R      | 5                         | 2                    | 1           | 0      | 2       |
| 19" OAK             | R      | 2                         | 2                    | 0           | 0      | 0       |
| 20" OAK             | R      | 2                         | 2                    | 0           | 0      | 0       |
| 21" OAK             | R      | 1                         | 2                    | 0           | 0      | 0       |
| 22" OAK             | R      | 2                         | 2                    | 0           | 0      | 0       |
| 25" ELM             | S      | 1                         | 0                    | 1           | 0      | 0       |
| 25" OAK             | S      | 1                         | 0                    | 1           | 0      | 0       |
| 26" OAK             | S      | 1                         | 0                    | 0           | 0      | 1       |
| 27" OAK             | S      | 1                         | 0                    | 0           | 0      | 1       |
|                     |        | 53                        | 18                   | 4           | 2      | 29      |

| TREE CREDIT CALCULATION |       |           |         |
|-------------------------|-------|-----------|---------|
| TREE CALIPER            | VALUE | PRESERVED | CREDITS |
| 2-5                     | 1     | 1         | 1       |
| 6-11                    | 2     | 5         | 10      |
| 12-17                   | 3     | 4         | 12      |
| 18-23                   | 4     | 8         | 32      |
| TOTAL CREDITS           |       |           | 55      |

| TREE MITIGATION CALCULATION |       |               |         |
|-----------------------------|-------|---------------|---------|
| TREE CALIPER                | VALUE | TOTAL CALIPER | CREDITS |
| 25 + 27 = 52                |       |               |         |
| X 2 FACTOR                  |       |               |         |
| 104                         |       |               |         |
| X 1/3 FACTOR                |       |               |         |
| = 35                        |       |               |         |

80,213 TOTAL SQ. FT. 1.84 ACRES

TOTAL BUILDING AREA 31,970 SQ. FT.  
 IMPERVIOUS DRIVEWAY EDGING 1,195 SQ. FT.  
 SIDEWALK AREA 908 SQ. FT.  
 TOTAL IMPERVIOUS AREA 34,073 SQ. FT.  
 PERVIOUS PARKING/ DRIVE AREA 35,800 SQ. FT.  
 LANDSCAPED AREA 3,780 SQ. FT.  
 NATURAL AREA 6,560 SQ. FT.  
 TOTAL PERVIOUS 46,140 SQ. FT.

1 SITE PLAN 1/16"

**Darryl Barker**  
 Architect PA  
 1912 HAWTHORNE ROAD  
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**DEVELOPMENT PLAN  
 FRONT STREET STORAGE  
 101 MEARES STREET  
 WILMINGTON, NC**

INITIAL DATE: 08-06-19  
 COMPLETED DATE: 02-08-16  
 DRAWN BY: DB  
 CHECKED BY: DB

REVISIONS:  
 Δ ...

DRAWING:  
 SITE PLAN  
 LANDSCAPE PLAN

SHEET NO.:  
**A-1.02**

OF: 2 of 8

Approved Construction Plan

Planning \_\_\_\_\_ Date \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

City of WILMINGTON NORTH CAROLINA  
 Public Service Engineering Division  
 APPROVED SITE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**Darryl Barker**

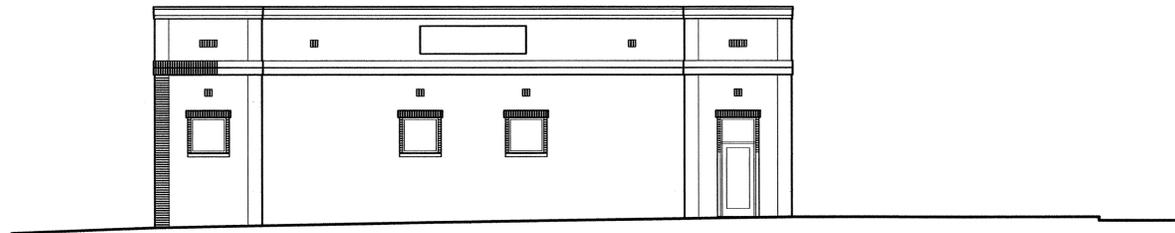
**Architect PA**  
1912 HAWTHORNE ROAD  
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dbarker61@juno.com



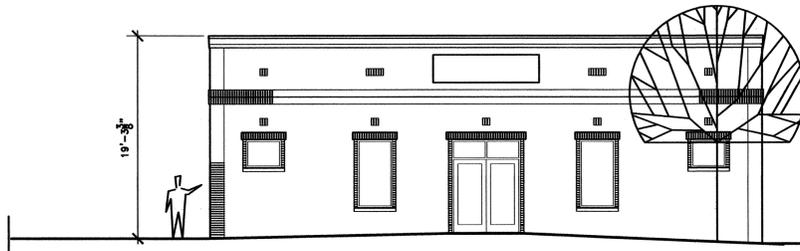
Public Services Engineering Division  
APPROVED ELEVATIONS

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

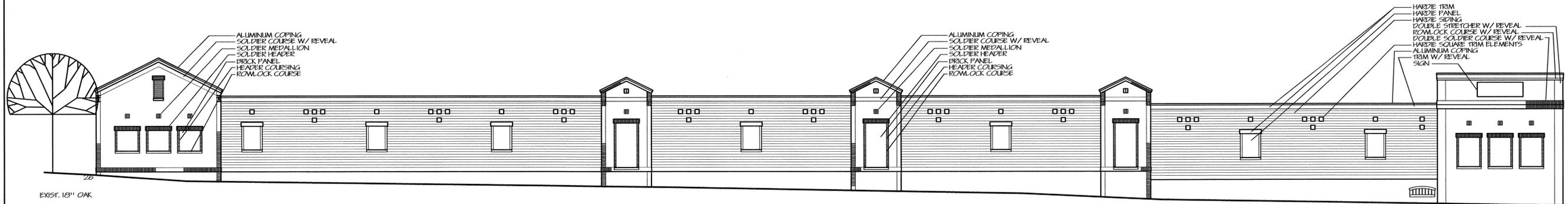
Signed: \_\_\_\_\_



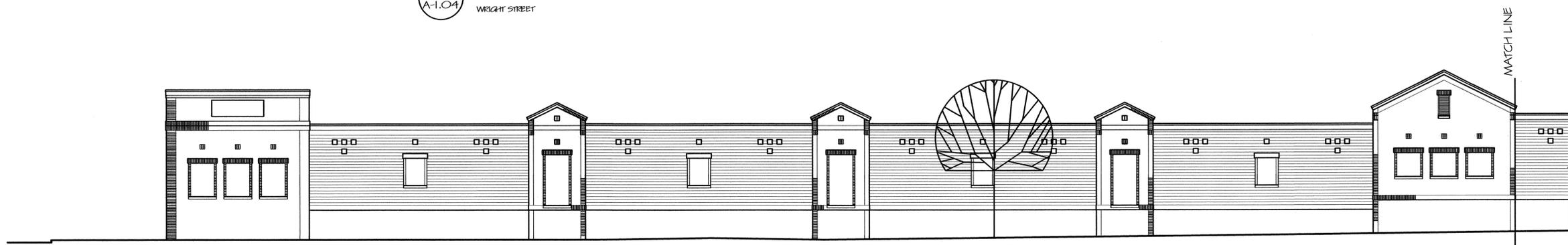
1 SOUTH ELEVATION 1/8"  
A-1.04 MEARES STREET



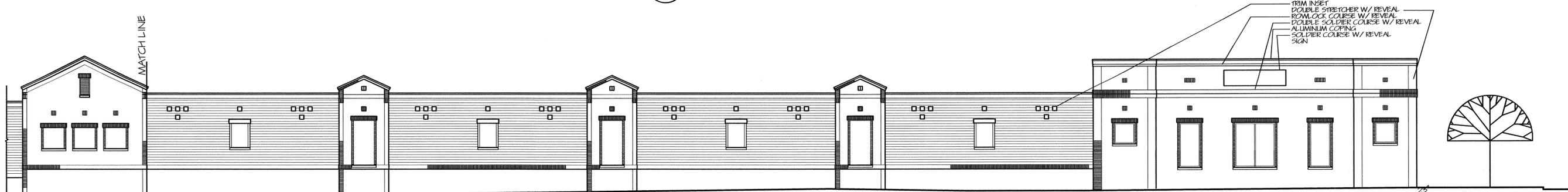
2 EAST ELEVATION 1/8"  
A-1.04 SECOND STREET



3 NORTH ELEVATION 1/8"  
A-1.04 WRIGHT STREET



4 WEST ELEVATION 1/8"  
A-1.03 FRONT STREET



5 WEST ELEVATION 1/8"  
A-1.03 FRONT STREET

DEVELOPMENT PLAN  
FRONT STREET STORAGE  
101 MEARES STREET  
WILMINGTON, NC

INITIAL DATE: 08-06-15  
COMPLETED DATE: 02-08-16  
DRAWN BY: LTB  
CHECKED BY: LTB

REVISIONS:  
△ ...

DRAWING:  
STREET ELEVATIONS

SHEET NO.:  
**A-1.03**  
OF: 3 of 3