

**GENERAL NOTES**

- PROPERTY BOUNDARY FOR AREA TAKEN FROM DEEDS AND MAPS OF RECORD.
- TOPOGRAPHIC SURVEY BASED ON FIELD SURVEY COMPLETED BY W.K. DICKSON & CO., INC. MARCH 13, 2013.
- FLOOD ZONE AE ACCORDING TO FEMA FIRM COMMUNITY PANEL 37203118 OOK - MAP REVISED JUNE 2, 2006  
NGVD 29 (EL 9.95) AND NAVD 88 (EL 9.00)
- ELEVATIONS BASED ON VERTICAL DATUM NGVD - 29. HORIZONTAL DATUM - NAD83/2007.
- LOCATION OF UNDERGROUND UTILITIES IS BASED UPON LOCATION OF VISIBLE ABOVE GROUND IMPROVEMENTS, RECORD DRAWINGS AND PAINT MARKINGS BY THE NORTH CAROLINA ONE CALL CENTER.
- THE SOIL TYPE PER SOIL SURVEY OF NEW HANOVER COUNTY, NORTH CAROLINA BY THE US DEPARTMENT OF AGRICULTURE AND NATURAL RESOURCE CONSERVATION SERVICE IS UR (URBAN LAND).
- THERE ARE NO CONSERVATION RESOURCES OR ASSOCIATED SETBACKS ON THE SITE.
- MEAN HIGH WATER EL 3.24 (NGVD).  
MEAN LOW WATER EL -1.29 (NGVD).
- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES, IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC..
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- THERE ARE NO WETLAND IMPACTS ASSOCIATED WITH THIS PROJECT.

**DEMOLITION NOTES**

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.

**SITE NOTES**

- TRAFFIC CONTROL DEVICES INCLUDING SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS ISSUED AND ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- THE SIGN CONTRACTOR WILL ERECT AND ILLUMINATE SITE IDENTIFICATION SIGNAGE PER OWNER'S SPECIFICATIONS. SEE ARCHITECTURAL PLANS.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS. ANY MISSING OR BROKEN SIDEWALK PANELS OR CURBING WILL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
- FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
- ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR SHALL FILE FORM 7460 WITH THE FAA IF CRANES WILL BE USED FOR CONSTRUCTION AT THE PROJECT SITE.

**UTILITY NOTES**

- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR PERMIT DETAILS.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABOUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.

- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
- UNDERGROUND CONDUITS SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSINGS UNDER PAVED AREAS.
- ALL WATER LINES SHALL HAVE FINAL COVER DEPTH OF 3'-0".
- ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0".
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED CONSTRUCTION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION.
- CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES AT WATERLINE CROSSINGS AND USE FITTINGS AND BENDS AS NECESSARY TO AVOID CONFLICTS.
- CONTRACTOR TO COORDINATE THE RELOCATION OF THE EXISTING GAS LINE IN ESTELL LEE PLACE TO ACCOMMODATE PROPOSED UTILITY LINES..
- CONTRACTOR TO SUPPORT AND/OR BRACE EXISTING UNDERGROUND UTILITIES AS NECESSARY TO CONSTRUCT PROPOSED UTILITY CONNECTIONS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.

**DRAINAGE NOTES**

- ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON & NCDOT SPECIFICATIONS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
- BEDDING FOR ALL STORM SEWER PIPES SHALL BE AS SPECIFIED IN THE DETAILS AND SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
- ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.



ARCHITECTURE  
PLANNING

Wilmington, NC  
3205 Randall Parkway, Suite 211  
Wilmington, NC 28403  
910.341.7600

Salisbury, MD  
312 West Main St. Suite 300  
Salisbury, MD 21801  
410.546.9100

Dover, DE  
309 S Governors Ave  
Dover, DE 19904  
302.734.7950

www.beckermorgan.com

**HARMONY HOSPITALITY**

DEVELOPER  
100 SHAMROCK SPRINGS ROAD, SUITE 201  
VIRGINIA BEACH, VIRGINIA, 23462  
757.963.9671

**WK DICKSON**

CIVIL / SURVEY / LANDSCAPE ENGINEERS  
509 MARKET STREET  
WILMINGTON, NORTH CAROLINA, 28401  
(910) 752-4209  
NC LICENSE NO. F-0274  
DENISE L. FREUND, P.E.

**WOODS ENGINEERING**

STRUCTURAL ENGINEERS  
224 N. FRONT STREET, SUITE 201  
WILMINGTON, NORTH CAROLINA, 28401  
(910) 843-8007

**PROJECT TITLE**



**EMBASSY  
SUITES**

9 ESTELL LEE PLACE  
WILMINGTON, NORTH CAROLINA  
28401

**SHEET TITLE**

**GENERAL NOTES**

**FINAL DESIGN - NOT  
RELEASED FOR  
CONSTRUCTION**

**ISSUE LOG**

NO.	DATE	DESCRIPTION
1	5/19/14	TRC COMMENTS

**MARK**   **DATE**   **DESCRIPTION**

PROJECT NO: 20130038.00.WL

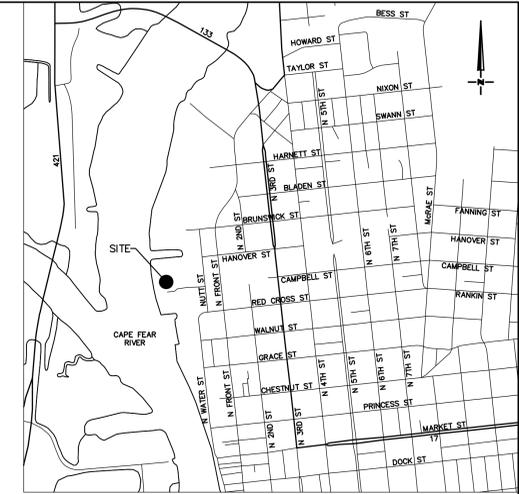
DATE: 5/9/14

SCALE: N.T.S.

DRAWN BY: NS   PROJ MGR: DLF

**C100**  
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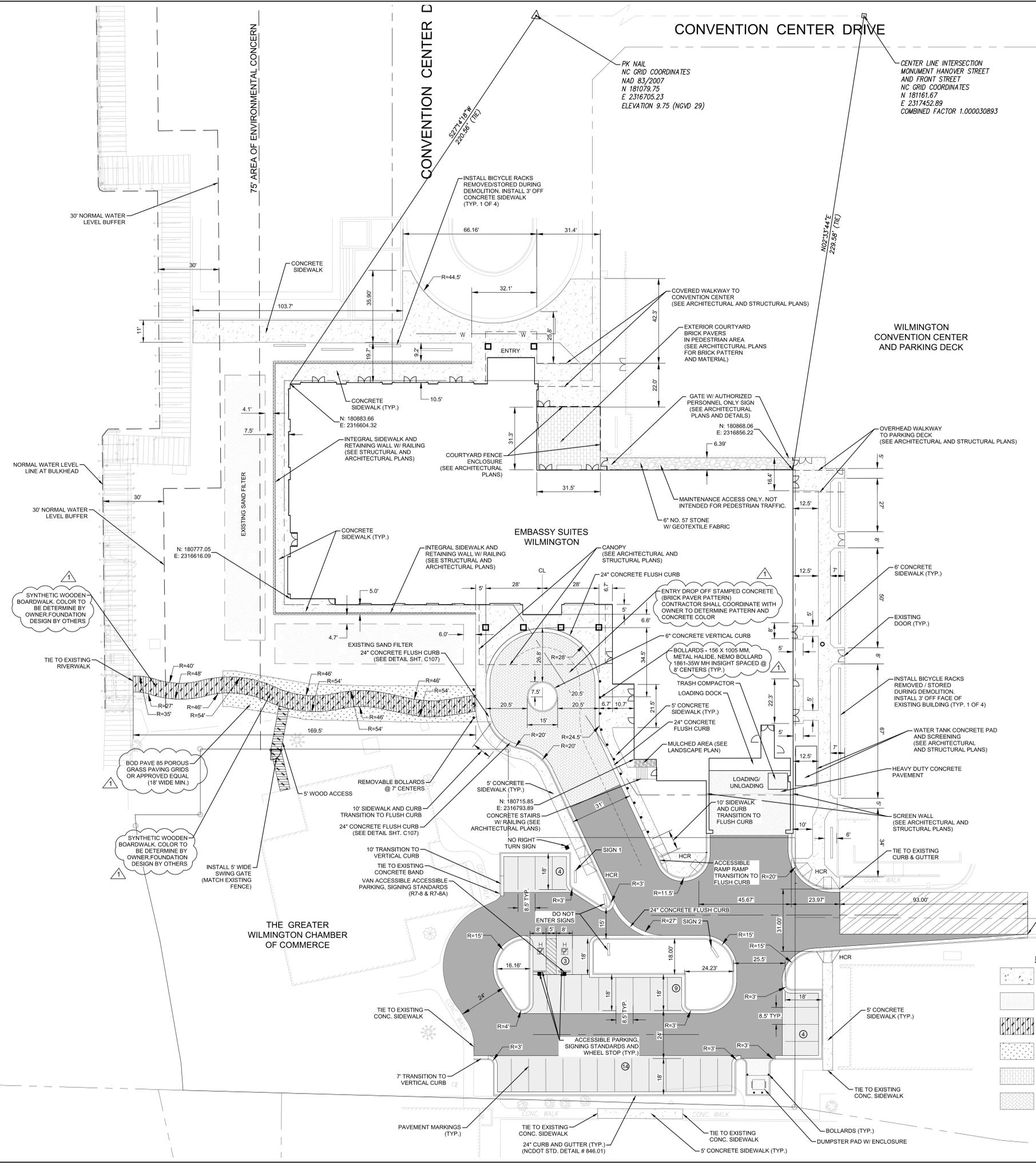


VICINITY MAP  
NOT TO SCALE

CONVENTION CENTER DRIVE

WILMINGTON CONVENTION CENTER AND PARKING DECK

ESTELL LEE PLACE



SITE INFORMATION

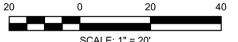
PROJECT ADDRESS:	9 ESTELL LEE PLACE
NEW HANOVER COUNTY P.I.N.:	R04716-001-023-000
CURRENT ZONING DISTRICT:	CBD (CENTRAL BUSINESS DISTRICT)
CURRENT LAND USE:	VACANT
IBC BUILDING CONSTRUCTION TYPE:	TYPE IB
BUILDING SETBACK:	REQUIRED PROPOSED
NORTH	0' VARIES 0.39' TO 0.70'
SOUTH	0' VARIES 0.11' TO 0.25'
EAST	0' 0.77'
WEST	0' 2.43'
PROPERTY BOUNDARY SIZE:	33,009 SF (0.76 AC)
BUILDING SIZE	
EXISTING BUILDING(S):	N/A
PROPOSED BUILDING(S):	
BUILDING HEIGHT:	116'-5"
HOTEL	
FLOOR 1:	29,182 SF
FLOOR 2:	21,597 SF
FLOORS 3 - 8:	118,872 SF (19,812 SF/FLOOR)
ROOF:	19,878 SF
OUTDOOR TERRACE:	1,406 SF
PARKING GARAGE CONNECTOR:	399 SF
TOTAL:	191,321 SF
% BUILDING LOT COVERAGE:	(29,182 SF / 33,009 SF) = 88.41%
NUMBER OF UNITS: 186 ROOMS	
IMPERVIOUS SURFACE AREAS	
IMPERVIOUS SURFACE AREA BEFORE DEVELOPMENT:	0 SF (0.00 AC)
IMPERVIOUS SURFACE AREA AFTER DEVELOPMENT:	
BUILDING:	30,251 SF (0.69 AC)
STREETS WITH CURB AND GUTTER:	1,260 SF (0.03 AC)
CONCRETE SIDEWALK, STAIRS AND BRICK PAVERS:	1,030 SF (0.02 AC)
TOTAL:	
% IMPERVIOUS AFTER DEVELOPMENT	(32,541 SF (0.75 AC) / 33,009 SF (0.76 AC)) = 98.58%
OFF STREET PARKING CALCULATIONS	REQUIRED PROPOSED
PARKING DECK SPACES:	0* 250**
PROPOSED SURFACE PARKING SPACES:	0* 0
PROPOSED HANDICAP SPACES:	
PARKING DECK (1 VAN ACCESSIBLE):	7 TBD
* NO PARKING REQUIRED IN THE CENTRAL BUSINESS DISTRICT.	
** PARKING SPACES PROVIDED IN THE CITY OF WILMINGTON CONVENTION CENTER PARKING DECK	
CAMA LAND USE CLASSIFICATION:	CONSERVATION
RECEIVING STREAM CLASS AND INDEX:	CAPE FEAR RIVER; SC 18-(71)

LEGEND

	4" CONCRETE SIDEWALK		MILL & OVERLAY ASPHALT - 2" S-9.5C
	HEAVY DUTY CONCRETE PAVEMENT		LIGHT DUTY ASPHALT PAVEMENT
	8" WIDE WOOD ACCESS TO RIVERWALK		HEAVY DUTY ASPHALT PAVEMENT
	GEOBLOCK GRASS PAVERS PER GEOSOLUTIONS PRODUCTS OR APPROVED EQUAL (18" WIDE MIN.)		
	EXTERIOR COURTYARD BRICK PAVERS IN PEDESTRIAN AREA (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL)		
	ENTRY DROP OFF BRICK PAVERS (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL)		



BEFORE YOU DIG  
CALL 1-800-632-4049  
NC ONE-CALL CENTER  
IT'S THE LAW!



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ISSUE NO.	DATE	DESCRIPTION
1	3/09/16	ADDENDUM 1

PROJECT NO:	20130038.00.WL
DATE:	5/9/14
SCALE:	1"=20'
DRAWN BY:	NS PROJ MGR: DJF

C102  
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