

**GENERAL NOTES**

- PROPERTY BOUNDARY FOR AREA TAKEN FROM DEEDS AND MAPS OF RECORD.
- TOPOGRAPHIC SURVEY BASED ON FIELD SURVEY COMPLETED BY W.K. DICKSON & CO., INC. MARCH 13, 2013.
- FLOOD ZONE AE ACCORDING TO FEMA FIRM COMMUNITY PANEL 37203118 OOK - MAP REVISED JUNE 2, 2006  
NGVD 29 (EL 9.95) AND NAVD 88 (EL 9.00)
- ELEVATIONS BASED ON VERTICAL DATUM NGVD - 29. HORIZONTAL DATUM - NAD83/2007.
- LOCATION OF UNDERGROUND UTILITIES IS BASED UPON LOCATION OF VISIBLE ABOVE GROUND IMPROVEMENTS, RECORD DRAWINGS AND PAINT MARKINGS BY THE NORTH CAROLINA ONE CALL CENTER.
- THE SOIL TYPE PER SOIL SURVEY OF NEW HANOVER COUNTY, NORTH CAROLINA BY THE US DEPARTMENT OF AGRICULTURE AND NATURAL RESOURCE CONSERVATION SERVICE IS UR (URBAN LAND).
- THERE ARE NO CONSERVATION RESOURCES OR ASSOCIATED SETBACKS ON THE SITE.
- MEAN HIGH WATER EL 3.24 (NGVD).  
MEAN LOW WATER EL -1.29 (NGVD).
- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC...
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- THERE ARE NO WETLAND IMPACTS ASSOCIATED WITH THIS PROJECT.

**DEMOLITION NOTES**

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.

**SITE NOTES**

- TRAFFIC CONTROL DEVICES INCLUDING SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS ISSUED AND ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- THE SIGN CONTRACTOR WILL ERECT AND ILLUMINATE SITE IDENTIFICATION SIGNAGE PER OWNER'S SPECIFICATIONS. SEE ARCHITECTURAL PLANS.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS. ANY MISSING OR BROKEN SIDEWALK PANELS OR CURBING WILL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
- FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
- ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR SHALL FILE FORM 7460 WITH THE FAA IF CRANES WILL BE USED FOR CONSTRUCTION AT THE PROJECT SITE.

**UTILITY NOTES**

- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR PERMIT DETAILS.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.

- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
- UNDERGROUND CONDUITS SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSINGS UNDER PAVED AREAS.
- ALL WATER LINES SHALL HAVE FINAL COVER DEPTH OF 3'-0".
- ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0".
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED CONSTRUCTION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION.
- CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES AT WATERLINE CROSSINGS AND USE FITTINGS AND BENDS AS NECESSARY TO AVOID CONFLICTS.
- CONTRACTOR TO COORDINATE THE RELOCATION OF THE EXISTING GAS LINE IN ESTELL LEE PLACE TO ACCOMMODATE PROPOSED UTILITY LINES.
- CONTRACTOR TO SUPPORT AND/OR BRACE EXISTING UNDERGROUND UTILITIES AS NECESSARY TO CONSTRUCT PROPOSED UTILITY CONNECTIONS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.

**DRAINAGE NOTES**

- ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON & NCDOT SPECIFICATIONS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
- BEDDING FOR ALL STORM SEWER PIPES SHALL BE AS SPECIFIED IN THE DETAILS AND SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
- ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.



**ARCHITECTURE PLANNING**

Wilmington, NC  
3205 Randall Parkway, Suite 211  
Wilmington, NC 28403  
910.341.7800  
Salisbury, MD  
312 West Main St. Suite 300  
Salisbury, MD 21801  
410.546.9100  
Dover, DE  
309 S Governors Ave  
Dover, DE 19904  
302.734.7950  
www.beckermorgan.com

**HARMONY HOSPITALITY**

DEVELOPER  
1300 DAWKINS SPRINGS ROAD, SUITE 204  
WOODBRIDGE, VIRGINIA, 22195  
(703) 363-9671

**WK DICKSON**

CIVIL / SURVEY / LANDSCAPE ENGINEERS  
608 MARKET STREET  
WILMINGTON, NORTH CAROLINA, 28401  
(910) 784-4200  
N.C. LICENSE NO. F-6284  
DENISE L. FRELUND, P.E.

**WOODS ENGINEERING**

STRUCTURAL ENGINEERS  
324 N. FRONT STREET, SUITE 201  
WILMINGTON, NORTH CAROLINA, 28401  
(910) 943-8007



**PROJECT TITLE**



**EMBASSY SUITES**

9 ESTELL LEE PLACE  
WILMINGTON, NORTH CAROLINA  
28401

**SHEET TITLE**

**GENERAL NOTES**

**FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION**

**ISSUE LOG**

| NO. | DATE    | DESCRIPTION   |
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| 1   | 5/19/14 | TRC COMMENTS. |
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PROJECT NO: 20130038.00.WL  
DATE: 5/9/14  
SCALE: N.T.S.  
DRAWN BY: NS | PROJ.MGR: DLF

**C100**  
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9 ESTELL LEE PLACE  
WILMINGTON, NORTH CAROLINA  
28401

EXISTING CONDITIONS AND DEMOLITION PLAN

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ISSUE BOOK

2 8/05/14 CFP/UA COMMENTS

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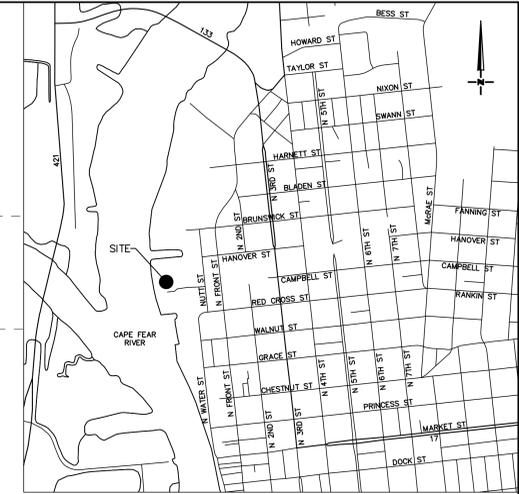
PROJECT NO: 20130038.00.WL

DATE: 5/9/14

SCALE: 1"=30'

DRAWN BY: NS PROJ MGR: DJF

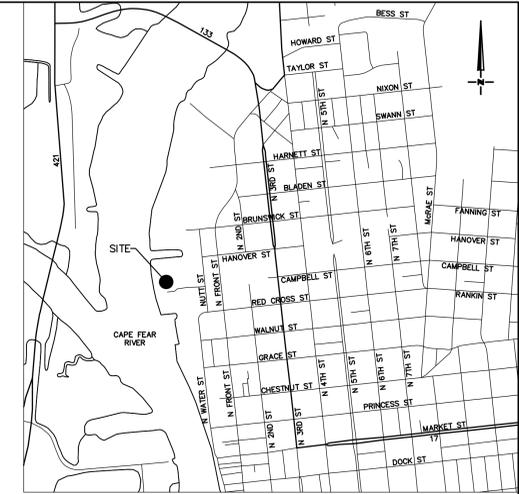
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| ISSUE NO. | DATE    | DESCRIPTION  |
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| 1         | 5/19/14 | CON COMMENTS |
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**SITE INFORMATION**

|                                 |                                 |
|---------------------------------|---------------------------------|
| PROJECT ADDRESS:                | 9 ESTELL LEE PLACE              |
| NEW HANOVER COUNTY P.I.N.:      | R04716-001-023-000              |
| CURRENT ZONING DISTRICT:        | CBD (CENTRAL BUSINESS DISTRICT) |
| CURRENT LAND USE:               | VACANT                          |
| IBC BUILDING CONSTRUCTION TYPE: | TYPE IB                         |
| <b>BUILDING SETBACK</b>         | <b>REQUIRED PROPOSED</b>        |
| NORTH                           | 0' VARIES 0.39' TO 0.70'        |
| SOUTH                           | 0' VARIES 0.11' TO 0.25'        |
| EAST                            | 0' 0.77'                        |
| WEST                            | 0' 2.43'                        |
| PROPERTY BOUNDARY SIZE:         | 34,848 SF (0.80 AC)             |

**BUILDING SIZE**

|                           |                              |
|---------------------------|------------------------------|
| EXISTING BUILDING(S):     | N/A                          |
| PROPOSED BUILDING(S):     |                              |
| BUILDING HEIGHT:          | 116'-5"                      |
| HOTEL                     |                              |
| FLOOR 1:                  | 29,170 SF                    |
| FLOOR 2:                  | 21,597 SF                    |
| FLOORS 3 - 8:             | 118,872 SF (19,812 SF/FLOOR) |
| ROOF:                     | 19,878 SF                    |
| OUTDOOR TERRACE:          | 1,406 SF                     |
| PARKING GARAGE CONNECTOR: | 398 SF                       |
| TOTAL:                    | 191,321 SF                   |

% BUILDING LOT COVERAGE:  
(29,170 SF / 34,848 SF) = 84%

NUMBER OF UNITS: 186 ROOMS

**IMPERVIOUS SURFACE AREAS**

|   |                                       |
|---|---------------------------------------|
| IMPERVIOUS SURFACE AREA BEFORE DEVELOPMENT: | 0 SF (0.00 AC)                        |
| IMPERVIOUS SURFACE AREA AFTER DEVELOPMENT:  |                                       |
| BUILDING:                                   | 29,170 SF (0.67 AC)                   |
| STREETS WITH CURB AND GUTTER:               | 812 SF (0.019 AC)                     |
| CONCRETE SIDEWALK, STAIRS AND BRICK PAVERS: | 2,709 SF (0.062 AC)                   |
| TOTAL:                                      | 32,691 SF (0.75 AC) / 34,848 SF = 94% |

**OFF STREET PARKING CALCULATIONS**

|                                  | REQUIRED | PROPOSED |
|----------------------------------|----------|----------|
| PARKING DECK SPACES:             | 0*       | 250**    |
| PROPOSED SURFACE PARKING SPACES: | 0*       | 0        |
| PROPOSED HANDICAP SPACES:        |          |          |
| PARKING DECK (1 VAN ACCESSIBLE): | 7        | TBD      |

\* NO PARKING REQUIRED IN THE CENTRAL BUSINESS DISTRICT.  
\*\* PARKING SPACES PROVIDED IN THE CITY OF WILMINGTON CONVENTION CENTER PARKING DECK

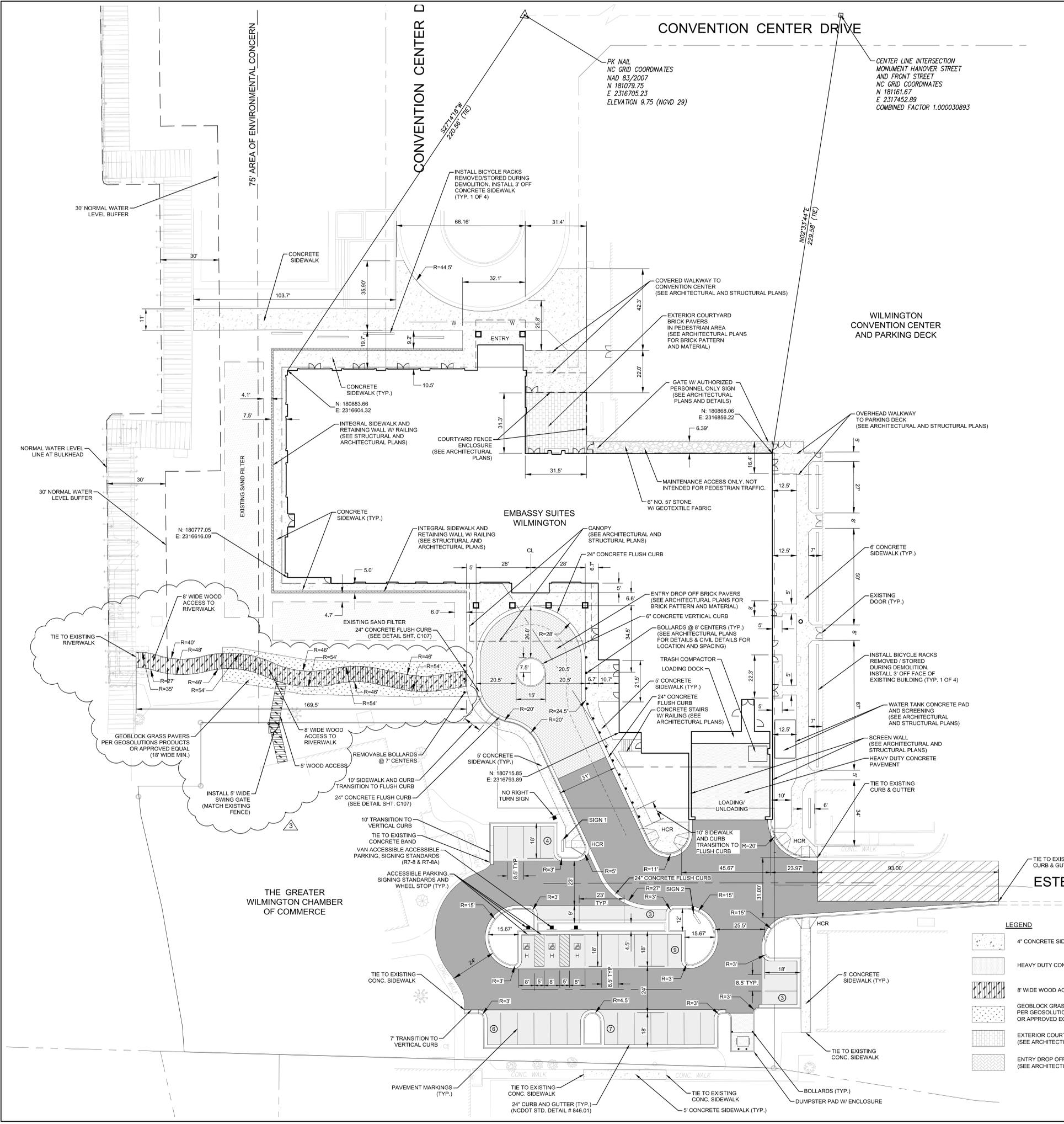
CAMA LAND USE CLASSIFICATION: CONSERVATION  
RECEIVING STREAM CLASS AND INDEX: CAPE FEAR RIVER; SC 18-(71)

**LEGEND**

|  |   |  |                                    |
|--|---|--|------------------------------------|
|  | 4" CONCRETE SIDEWALK  |  | MILL & OVERLAY ASPHALT - 2" S-9.5C |
|  | HEAVY DUTY CONCRETE PAVEMENT  |  | LIGHT DUTY ASPHALT PAVEMENT        |
|  | 8" WIDE WOOD ACCESS TO RIVERWALK  |  | HEAVY DUTY ASPHALT PAVEMENT        |
|  | GEOBLOCK GRASS PAVERS PER GEOSOLUTIONS PRODUCTS OR APPROVED EQUAL (18" WIDE MIN.)                           |  |                                    |
|  | EXTERIOR COURTYARD BRICK PAVERS IN PEDESTRIAN AREA (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL) |  |                                    |
|  | ENTRY DROP OFF BRICK PAVERS (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL)                        |  |                                    |



BEFORE YOU DIG  
CALL 1-800-632-4049  
N.C. ONE-CALL CENTER  
IT'S THE LAW!



75' AREA OF ENVIRONMENTAL CONCERN

CONVENTION CENTER DRIVE

ESTELL LEE PLACE

EMBASSY SUITES WILMINGTON

THE GREATER WILMINGTON CHAMBER OF COMMERCE

WILMINGTON CONVENTION CENTER AND PARKING DECK

CONCRETE SIDEWALK

HEAVY DUTY CONCRETE PAVEMENT

8" WIDE WOOD ACCESS TO RIVERWALK

GEOBLOCK GRASS PAVERS PER GEOSOLUTIONS PRODUCTS OR APPROVED EQUAL (18" WIDE MIN.)

EXTERIOR COURTYARD BRICK PAVERS IN PEDESTRIAN AREA (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL)

ENTRY DROP OFF BRICK PAVERS (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL)

INSTALL BICYCLE RACKS REMOVED/STORED DURING DEMOLITION. INSTALL 3' OFF CONCRETE SIDEWALK (TYP. 1 OF 4)

COVERED WALKWAY TO CONVENTION CENTER (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

EXTERIOR COURTYARD BRICK PAVERS IN PEDESTRIAN AREA (SEE ARCHITECTURAL PLANS FOR BRICK PATTERN AND MATERIAL)

GATE W/ AUTHORIZED PERSONNEL ONLY SIGN (SEE ARCHITECTURAL PLANS AND DETAILS)

OVERHEAD WALKWAY TO PARKING DECK (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

MAINTENANCE ACCESS ONLY. NOT INTENDED FOR PEDESTRIAN TRAFFIC.

6" NO. 57 STONE W/ GEOTEXTILE FABRIC

6" CONCRETE VERTICAL CURB

BOLLARDS @ 8' CENTERS (TYP.) (SEE ARCHITECTURAL PLANS FOR DETAILS & CIVIL DETAILS FOR LOCATION AND SPACING)

TRASH COMPACTOR LOADING DOCK

24" CONCRETE FLUSH CURB

CONCRETE STAIRS W/ RAILING (SEE ARCHITECTURAL PLANS)

INSTALL BICYCLE RACKS REMOVED / STORED DURING DEMOLITION. INSTALL 3' OFF FACE OF EXISTING BUILDING (TYP. 1 OF 4)

SCREEN WALL (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

HEAVY DUTY CONCRETE PAVEMENT

TIE TO EXISTING CURB & GUTTER

WATER TANK CONCRETE PAD AND SCREENING (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

SCREEN WALL (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

HEAVY DUTY CONCRETE PAVEMENT

TIE TO EXISTING CURB & GUTTER

5' CONCRETE SIDEWALK (TYP.)

NO RIGHT TURN SIGN

LOADING/ UNLOADING

10' SIDEWALK AND CURB TRANSITION TO FLUSH CURB

10' TRANSITION TO VERTICAL CURB

TIE TO EXISTING CONC. SIDEWALK

VAN ACCESSIBLE ACCESSIBLE PARKING, SIGNING STANDARDS (R7-8 & R7-8A)

ACCESSIBLE PARKING, SIGNING STANDARDS AND WHEEL STOP (TYP.)

24" CONCRETE FLUSH CURB

10' SIDEWALK AND CURB TRANSITION TO FLUSH CURB

10' TRANSITION TO VERTICAL CURB

TIE TO EXISTING CONC. SIDEWALK

7' TRANSITION TO VERTICAL CURB

PAVEMENT MARKINGS (TYP.)

TIE TO EXISTING CONC. SIDEWALK

24" CURB AND GUTTER (TYP.) (NCDOT STD. DETAIL # 846.01)

5' CONCRETE SIDEWALK (TYP.)

BOLLARDS (TYP.)

DUMPSTER PAD W/ ENCLOSURE

PK NAIL  
NC GRID COORDINATES  
NAD 83/2007  
N 181079.75  
E 2316705.23  
ELEVATION 9.75 (NGVD 29)

CENTER LINE INTERSECTION  
MONUMENT HANOVER STREET  
AND FRONT STREET  
NC GRID COORDINATES  
N 181161.67  
E 2317452.89  
COMBINED FACTOR 1.000030893

30' NORMAL WATER LEVEL BUFFER

30' NORMAL WATER LEVEL LINE AT BULKHEAD

30' NORMAL WATER LEVEL BUFFER

EXISTING SAND FILTER

8' WIDE WOOD ACCESS TO RIVERWALK

TIE TO EXISTING RIVERWALK

8' WIDE WOOD ACCESS TO RIVERWALK

5' WOOD ACCESS

REMOVABLE BOLLARDS @ 7' CENTERS

10' SIDEWALK AND CURB TRANSITION TO FLUSH CURB

24" CONCRETE FLUSH CURB (SEE DETAIL SHT. C.107)

10' TRANSITION TO VERTICAL CURB

TIE TO EXISTING CONC. BAND

VAN ACCESSIBLE ACCESSIBLE PARKING, SIGNING STANDARDS (R7-8 & R7-8A)

ACCESSIBLE PARKING, SIGNING STANDARDS AND WHEEL STOP (TYP.)

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5' CONCRETE SIDEWALK (TYP.)

BOLLARDS (TYP.)

DUMPSTER PAD W/ ENCLOSURE

6" CONCRETE VERTICAL CURB

BOLLARDS @ 8' CENTERS (TYP.) (SEE ARCHITECTURAL PLANS FOR DETAILS & CIVIL DETAILS FOR LOCATION AND SPACING)

TRASH COMPACTOR LOADING DOCK

24" CONCRETE FLUSH CURB

CONCRETE STAIRS W/ RAILING (SEE ARCHITECTURAL PLANS)

INSTALL BICYCLE RACKS REMOVED / STORED DURING DEMOLITION. INSTALL 3' OFF FACE OF EXISTING BUILDING (TYP. 1 OF 4)

SCREEN WALL (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

HEAVY DUTY CONCRETE PAVEMENT

TIE TO EXISTING CURB & GUTTER

WATER TANK CONCRETE PAD AND SCREENING (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

SCREEN WALL (SEE ARCHITECTURAL AND STRUCTURAL PLANS)

HEAVY DUTY CONCRETE PAVEMENT

TIE TO EXISTING CURB & GUTTER

5' CONCRETE SIDEWALK (TYP.)

NO RIGHT TURN SIGN

LOADING/ UNLOADING

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9 ESTELL LEE PLACE  
WILMINGTON, NORTH CAROLINA  
28401

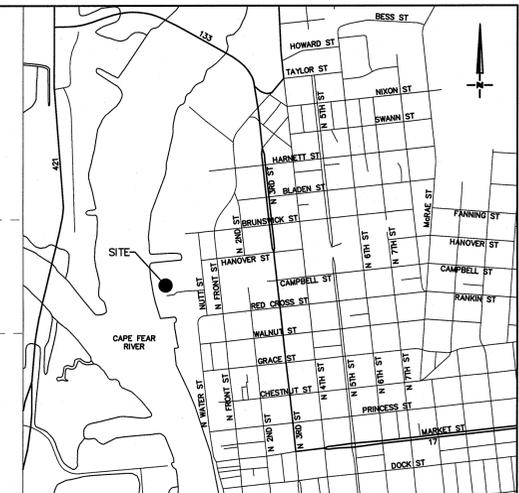
GRADING PLAN

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

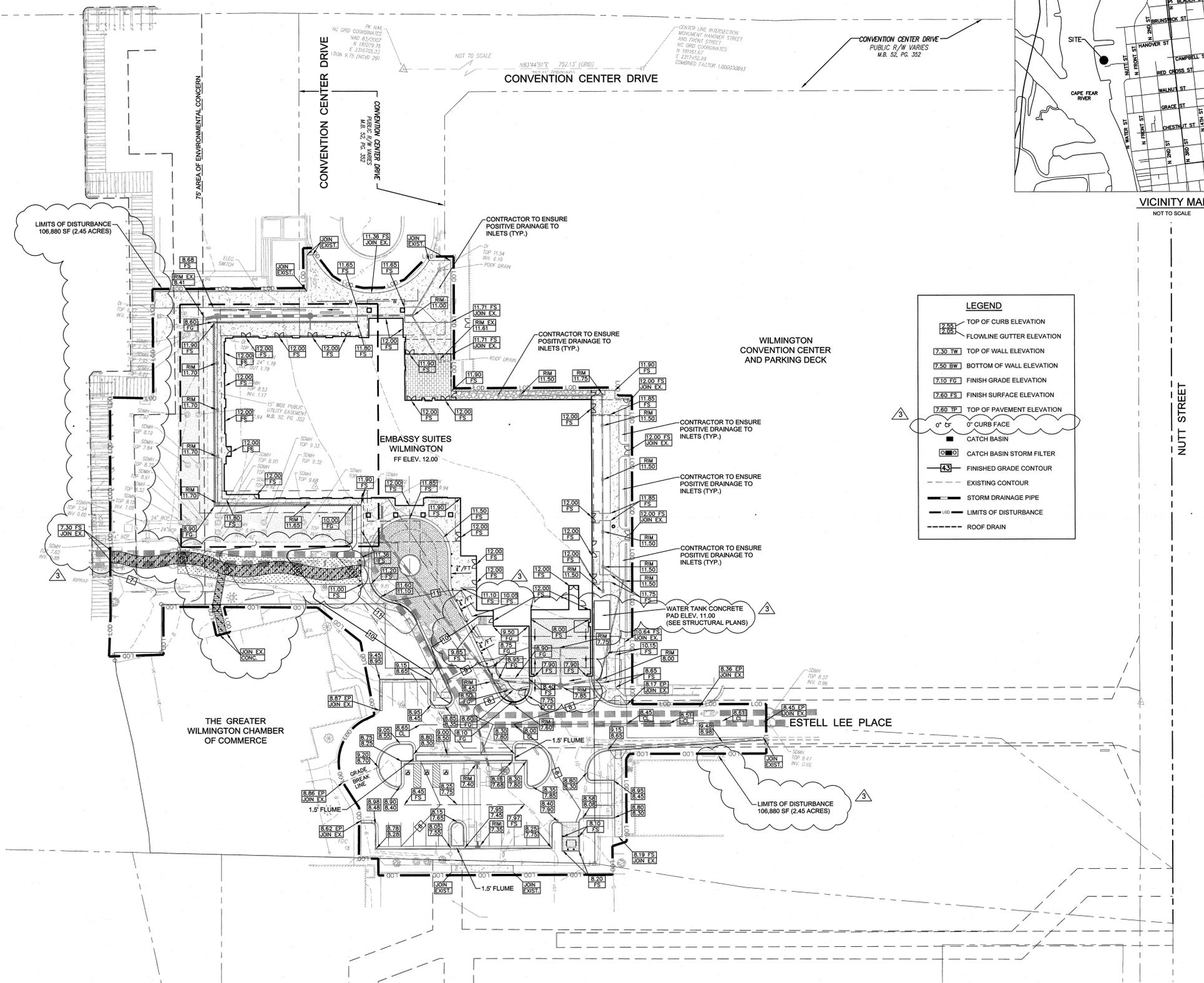
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|-----------|---------|-----------------|
| 2         | 8/05/14 | CFP/UA COMMENTS |

PROJECT NO: 20130038.00.WL  
DATE: 5/9/14  
SCALE: 1"=30'  
DRAWN BY: NS | PROJ MGR: DLF

**C103**  
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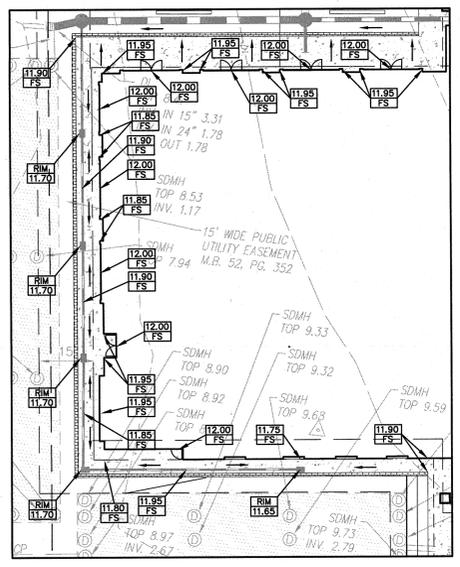


VICINITY MAP  
NOT TO SCALE



**LEGEND**

- 7.55 FS TOP OF CURB ELEVATION
- 7.05 FLOWLINE GUTTER ELEVATION
- 7.50 TW TOP OF WALL ELEVATION
- 7.50 BW BOTTOM OF WALL ELEVATION
- 7.10 FG FINISH GRADE ELEVATION
- 7.60 FS FINISH SURFACE ELEVATION
- 7.60 TP TOP OF PAVEMENT ELEVATION
- 0" CF 0" CURB FACE
- CATCH BASIN
- CATCH BASIN STORM FILTER
- FINISHED GRADE CONTOUR
- EXISTING CONTOUR
- STORM DRAINAGE PIPE
- LIMITS OF DISTURBANCE
- ROOF DRAIN



PLAN INSERT  
SCALE: 1" = 20'

BEFORE YOU DIG  
CALL 1-800-832-8849  
N.C. ONE-CALL CENTER  
IT'S THE LAW

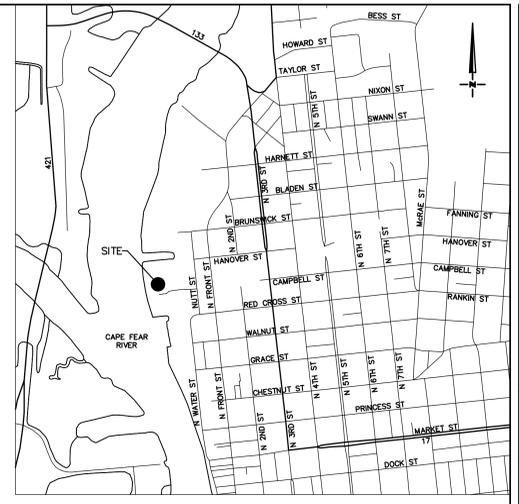
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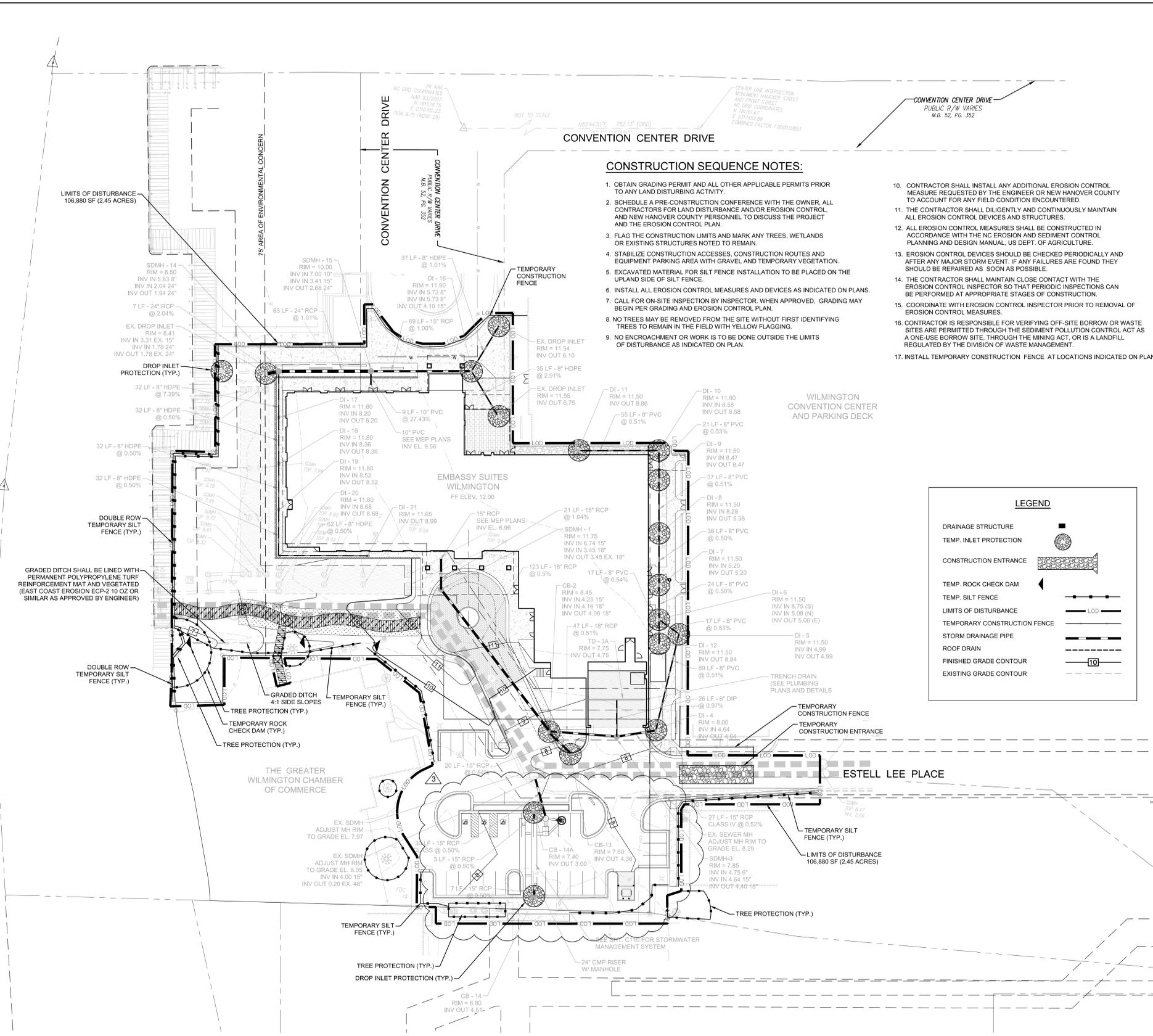
9 ESTELL LEE PLACE  
WILMINGTON, NORTH CAROLINA  
28401

**DRAINAGE AND EROSION CONTROL PLAN**

**FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION**

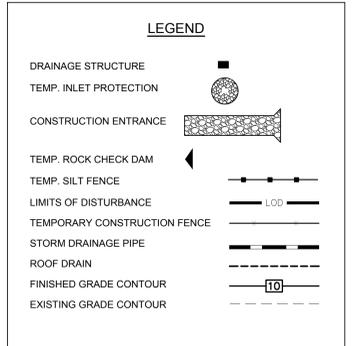


VICINITY MAP  
NOT TO SCALE

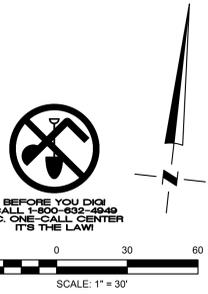


**CONSTRUCTION SEQUENCE NOTES:**

- OBTAIN GRADING PERMIT AND ALL OTHER APPLICABLE PERMITS PRIOR TO ANY LAND DISTURBING ACTIVITY.
- SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, ALL CONTRACTORS FOR LAND DISTURBANCE AND/OR EROSION CONTROL, AND NEW HANOVER COUNTY PERSONNEL TO DISCUSS THE PROJECT AND THE EROSION CONTROL PLAN.
- FLAG THE CONSTRUCTION LIMITS AND MARK ANY TREES, WETLANDS OR EXISTING STRUCTURES NOTED TO REMAIN.
- STABILIZE CONSTRUCTION ACCESSES, CONSTRUCTION ROUTES AND EQUIPMENT PARKING AREA WITH GRAVEL AND TEMPORARY VEGETATION.
- EXCAVATED MATERIAL FOR SILT FENCE INSTALLATION TO BE PLACED ON THE UPLAND SIDE OF SILT FENCE.
- INSTALL ALL EROSION CONTROL MEASURES AND DEVICES AS INDICATED ON PLANS.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, GRADING MAY BEGIN PER GRADING AND EROSION CONTROL PLAN.
- NO TREES MAY BE REMOVED FROM THE SITE WITHOUT FIRST IDENTIFYING TREES TO REMAIN IN THE FIELD WITH YELLOW FLAGGING.
- NO ENCROACHMENT OR WORK IS TO BE DONE OUTSIDE THE LIMITS OF DISTURBANCE AS INDICATED ON PLAN.
- CONTRACTOR SHALL INSTALL ANY ADDITIONAL EROSION CONTROL MEASURE REQUESTED BY THE ENGINEER OR NEW HANOVER COUNTY TO ACCOUNT FOR ANY FIELD CONDITION ENCOUNTERED.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, US DEPT. OF AGRICULTURE.
- EROSION CONTROL DEVICES SHOULD BE CHECKED PERIODICALLY AND AFTER ANY MAJOR STORM EVENT, IF ANY FAILURES ARE FOUND THEY SHOULD BE REPAIRED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING OFF-SITE BORROW OR WASTE SITES ARE PERMITTED THROUGH THE SEDIMENT POLLUTION CONTROL ACT AS A ONE-USE BORROW SITE, THROUGH THE MINING ACT, OR IS A LANDFILL REGULATED BY THE DIVISION OF WASTE MANAGEMENT.
- INSTALL TEMPORARY CONSTRUCTION FENCE AT LOCATIONS INDICATED ON PLANS.



**DRAINAGE NOTES:**  
1. ALL PIPE AND STRUCTURE RUBBER GASKETS SHALL BE OIL RESISTANT BUNA-N (NITRILE) RUBBER GASKETS.



**NOTE:**  
FLOOD ZONE AE ACCORDING TO FEMA FIRM COMMUNITY PANEL 37203118 OOK - MAP REVISED JUNE 2, 2006  
NGVD 29 (EL 9.95) AND NAVD 88 (EL 9.00)

| GROUND COVER SCHEDULE                        |                          |   |
|--|--------------------------|---|
| SITE AREA DESCRIPTION                        | STABILIZATION TIME FRAME | STABILIZATION TIME FRAME EXCEPTIONS   |
| PERIMETER DIKES, SWALES, DITCHES AND SLOPES  | 7 DAYS                   | NONE  |
| HIGH QUALITY WATER (HW) ZONES                | 7 DAYS                   | NONE  |
| SLOPES STEEPER THAN 3:1                      | 7 DAYS                   | IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED |
| SLOPES 3:1 OR FLATTER                        | 14 DAYS                  | 7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH                                      |
| ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS                  | NONE (EXCEPT FOR PERIMETERS AND HWQ ZONES)  |

**NOTE:**  
PER THE GROUND COVER SCHEDULE SHOWN HERE, OR AT THE COMPLETION OF ANY PHASE OF GRADING, WHICHEVER PERIOD IS SHORTER, DISTURBED AREAS SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

- EROSION CONTROL NOTES:**
- SEE SHEET C111 FOR EROSION DETAILS AND MAINTENANCE REQUIREMENTS.
  - STABILIZE DISTURBED EARTH AREAS WITHIN 14 DAYS FROM COMPLETION OF GRADING ACTIVITIES EXCEPT FOR PERIMETER DIKES, SWALES, DITCHES, AND SLOPES WHICH MUST BE STABILIZED WITHIN 7 DAYS.
  - THERE ARE NO WETLAND IMPACTS ASSOCIATED WITH THIS PROJECT.
  - CONTACT PERSON RESPONSIBLE FOR MAINTENANCE:  
PAGE A, JOHNSON, II - (757) 363-9671
  - SOIL TYPE AT PROJECT SITE IS U<sub>1</sub> URBAN LAND.
  - PROJECT LOCATION:  
LATITUDE - N 34°14'30.3078"  
LONGITUDE - W 77°57'5.674"
  - NEW HANOVER COUNTY PARCEL ID #: R04716-001-023-000

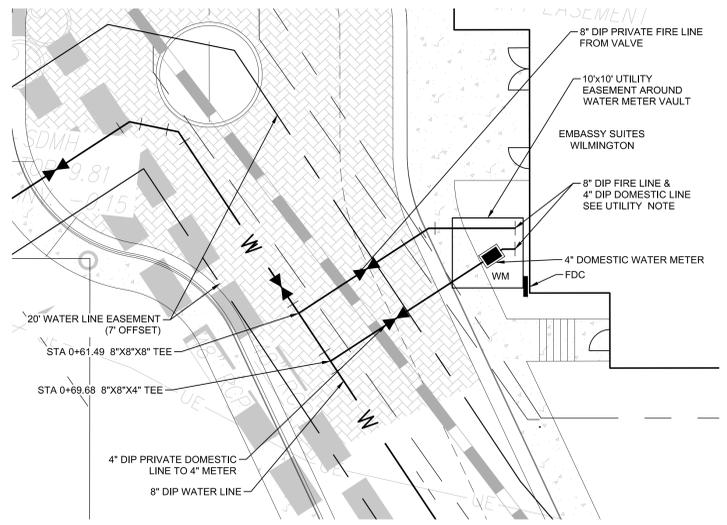
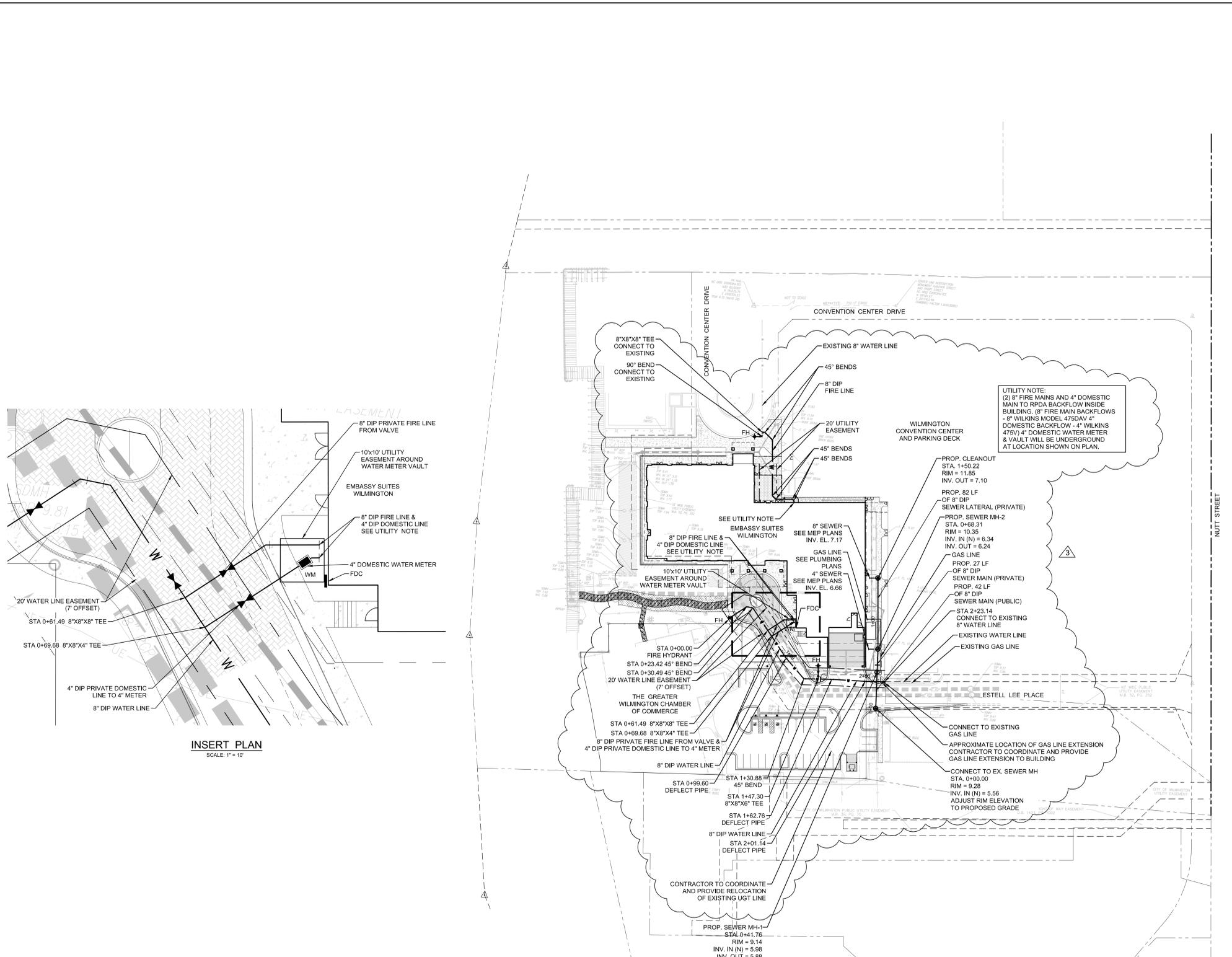
**CIVIL ENGINEER CONTACT INFORMATION:**  
DENISE L. FREUND, P.E.  
NC LICENSE NO. F-0374  
909 MARKET STREET  
WILMINGTON, NORTH CAROLINA, 28401  
PH (910) 762-4200  
FAX (910) 762-4201  
DFREUND@WKDICKSON.COM



| NO. | DATE    | DESCRIPTION     |
|-----|---------|-----------------|
| 2   | 8/05/14 | CFPUA COMMENTS. |



VICINITY MAP  
NOT TO SCALE



INSERT PLAN  
SCALE: 1" = 10'

NOTES:  
1. ALL PIPE AND STRUCTURE RUBBER GASKETS SHALL BE OIL RESISTANT BUNA-N (NITRILE) RUBBER GASKETS.

| WATER AND SEWER CAPACITY CALCULATIONS |                 |          |               |
|---------------------------------------|-----------------|----------|---------------|
| TYPE OF FACILITY                      | FLOW FOR DESIGN | QUANTITY | TOTAL (GPD)   |
| BANQUET HALL                          | 30 GAL/SEAT     | 266      | 7,980         |
| RESTAURANT                            | 40 GAL/SEAT     | 211      | 8,440         |
| FULL SERVICE ROOFTOP BAR              | 20 GAL/SEAT     | 129      | 2,580         |
| HOTELS W/O IN-ROOM COOKING            | 120 GAL/ROOM    | 186      | 22,320        |
| SELF SERVICE LAUNDRY                  | 500 GAL/MACHINE | 1        | 500           |
| SWIMMING POOL                         | 10 GAL/PERSON   | 41       | 410           |
| FITNESS CENTER (600 SQFT)             | 50 GAL/100 SQFT | 7        | 350           |
| IRRIGATION SYSTEM                     | 4000 GAL/E.A    | 1        | 4000          |
| <b>TOTAL (ESTIMATED)</b>              |                 |          | <b>46,580</b> |

|   |               |
|---|---------------|
| <b>WATER CAPACITY TOTAL (ESTIMATED)</b> | <b>46,580</b> |
| <b>SEWER CAPACITY TOTAL (ESTIMATED)</b> | <b>42,580</b> |

- LEGEND**
- VALVE
  - WM WATER METER
  - FH FIRE HYDRANT
  - FITTING



BEFORE YOU DIG  
CALL 1-800-532-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

SCALE: 1" = 50'

**HARMONY HOSPITALITY**

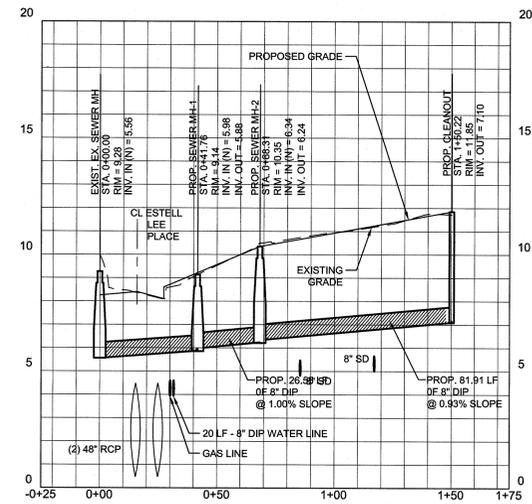
DEVELOPER  
1300 DAMASK SPRINGS ROAD, SUITE 204  
VIRGINIA BEACH, VIRGINIA, 23465  
(757) 363-9671

**WK DICKSON**

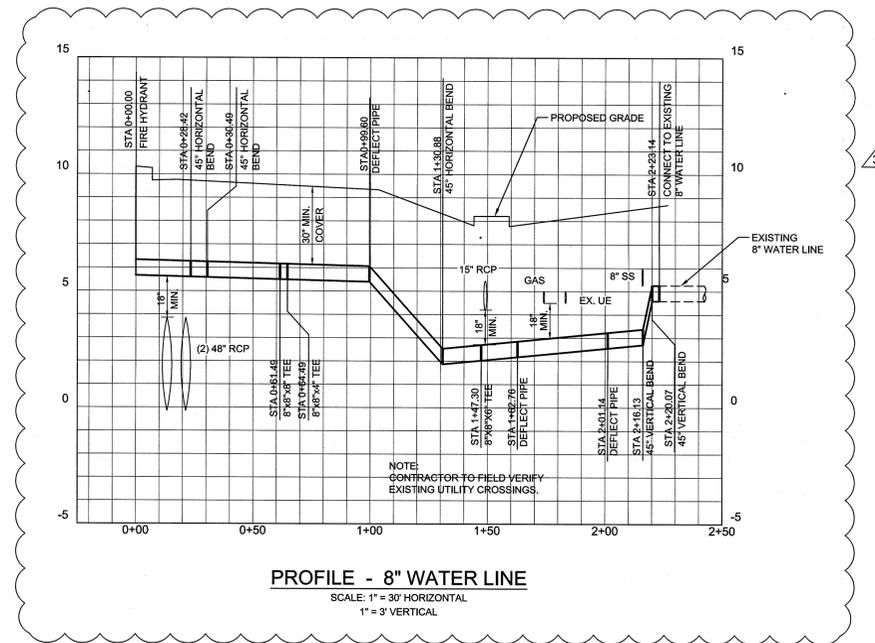
CIVIL / SURVEY / LANDSCAPE ENGINEERS  
80 MARKET STREET  
WILMINGTON, NORTH CAROLINA, 28401  
910.781.4000  
NC LICENSE NO. F-0204  
DICKSON, L. FREDUND, P.E.

**WOODS ENGINEERING**

STRUCTURAL ENGINEERS  
554 N. FRONT STREET, SUITE 201  
WILMINGTON, NORTH CAROLINA, 28401  
910.781.8007



**PROFILE - 8" SEWER LINE**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



**PROFILE - 8" WATER LINE**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



BEFORE YOU DIG  
CALL 1-800-833-8849  
N.C. ONE-CALL CENTER  
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SCALE: 1" = 30'

PROJECT TITLE



**EMBASSY  
SUITES**

9 ESTELL LEE PLACE  
WILMINGTON, NORTH CAROLINA  
28401

SHEET TITLE

UTILITY PROFILES

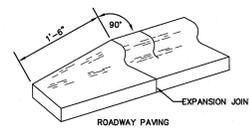
FINAL DESIGN - NOT  
RELEASED FOR  
CONSTRUCTION

| DATE | DESCRIPTION |
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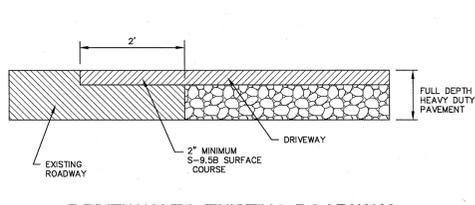
PROJECT NO: 20130038.00.VL  
DATE: 5/9/14  
SCALE: 1"=30'  
DRAWN BY: NS PROJ MGR: DLF

**C106**

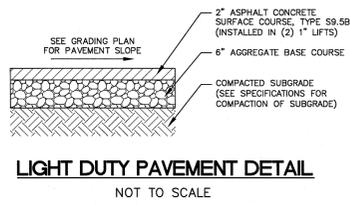
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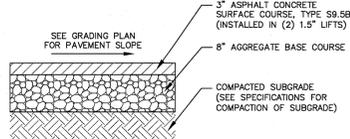
**24" CURB + GUTTER TO TURN DOWN CURB DETAIL**  
NOT TO SCALE



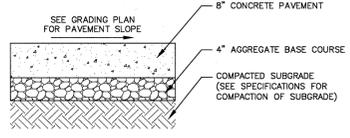
**DRIVEWAY TO EXISTING ROADWAY CONNECTION DETAIL**  
NOT TO SCALE



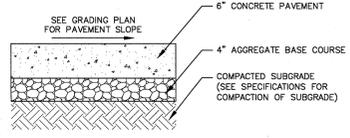
**LIGHT DUTY PAVEMENT DETAIL**  
NOT TO SCALE



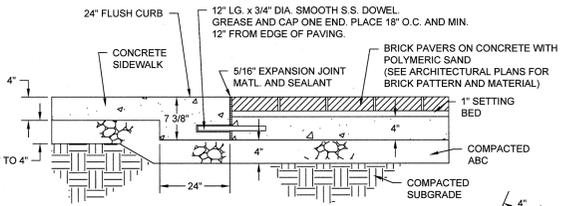
**HEAVY DUTY PAVEMENT DETAIL**  
NOT TO SCALE



**HEAVY DUTY CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE



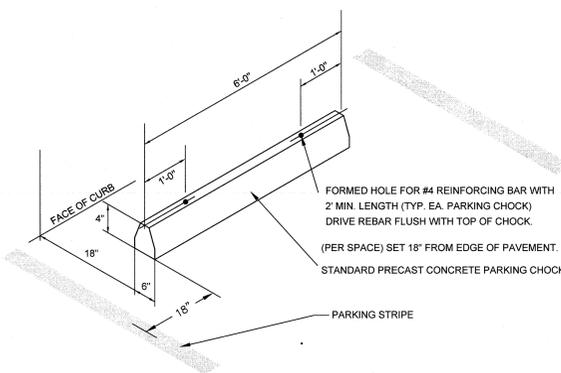
**LIGHT DUTY CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE



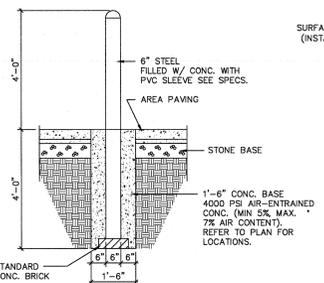
**BRICK PAVERS IN PEDESTRIAN AREAS**  
NOT TO SCALE



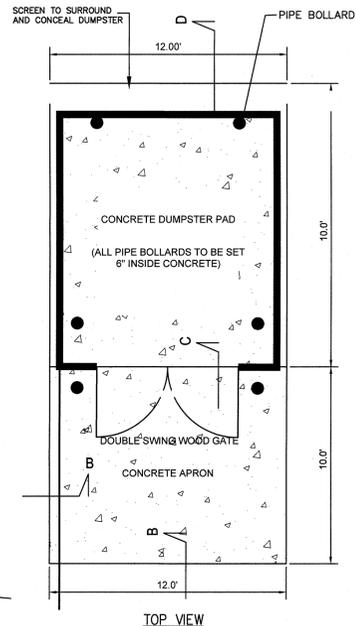
**BRICK PAVERS ON CONCRETE WITH MORTAR JOINTS**  
NOT TO SCALE



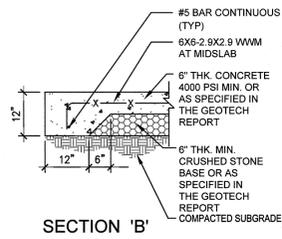
**PARKING WHEEL STOP DETAIL**  
NOT TO SCALE



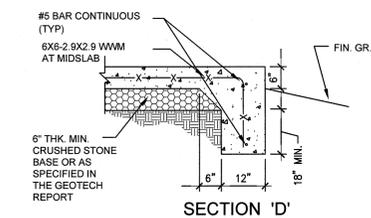
**TYPICAL BOLLARD FOR DUMPSTER PAD**  
NOT TO SCALE



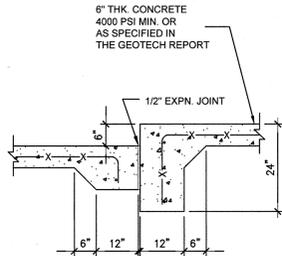
**DUMPSTER PAD W/ SCREEN**  
NOT TO SCALE



SECTION 'B'



SECTION 'D'



SECTION 'C'  
(SEE SECTION 'B' FOR SIMILAR NOTES)

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR MOUNTING OF TYPE 'D', 'E' AND 'F' SIGNS ON 'U' CHANNEL POSTS

NOTES:

1. BRACKET TYPE 'D', 'E', AND 'F' SIGNS ON FREWAYS WITH THE NEAR EDGE OF THE SIGN 20 FT. FROM THE TRAVEL LANE. BRACKET OTHER TYPES WITH THE NEAR EDGE OF THE SIGN AT THE EDGE OF THE SHOULDER OR 10 FT. FROM THE TRAVEL LANE, OR AS DIMENSIONED ON PLAN SHEET.
2. BRACKET TYPE 'D', 'E', AND 'F' SIGNS WITH THE BOTTOM OF SIGN ASSEMBLY AT LEAST 7 FT. ABOVE THE EDGE OF THE TRAVEL LANE ON RAMP WITH 2 OR MORE LANES AND AT LEAST 5 FT. ON OTHER ROUTES. THE VERTICAL CLEARANCE IS 7 FT. WHERE REQUIRED FOR PEDESTRIAN TRAFFIC AND OR PARALLEL VEHICLES.
3. THE VERTICAL DIMENSION BETWEEN MOUNTING HOLES ON ALL TYPES 'D', 'E', AND 'F' SIGNS IS 30" MAXIMUM. THE VERTICAL AND HORIZONTAL DIMENSIONS BETWEEN MOUNTING HOLES IS TO THE BRACKET FROM EACH SIGN PANEL AND A MINIMUM OF 18" FOR SUPPORT.
4. ATTACH SIGN WITH 1/2" HEX HEAD BOLT, NYLON WASHER, SHIM, FLAT WASHER, LOCK WASHER, HEX NUT AND WASHING OF THE SIGN SHALL BE PROVIDED. SEE ASSEMBLY DETAIL SHEET 2 OF 2 FOR DETAILS.
5. FURNISH AND INSTALL CROSS-BRACING AS SHOWN IN DETAIL. PAINT ENDS OF CROSS BRACES WITH APPROVED ZINC PAINT.
6. INSTALL POST AND CROSS-BRACING WITH THE WIDE SIDE OF THE FLANGE TOWARD THE BACK OF SIGN. FOR COMBINATION TYPE 'D' AND 'F' SIGNS.
7. THE BRACKET HEIGHTS IN THESE ASSEMBLIES CAN NOT BE LARGER THAN 24".

SHEET 1 OF 2  
904.50

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR MOUNTING OF TYPE 'D', 'E' AND 'F' SIGNS ON 'U' CHANNEL POSTS

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SHEET 2 OF 2  
904.50

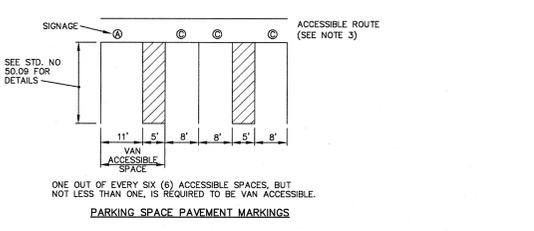
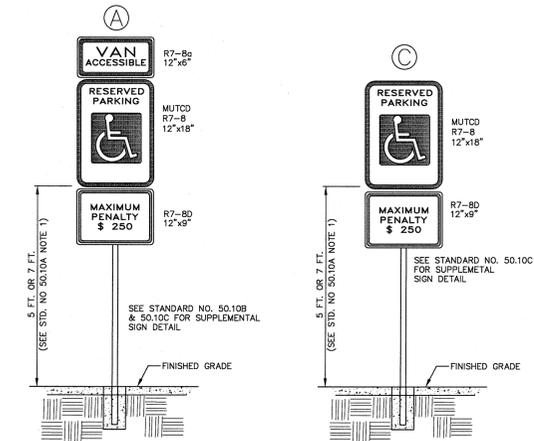
**ACCESSIBLE PARKING REQUIREMENTS**

| TOTAL PARKING SPACES PROVIDED | MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED            |
|-------------------------------|---|
| 1 TO 25                       | 1   |
| 26 TO 50                      | 2   |
| 51 TO 75                      | 3   |
| 76 TO 100                     | 4   |
| 101 TO 150                    | 5   |
| 151 TO 200                    | 6   |
| 201 TO 300                    | 7   |
| 301 TO 400                    | 8   |
| 401 TO 500                    | 9   |
| 501 TO 1000                   | 2% OF TOTAL   |
| 1001 AND OVER                 | 20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000 |

ADAAG 208.2 - GENERAL, NUMBER OF ACCESSIBLE SPACES;  
208.2.1 - HOSPITAL OUTPATIENT FACILITIES;  
208.2.2 - REHABILITATION FACILITIES AND OUTPATIENT PHYSICAL THERAPY FACILITIES

NOTES:

1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8 & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



**HANDICAP PARKING DETAIL**  
NOT TO SCALE

**BECKER MORGAN GROUP**  
ARCHITECTURE PLANNING  
Wilmington, NC  
3205 Randal Parkway, Suite 211  
Wilmington, NC 28403  
910.341.7600

**Salisbury, MD**  
312 West Main St. Suite 300  
Salisbury, MD 21801  
410.546.9100

**Dover, DE**  
300 S. Governors Ave.  
Dover, DE 19904  
302.734.7950  
www.beckermorgan.com

**HARMONY HOSPITALITY**  
DEVELOPER  
1500 SHAMPOE BRINKS ROAD, SUITE 204  
VIRGINIA BEACH, VIRGINIA, 23462  
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**WK DICKSON**  
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WILMINGTON, NORTH CAROLINA 28401  
(910) 251-4200  
N.C. LICENSE NO. F-0234  
DENISE L. FREUND, P.E.

**WOODS ENGINEERING**  
STRUCTURAL ENGINEERS  
2504 N. FRONT STREET, SUITE 201  
WILMINGTON, NORTH CAROLINA 28401  
(910) 343-9007

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR MOUNTING OF TYPE 'D', 'E' AND 'F' SIGNS ON 'U' CHANNEL POSTS

12-14-15

**EMBASSY SUITES**  
9 ESTELLE LEE PLACE  
WILMINGTON, NORTH CAROLINA 28401

**SITE DETAILS**

| ISSUE BLOCK | DATE    | TRC COMMENTS |
|-------------|---------|--------------|
| 1           | 5/19/14 |              |

PROJECT NO: 20130038.00.WL  
DATE: 5/9/14  
SCALE: N.T.S.  
DRAWN BY: NS PROJ MGR: DLF

**C107**  
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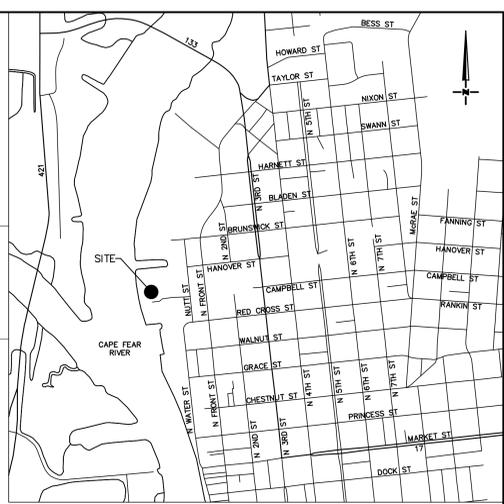
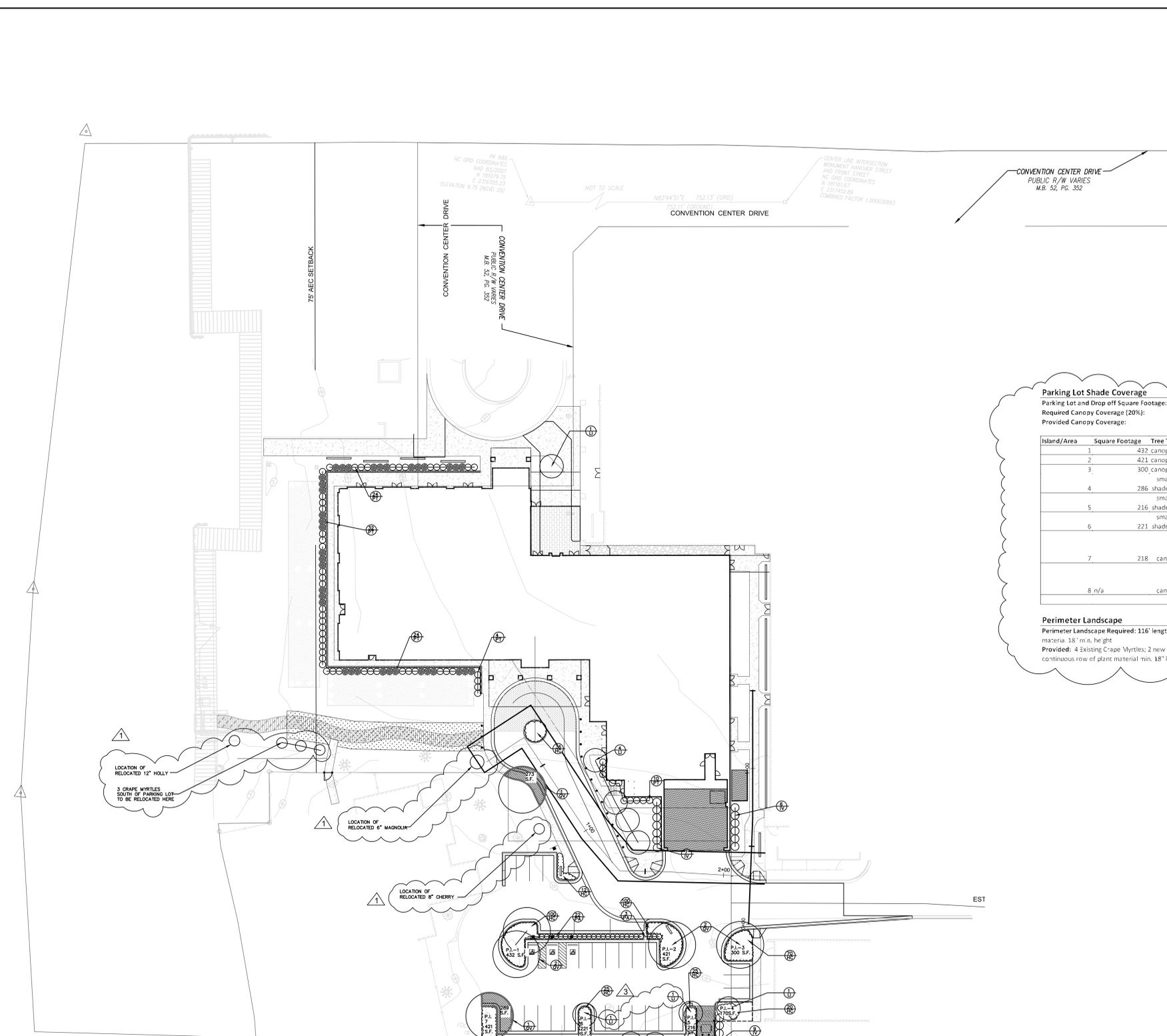












**Parking Lot Shade Coverage**

Parking Lot and Drop off Square Footage: 20,768 sf  
 Required Canopy Coverage (20%): 4153 Square Feet  
 Provided Canopy Coverage: 4332 Square Feet

| Island/Area | Square Footage | Tree Type                     | Quantity | Coverage     | Total Coverage |
|-------------|----------------|-------------------------------|----------|--------------|----------------|
| 1           | 432 canopy     | smaller                       | 2        | 707          | 1414           |
| 2           | 421 canopy     | smaller                       | 1        | 707          | 707            |
| 3           | 300 canopy     | smaller                       | 1        | 707          | 707            |
| 4           | 286 shade tree | smaller                       | 1        | 314          | 314            |
| 5           | 216 shade tree | smaller                       | 1        | 314          | 314            |
| 6           | 221 shade tree | smaller                       | 1        | 314          | 314            |
| 7           | 218 canopy     | (See plans for coverage area) | 1        | 289          | 289            |
| 8           | n/a canopy     | (See plans for coverage area) | 1        | 273          | 273            |
|             |                |                               |          | <b>Total</b> | <b>4332</b>    |

**Perimeter Landscape**  
 Perimeter Landscape Required: 116' length = 3 trees required - continuous row of plant material 18" min. height  
 Provided: 4 Existing Crape Myrtles; 2 new Crape Myrtles; 3 relocated Crape Myrtles - continuous row of plant material min. 18" height

- NOTES:
- CONTRACTOR TO DESIGN AND PROVIDE AN IRRIGATION SYSTEM FOR LANDSCAPE AREAS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
  - PROVIDE CENTIPEDE GRASS AS FINAL STABILIZATION OUTSIDE OF PLANT BEDS AND LANDSCAPE AREAS.

| QTY                           | BOTANICAL NAME                         | COMMON NAME          | SIZE         | ROOT        | SPACING  | REMARKS              |
|-------------------------------|--|----------------------|--------------|-------------|----------|----------------------|
| <b>TREES</b>                  |  |                      |              |             |          |                      |
| 10                            | LI LAGERSTROEMIA INDICA                | NATCHEZ CRAPE        | 10'-12" HT.  | B&B / CONT. | AS SHOWN | 3 STEM MIN. SPEC.    |
| 6                             | QV QUERCUS VIRGINIANA 'CATHEDRAL'      | CATHEDRAL LIVE OAK   | 2"-2.5" CLP. | B&B / CONT. | AS SHOWN | MATCHED SPEC.        |
| <b>SHRUBS AND GROUNDCOVER</b> |  |                      |              |             |          |                      |
| 21                            | IV ILEX VOMITORIA                      | YAUPON HOLLY         | 4'-5" HT     | B&B / CONT. | 6' O.C.  | FULL                 |
| 438                           | HC HYPERICUM CALYGINUM                 | AARON'S BEARD        | 12"-15" HT   | #1 CONT.    | 2' O.C   | FULL.                |
| 58                            | PT PITTOSPORUM TOBIRA 'WHEELERS DWARF' | DWARF PITTOSPORUM    | 18"-24" SPR. | #5 CONT.    | 4' O.C.  | FULL                 |
| 65                            | PA PENNISETUM ALOPECUROIDES 'HAMELN'   | HAMELN PENNISTUM     | 3" HT X 2' W | #3 CONT.    | 3' O.C.  | FULL                 |
| 36                            | SA SABAL MINOR                         | DWARF SABAL PALMETTO | 3" HT X 2' W | #3 CONT.    | 3' O.C.  | FULL                 |
| <b>GRASS</b>                  |  |                      |              |             |          |                      |
|                               | EREMOCHLOA OPHIUROIDES SOD             | CENTIPEDE GRASS      |              |             |          | CLEAN, FREE OF WEEDS |

Originally Prepared By  
W.K. Dickson; Revised By:  
**SageDesign**

SageDesign PLLC  
Sara Burroughs, R.L.A.  
228 North Front Street  
Suite 202D  
Wilmington, NC 28401  
Ph: (910) 332-3878  
sara@sagedesign.us



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CALL 1-800-482-4049  
NC ONE-CALL CENTER  
IT'S THE LAW!

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 910.341.7600  
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 312 West Main St. Suite 300  
 Salisbury, MD 21801  
 410.546.9100  
 Dover, DE  
 308 S Governors Ave  
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 WILMINGTON, NORTH CAROLINA, 28401  
 (910) 752-4209  
 NC LICENSE NO. F-0374  
 DENISE L. FREUND, P.E.

**WOODS ENGINEERING**  
 STRUCTURAL ENGINEERS  
 224 N. FRONT STREET, SUITE 201  
 WILMINGTON, NORTH CAROLINA, 28401  
 (910) 343-8007



**EMBASSY SUITES**  
 9 ESTELL LEE PLACE  
 WILMINGTON, NORTH CAROLINA  
 28401

**SITE LAYOUT & PAVING PLAN**

ISSUE LOG

| NO. | DATE     | DESCRIPTION   |
|-----|----------|---------------|
| 1   | 5/19/14  | TRC COMMENTS. |
| 2   | 5/21/14  | TRC COMMENTS. |
| 3   | 12/21/15 | TRC COMMENTS. |

PROJECT NO: 20130038.00.WL  
 DATE: 01/04/16  
 SCALE: 1"=20'  
 DRAWN BY: REV. SLB | PROJ MGR: WB

**L100**  
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