

SITE DATA TABLE:

TAX PARCEL IDENTIFICATION NUMBERS:
R06107-001-01-000
DB 818 PG 516
DB 593 PG 154

ZONING: RB

SETBACKS OF BUILDING:
REQUIRED: FRONT - 25', REAR - 15', SIDE - 0'
PROVIDED: FRONT - 76.4', REAR - 106.4', SIDE - 25.2'

TOTAL AMOUNT OF ACREAGE: VILLAGE at COLLEGE-OLEANDER = 7.04 ACRES
DUNKIN' DONUTS (LOT 3R) = 0.69 ACRES
BUILDING SIZE = APPROX. 1,805 SF GFA

LOT COVERAGE:
BUILDINGS & OVERHANGS ETC = 2,090 SF
PARKING & DRIVES = 16,330 SF
SIDEWALKS ETC = 2,530 SF
SAFETY MISC ETC = 50 SF

TOTAL IMPERVIOUS = 21,000 SF = 0.48 ac. = 70% OF 0.69 ACRES

ONE BUILDING PROPOSED FOR DUNKIN DONUTS at the VILLAGE at COLLEGE-OLEANDER

17' HEIGHT - ONE STORY - ADDRESS: 4511 OLEANDER DRIVE

BUILDING GFA = 1,805 SF = 0.04 ac. ; BUILDING LOT COVERAGE = 6%

PARKING "RESTAURANT":
11 REGULAR SPACES PROVIDED
1 VAN ACCESSIBLE SPACE PROVIDED

ONE 12X25 LOADING SPACE PROVIDED, NOT REQUIRED

6 ADDITIONAL LEASE SPACES PROVIDED

20 SPACES TOTAL PROVIDED

PROPERTY OWNER: CRR PROPERTIES LLC
1201 GLEN MEADE ROAD
WILMINGTON, NC 28406
910-762-2676

NOTE: OUTDOOR LIGHTING SHALL NOT SHINE OR REFLECT DIRECTLY ONTO ANY RESIDENTIAL PROPERTY.

LANDSCAPING AREAS :

Foundation landscaping as per landscaping plan

20% CANOPY cover required as per landscaping plan

Interior landscaping as per landscaping plan

perimeter landscaping as per landscaping plan

1. SURVEYED AUGUST 2001 - MAY 2003 - JULY 2007 - APRIL 2013

2. AREA COMPUTED BY COORDINATE METHOD

3. FOR REFERENCE SEE MB 42 PG 57 & DB 3214 PG 918

4. TOPCON GTS 3020 USED IN FIELD

5. IRONS SET AT ALL CORNERS, UNLESS OTHERWISE NOTED

Preliminary Site Plan of Dunkin' Donuts at the Village at College and Oleander

Dunkin' Donuts Site

SITE DATA: ZONING: RB
Lot Area = 0.69 acre
1 BLDG-Height = 17'

NOTE: NO WETLANDS ON THIS SITE.

SITE NOT IN A SHOD OR COD.

APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

REFERENCE: DENR / DWQ SWB 990341

EXISTING ON-SITE STORMWATER DETENTION / RETENTION FACILITY.

PROPERTY ADDRESS:

4511 OLEANDER DRIVE WILMINGTON NC 28403

OWNER: CRR PROPERTIES LLC 1201 GLEN MEADE ROAD WILMINGTON NC 28401

DEVELOPER: COASTAL OLEANDER DRIVE, LLC ATT SANDY SPRING 100 CLEARBROOK ROAD ELMSFORD, NY 10523

Preliminary Site Plan of

Dunkin' Donuts at the Village at College and Oleander

4511 OLEANDER DRIVE LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

GENERAL NOTES:

- 1. This map is not for conveyance, recordation, or sales.
2. This property is not located within a special flood hazard area according to Flood Insurance Rate Map Community Panel #37203136004, effective date April 3, 2006.
3. Area zoned RB LOT 3R = 0.69 acre.
4. Building layout and dimensions by others.
5. This property is zoned City of Wilmington RB. Building setbacks are as follows:
25' from Oleander Right-of-Way
0' from Interior Side
15' from Rear
6. Handicap Ramps provided at all intersections and one per building.
7. 15 suitable trees per acre are to be preserved or planted in accordance with City of Wilmington standards. 0.5 ACRES DISTURBED.
8. Parking areas and streets to be lighted in accordance with City of Wilmington standards.
9. Refuse collection by dumpster and private hauler.
10. 12 total parking spaces provided this Phase, 6 additional lease spaces.
11. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. 1-800-632-4949
12. Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate scheduling and placement. At the minimum this should include BellSouth and DUKE ENERGY PROGRESS.
13. Project shall comply with CPFWA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met.
14. If the contractor desires CPFWA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
15. Any irrigation system supplied by CPFWA water shall comply with CPFWA Connection Control regulations.

OTHER NOTES:

- 1. THIS PLAT IS PRELIMINARY, NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
2. SURVEYED IN 2001, 2003, and 2007 AND 2013.
3. ALL DISTANCES AS SHOWN ARE HORIZONTAL.
4. SEWER PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFA).
5. WATER PROVIDED BY CPFWA.
ANTICIPATED USE = 50 GPD PER GAR SPACE
50 X 12 = 600 GPD TOTAL
6. SITE WILL MEET ALL ZONING REQUIREMENTS.
7. AREA COMPUTED BY COORDINATE METHOD.
8. REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
9. STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
10. NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
11. ALL UTILITIES UNDERGROUND.
12. COMBINED GRID FACTOR = 1.000000.
13. FOR REFERENCE SEE :
DB 818 PG 516
DB 593 PG 154
14. ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED.
15. REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.
16. LANDSCAPING PLAN BY OTHERS.
17. CONTRACTOR TO COORDINATE STAGING OF CONSTRUCTION ACTIVITIES WITH THE OWNER AND ARCHITECT TO FACILITATE ONGOING ADJOINING BUSINESS ACTIVITIES.
18. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF LIGHTING AND OTHER NON-MUNICIPAL UTILITIES SUCH AS ELECTRICAL AND TELEPHONE CONNECTIONS WITH THE AFFECTED AGENCIES AND THE OWNER AND ARCHITECT.
19. CONTRACTOR TO COORDINATE CONSTRUCTION OF PARKING LOT, ISLANDS, AND EXTERIOR FENCING AND SCREENING WITH THE OWNER AND ARCHITECT.
20. NCDOT PERMIT REQUIRED FOR ANY WORK IN OLEANDER R/W.
21. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY and CPFWA TECHNICAL STANDARDS.

ADDITIONAL CPFWA NOTES:

- 1. CPFWA STANDARD DETAIL SHEETS FOR SEWER AND WATER TAPS TO BE INCLUDED AS A PART OF THIS PLAN, ATTACHED.
2. 48-HOUR NOTICE AND 3 COMPLETE SETS OF PLANS REQUIRED FOR PRE-CONSTRUCTION MEETING BY CONTRACTOR.
3. NCDOT ENCROACHMENT REQUIRED FOR ANY WORK IN PUBLIC R/W.
4. ALL FEES TO BE PAID PRIOR TO PRE-CONSTRUCTION MEETING.

STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

Parking: "Restaurant"

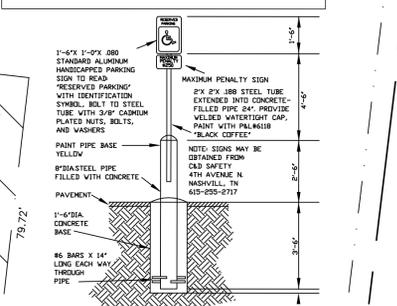
950 sf exclusive of kitchen and restroom
350 sf additional outdoor seating area
20 spaces maximum @ 1/65sf
16 spaces minimum @ 1/80sf
11 regular spaces provided ONSITE
1 van accessible HC spaces provided ONSITE
No loading space required - one provided
No bicycle spaces required
6 ADDITIONAL LEASE SPACES PROVIDED OFFSITE
18 spaces total provided
NOTE: NO WETLANDS ON THIS SITE.
CAMA LAND USE CLASSIFICATION: "URBAN"
SITE NOT IN A SHOD OR COD.
APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.
REFERENCE: DENR / DWQ SWB 990341
EXISTING ON-SITE STORMWATER DETENTION / RETENTION FACILITY.

ADDITIONAL FIRE DEPARTMENT NOTES:

- HYDRANTS MUST BE WITHIN 150' OF THE FDC.
- THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING MAY NOT BLOCK ANY FDC OR HYDRANT WITH A 3" CLEAR SPACE MAINTAINED.
- CONTRACTOR TO MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES DURING CONSTRUCTION.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO BUILDING CONSTRUCTION.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan Name Date Planning Traffic Fire



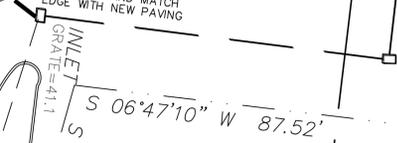
HANDICAPPED PARKING SIGN DETAIL

NOT TO SCALE

REMOVE EXISTING C&G AND P.W.M.T. SAW CUT PAVEMENT AND MATCH EDGE WITH NEW PAVING

ELEVATION VIEW

Front View - NTS



MINIMUM PARKING BAY SECTION - NTS

TYPE "A" CURB & GUTTER MAY BE "SPILL" OR STANDARD, DEPENDING ON LOCATION.

6" ABC BASE COURSE MINIMUM THICKER SECTION MAY BE NECESSARY ON GEOTECH RECOMMENDATION.

3" ASPHALT (S9.5A) TRUCK TRAFFIC

2" ASPHALT (S9.5A)

NOTE: SIGNS MAY BE DELETED FROM THE LIST OF APPROVED DEVICES BY USUFCOCHS OR ASSE.

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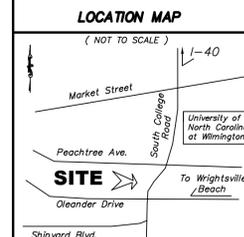
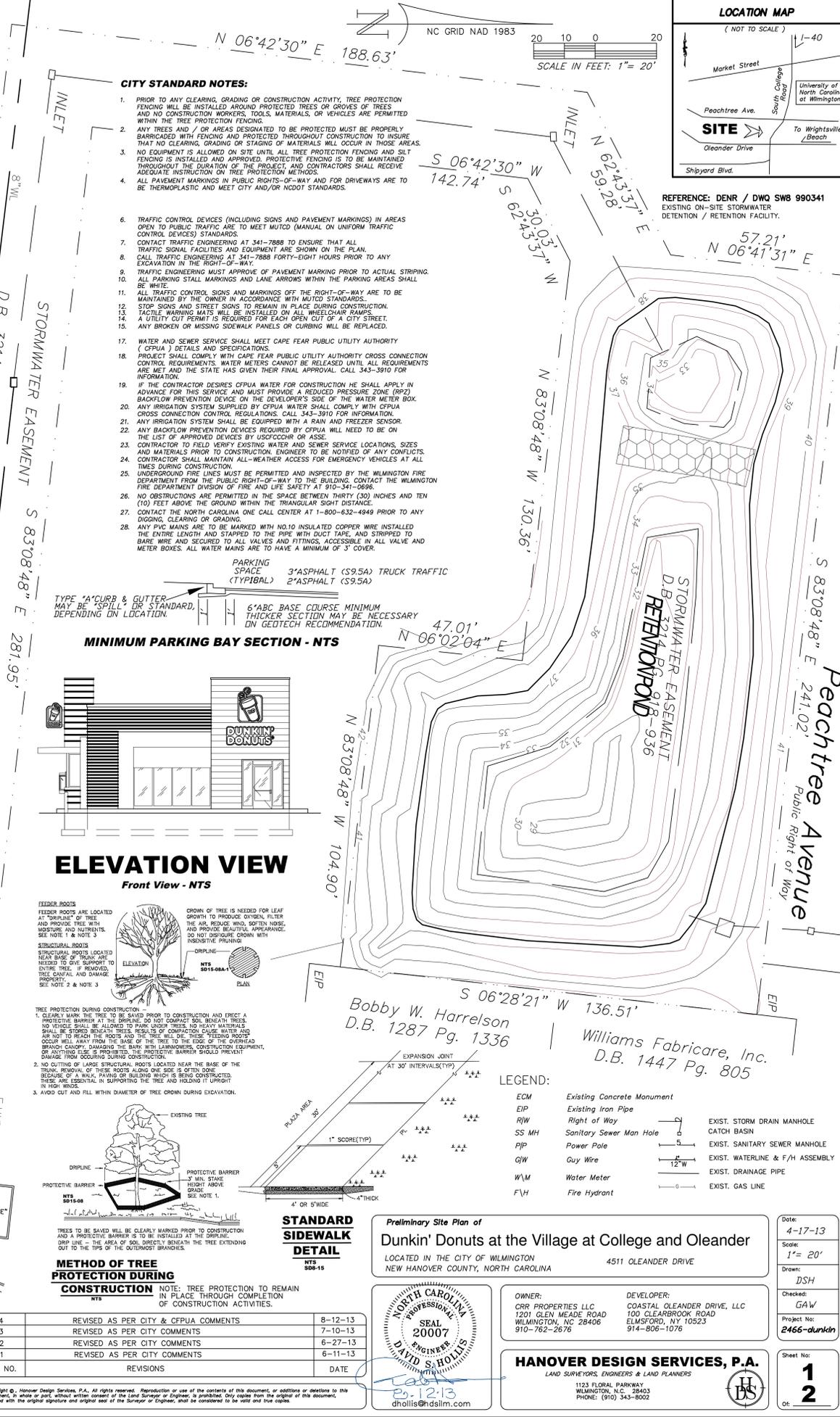
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REFERENCE: DENR / DWQ SWB 990341

EXISTING ON-SITE STORMWATER DETENTION / RETENTION FACILITY.

DATE: 4-17-13

SCALE: 1" = 20'

DRAWN: DSH

CHECKED: GAW

PROJECT NO: 2466-dunkin

SHEET NO: 1

DATE: 4-17-13

SCALE: 1" = 20'

DRAWN: DSH

CHECKED: GAW

PROJECT NO: 2466-dunkin

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FILE ALL PROJECT DUNKIN 2466DUNKIN-PR1

PRELIMINARY PLAN

NOT FOR RECORDATION OR CONVEYANCE

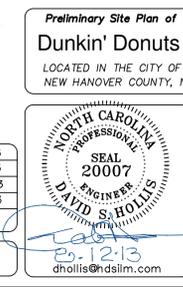
STANDARD SIDEWALK DETAIL

SDS-15

NOTE: TREE PROTECTION TO REMAIN IN PLACE THROUGH COMPLETION OF CONSTRUCTION ACTIVITIES.

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6-11-13



Project information including owner (CRR Properties LLC), developer (Coastal Oleander Drive, LLC), address (4511 Oleander Drive), and contact information for Hanover Design Services, P.A.

