

APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____
 PLANNING _____
 TRAFFIC _____
 FIRE _____

STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____

SURVEY TOPO AND BOUNDARY PROVIDED BY :



SURVEYOR'S NOTE:
 THIS MAP IS SUBJECT TO INFORMATION THAT WOULD BE REVEALED BY A CURRENT TITLE OPINION.

CERTIFICATE:
 THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. (FUTURE RECOMBINATION MAP FOR RECORD TO BE RECORDED)

Michael N. Underwood
 FEBRUARY 26, 2014
 MICHAEL N. UNDERWOOD, P.L.S. L-2962 DATE

NORTH CAROLINA
 NEW HANOVER COUNTY

I, MICHAEL N. UNDERWOOD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION AS SHOWN ON THE FACE OF THIS PLAT RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1/10,000 + THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN BY BROKEN LINES PLOTTED FROM INFORMATION REFERENCED THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA" WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 26TH DAY OF FEBRUARY A.D., 2014.

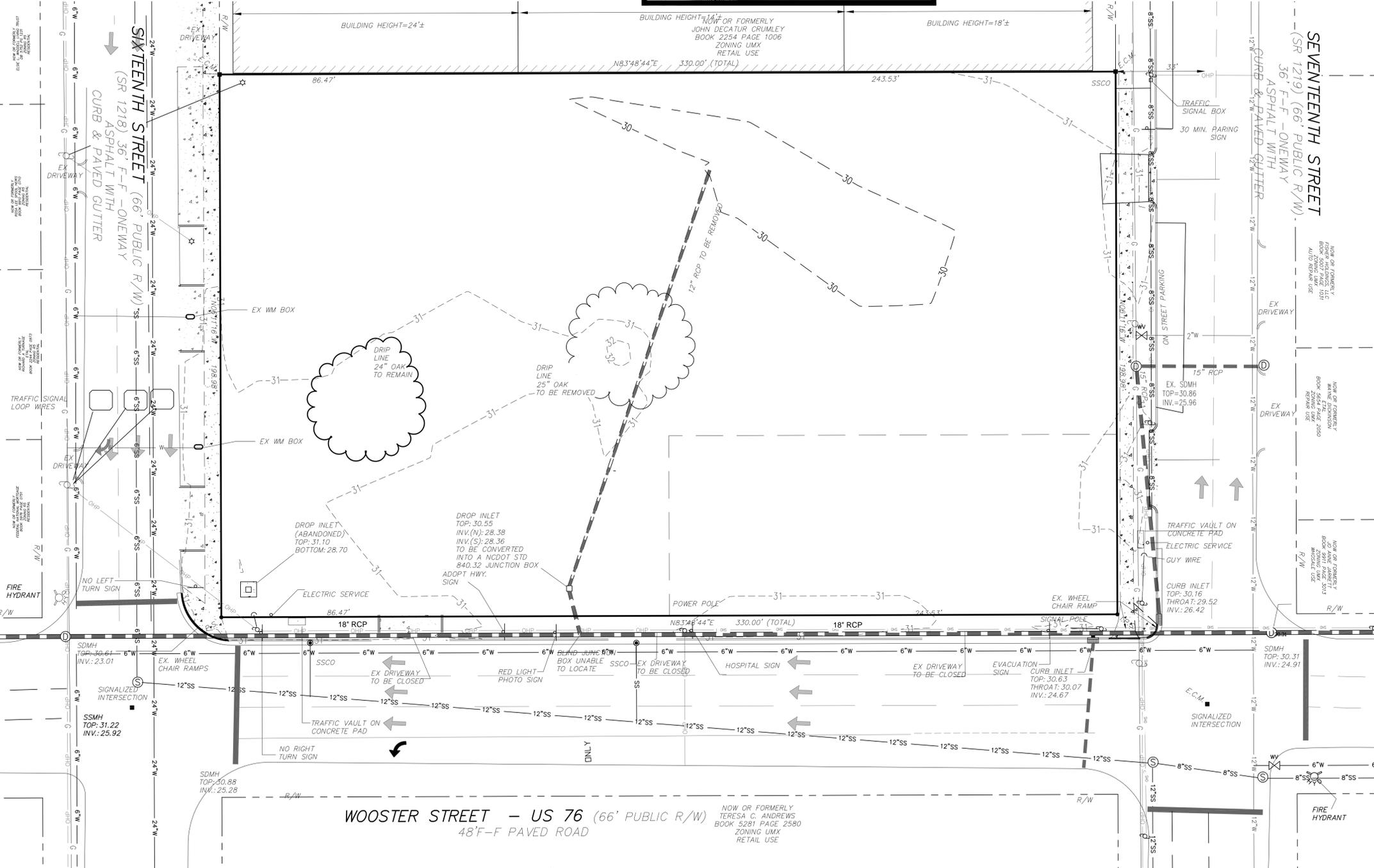
Michael N. Underwood
 MICHAEL N. UNDERWOOD, P.L.S.
 LICENSE NUMBER L-2962
 SEAL OR STAMP

© 2014 MICHAEL UNDERWOOD AND ASSOCIATES, PA

MICHAEL UNDERWOOD and ASSOCIATES, PA
 102 CINEMA DRIVE, SUITE C
 WILMINGTON, NC 28403
 PHONE: 910-815-0650
 FAX: 910-815-0393
 FIRM LICENSE NO.: C-0615



CIVIL LEGEND	
SS	SANITARY SEWER (GRAVITY) WITH SIZE
W	STORM SEWER
OHP	DOMESTIC WATER WITH SIZE
UCE	OVERHEAD POWER
G	UNDERGROUND ELECTRICAL
OHS	UNDERGROUND GAS
FO	OVERHEAD SIGNAL LINE
	UNDERGROUND FIBER OPTIC CABLE
	TRAFFIC SIGNAL BOX
	WATER VALVE
	RPZ BACKFLOW PREVENTER
	WATER METER
	SANITARY SEWER MANHOLE
	SIGN
	STORM DRAIN CURB INLET
	FIRE HYDRANT
	SOILS BORE LOC.
	COMMUNICATIONS PEDESTAL
	UTILITY POLE/POLE WITH LIGHT
	GUY WIRE
---	EXISTING IRON PIPE
E.C.M.	EXISTING CONCRETE MONUMENT
E.I.R.	EXISTING IRON REBAR
O	PROPERTY CORNER
N.P.F.	NO POINT FOUND
C	CENTER LINE
P	PROPERTY LINE
SS	SANITARY SEWER
MH	MANHOLE
CO	CLEAN OUT
SD	STORM DRAIN
W	WATER LINE
UG	UNDERGROUND GAS
OHP	OVERHEAD POWER
UCE	UNDERGROUND ELECTRIC
FO	FIBER-OPTIC
---	WATER/DITCH
x-x	CHAIN LINK FENCE
---	BUILDING LINE
---	BOUNDARY LINE
---	CONCRETE AREA
---	GRAVEL AREA



SITE DATA

DEVELOPER: EASTERN PRIDE, INC. 2405-F NASH STREET WILSON, NC 27896

OWNER: THOMASON REALTY INVEST LP 910 SAND MILLS BLVD ABERDEEN, NC 28315

GENERAL CONTRACTOR: STOCKS AND TAYLOR CONSTRUCTION, INC. 1825 CAROLINA AVENUE WASHINGTON, NC 27889

GENERAL BUILDING INFORMATION:
 TOTAL LOT SIZE = 1.51 AC TO R/W

ZONING INFORMATION:
 PARCEL ID NO. - R05411-011-008-000 R05411-011-001-000
 TRACTS WILL BE RECOMBINED AND SUBDIVIDED PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY.
 SITE ZONING: UMX
 SETBACKS:
 MINIMUM BUILDING SETBACKS (UNLESS NOTED)
 FRONT: 0' - MAX. 10' MAX HEIGHT - 45'
 SIDE: 0'
 REAR: 0'
 BUILDING HEIGHT: 20'

TRANSPORTATION CLASSIFICATION:
 WOOSTER STREET - URBAN PRINCIPAL ARTERIAL
 16TH STREET - URBAN PRINCIPAL ARTERIAL
 17TH STREET - URBAN PRINCIPAL ARTERIAL

UTILITIES:
 WATER LINE: CFPJA
 WASTEWATER: CFPJA
 ELECTRIC SERVICE: - UNDERGROUND - DUKE ENERGY
 NATURAL GAS SERVICE: PIEDMONT NATURAL GAS

GENERAL SITE NOTES:
 ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE
 PRIOR TO ANY DIGGING NO ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES.
 A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.

NOTES:
 1.) SUBJECT PROPERTY "DOES NOT" LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" (OTHER AREAS) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON PANEL No. 3122, FLOOD INSURANCE RATE MAP NO. 372031Z000, WITH AN EFFECTIVE DATE OF APRIL 3, 2006, FOR COMMUNITY NO. 370121, IN NEW HANOVER COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
 2.) ALL DISTANCES ARE GROUND HORIZONTAL.
 3.) NO N.C.G.S. FOUND WITHIN 2000'.
 4.) UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

FAMILY DOLLAR STORE
S. 17TH ST.
722 S. 17TH STREET
WILMINGTON, NC
 EASTERN PRIDE, INC.
 2405-F NASH ST.
 WILSON, NC 27896

9/2/14

Pamlico Engineering Services, PLLC
 License No. P-0530

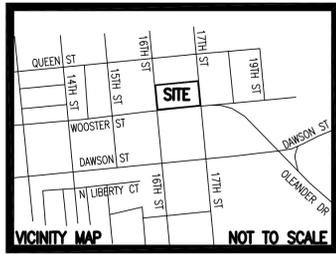
Marie U. Peedin

Pamlico Engineering Services
 128 Abbey Lane
 Washington, NC 27889
 252-945-2983
 mpeedin@pamlicoengineeringservices.com

Date	Description
9/2/14	ASSED EX. WATER AND SEWER SERVICES FOUND IN FIELD.

File No. 14001
 Scale: 1" = 20'
 Sheet No. C-001

Approved: MARIE U. PEEDIN
SITE INVENTORY- EX. CONDITIONS



A permit must be obtained from the city engineer prior to the removal, alteration or construction of any curb, driveway, gutter and/or pavement or prior to the performance of any other work in any public or private street. Conditions governing the issuance of such a permit are:

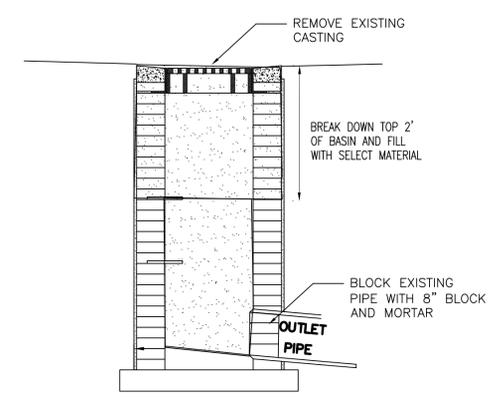
- A continuing indemnity bond with sufficient surety acceptable to the city may be required of the party performing the work. All work must be done in conformity with the standards established herein.
- The city shall be indemnified for any damages it might sustain as a result of the breach of condition above. The damages payable to the city shall be the amount required to make such improvement conform to city standards.

(2) A fee in accordance with the city's adopted fee schedule shall be paid to the city at the time the application for a driveway permit is made.

SURVEY TOPO AND BOUNDARY PROVIDED BY :



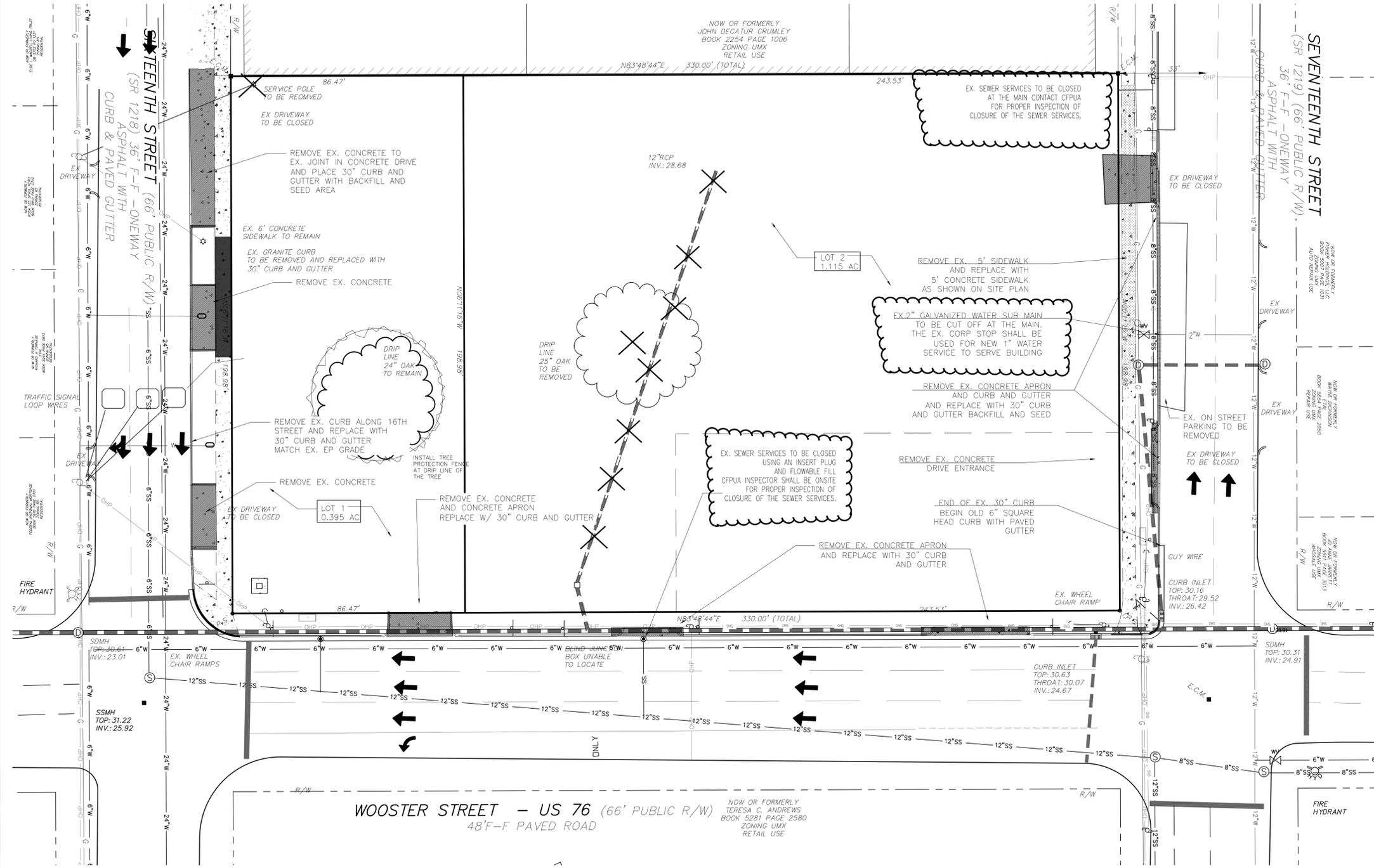
APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____
 PLANNING _____
 TRAFFIC _____
 FIRE _____



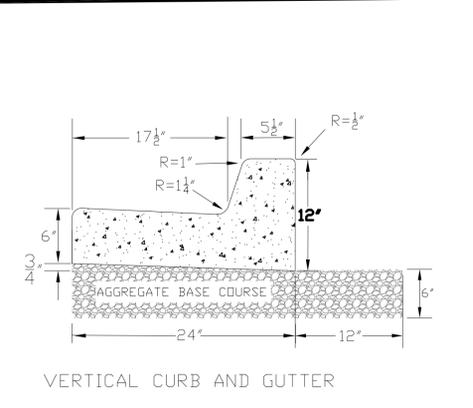
1 REMOVE DRAINAGE STRUCTURE NTS

CIVIL LEGEND	
SS	SANITARY SEWER (GRAVITY) WITH SIZE
W	STORM SEWER
OHP	DOMESTIC WATER WITH SIZE
UGE	OVERHEAD POWER
G	UNDERGROUND ELECTRICAL
OHS	UNDERGROUND GAS
FO	OVERHEAD SIGNAL LINE
	UNDERGROUND FIBER OPTIC CABLE
TPED	TRAFFIC SIGNAL BOX
WV	WATER VALVE
RPZ	RPZ BACKFLOW PREVENTER
WM	WATER METER
SSM	SANITARY SEWER MANHOLE SIGN
SCIB	STORM DRAIN CURB INLET
FD	FIRE HYDRANT
SOB	SOILS BORE LOC.
CP	COMMUNICATIONS PEDESTAL
UP	UTILITY POLE/POLE WITH LIGHT GUY WIRE
---	WATER/DITCH
-x-x-	CHAIN LINK FENCE
	BUILDING LINE
---	BOUNDARY LINE
■	CONCRETE AREA
■	GRAVEL AREA

LEGEND:	
E.I.P.	EXISTING IRON PIPE
E.C.M.	EXISTING CONCRETE MONUMENT
E.I.R.	EXISTING IRON REBAR
O	PROPERTY CORNER
N.P.F.	NO POINT FOUND
C.L.	CENTER LINE
S.S.	SANITARY SEWER
MH	MANHOLE
CO	CLEAN OUT
SD	STORM DRAIN
W	WATER LINE
UG	UNDERGROUND GAS
OHP	OVERHEAD POWER
UGE	UNDERGROUND ELECTRIC
FO	FIBER-OPTIC



SITE DATA	
DEVELOPER: EASTERN PRIDE, INC. 2405-F NASH STREET WILSON, NC 27896	OWNER: THOMASON REALTY INVEST LP 910 SAND MILLS BLVD. ABERDEEN, NC 28315
GENERAL CONTRACTOR: STOCKS AND TAYLOR CONSTRUCTION, INC. 1825 CAROLINA AVENUE WASHINGTON, NC 27889	
GENERAL BUILDING INFORMATION: BUILDING USE: COMMERCIAL - RETAIL TOTAL LOT SIZE = 1.51 AC LOT 1 = 0.395 AC TO R/W LOT 2 = 1.115 AC TO R/W BUILDING SIZE: 9,914 SF BUILDING HEIGHT: 20 FT BUILDING CONSTRUCTION TYPE = V-B	
ZONING INFORMATION: SITE ZONING: UMX SETBACKS: MINIMUM BUILDING SETBACKS (UNLESS NOTED) FRONT: 0' - MAX. 10' MAX HEIGHT = 45' SIDE: 0' REAR: 0' BUILDING HEIGHT: 20'	
TRANSPORTATION CLASSIFICATION: WOOSTER STREET - URBAN PRINCIPAL ARTERIAL 17TH STREET - URBAN PRINCIPAL ARTERIAL 17TH STREET - URBAN PRINCIPAL ARTERIAL	CAMA LAND USE: URBAN
UTILITIES: WATER LINE: CFPWA WASTEWATER: CFPWA ELECTRIC SERVICE: - UNDERGROUND - DUKE ENERGY NATURAL GAS SERVICE: PIEDMONT NATURAL GAS	
GENERAL SITE NOTES: ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE. PRIOR TO ANY DIGGING NC ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. AN NO CONSTRUCTION WORKERS, TOOLS, MATERIAL OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. TREE PROTECTION FENCING MUST BE POSTED WITH SIGNAGE, IN ENGLISH AND SPANISH THAT NO WORKERS TOOLS, MATERIAL OR VEHICLES ARE PERMITTED WITHIN THE PROTECTED AREA.	



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S. 17TH ST.
722 S. 17TH STREET
WILMINGTON, NC
 EASTERN PRIDE, INC.
 2405-F NASH ST.
 WILSON, NC 27896

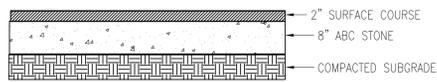
9/2/14

Professional Engineer Seal: Marie U. Peedin, License No. 2612

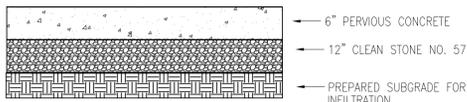
Pamlico Engineering Services, PLLC
 License No. P-0530
 128 Abbey Lane
 Washington, NC 27889
 252-945-2983
 mpeedin@pamlicoengineeringservices.com

Date	Description
6/18/14	MAINTAIN EX. SEWER
9/17/14	ADDED WATER AND SEWER CO

File No. 14001
 Scale: 1" = 20'
 Sheet No. C-002



2 TYPICAL PAVEMENT SECTION
IN AREAS WITH OUT PERVIOUS CONCRETE Scale: Not To Scale



3 TYPICAL PERVIOUS PAVEMENT SECTION
Scale: Not To Scale

APPROVED CONSTRUCTION PLAN
NAME _____ DATE _____
PLANNING _____
TRAFFIC _____
FIRE _____
STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY OWNED STREET LIGHT FACILITIES ARE DAMAGED.
- DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
- ALL REPAIR REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
- VERIFY THE LOCATION OF THE CITY OF WILMINGTON TRAFFIC SIGNAL SYSTEM FIBER RUNNING ALONG 16TH, 17TH AND WOOSTER ST. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DETERMINE IF THIS FIBER HAS TO BE RELOCATED.

DEVELOPER
EASTERN PRIDE, INC.
2405-F NASH STREET
WILSON, NC 27896

OWNER
THOMASON REALTY INVEST LP
910 SAND MILLS BLVD
ABERDEEN, NC 28315

SUMMARY OF SITE:

GENERAL CONTRACTOR:
STOCKS AND TAYLOR CONSTRUCTION, INC.
1825 CAROLINA AVENUE
WASHINGTON, NC 27889

GENERAL BUILDING INFORMATION
BUILDING USE: COMMERCIAL - RETAIL
TOTAL LOT SIZE = 1.51 AC
LOT 1 = 0.395 AC TO R/W
LOT 2 = 1.115 AC TO R/W
BUILDING SIZE: 9,914 SF

7427 SF RETAIL, 2487 SF OTHER
BUILDING HEIGHT: 20 FT
BUILDING CONSTRUCTION TYPE = V-B

BUILDING LOT COVERAGE
9914SF / 65,775.6SF = 15.07%
NO. OF BUILDINGS = 1

PERVIOUS PAVEMENT:
TOTAL IMPERVIOUS AREA = 21,989 SF
TOTAL GREEN SPACE = 43,786 SF

PERVIOUS PAVEMENT:
TOTAL PERVIOUS PAVEMENT = 9974 SF
% IMPERVIOUS EXISTING = 000%
% IMPERVIOUS PROPOSED = 21989/65775.6 = 33.43%
(WITH NO CREDIT FOR PERVIOUS PAVEMENT)

STANDARD CDWTSMM
CONCRETE DRIVE (COMMERCIAL)
STD SDB.02
MAX. SLOPE 7%

ZONING INFORMATION:
PARCEL ID NO. - R05411-011-008-000 R05411-011-001-000
TRACTS WILL BE RECOMBINED AND SUBDIVIDED PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY.

SIGNAGE
FREE STANDING MAX AREA = 35 SF MONUMENT
WALL SIGN MAX AREA = 200 SF
SIGNAGE WILL REQUIRE A SEPARATE PERMITTING AND REVIEW PROCESS THROUGH THE CITY ZONING DEPT.

MINIMUM BUILDING SETBACKS (REQUIRED) PROVIDED
FRONT: 0' - MAX. 10' 7.8'
SIDE: 0' 5.3, 132.5'
REAR: 0' 91.2'
BUILDING HEIGHT MAX 45' 20'

TRANSPORTATION
WOOSTER STREET - URBAN PRINCIPAL ARTERIAL
16TH STREET - URBAN PRINCIPAL ARTERIAL
17TH STREET - URBAN PRINCIPAL ARTERIAL

CAMA LAND USE CLASSIFICATION
URBAN

SIGHT LIGHTING
ALL SIGHT LIGHTING SHALL BE LOCATED, ANGLED SHELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP LIGHTING. LIGHT POST SHALL BE NO TALLER THAN TWELVE FEET.

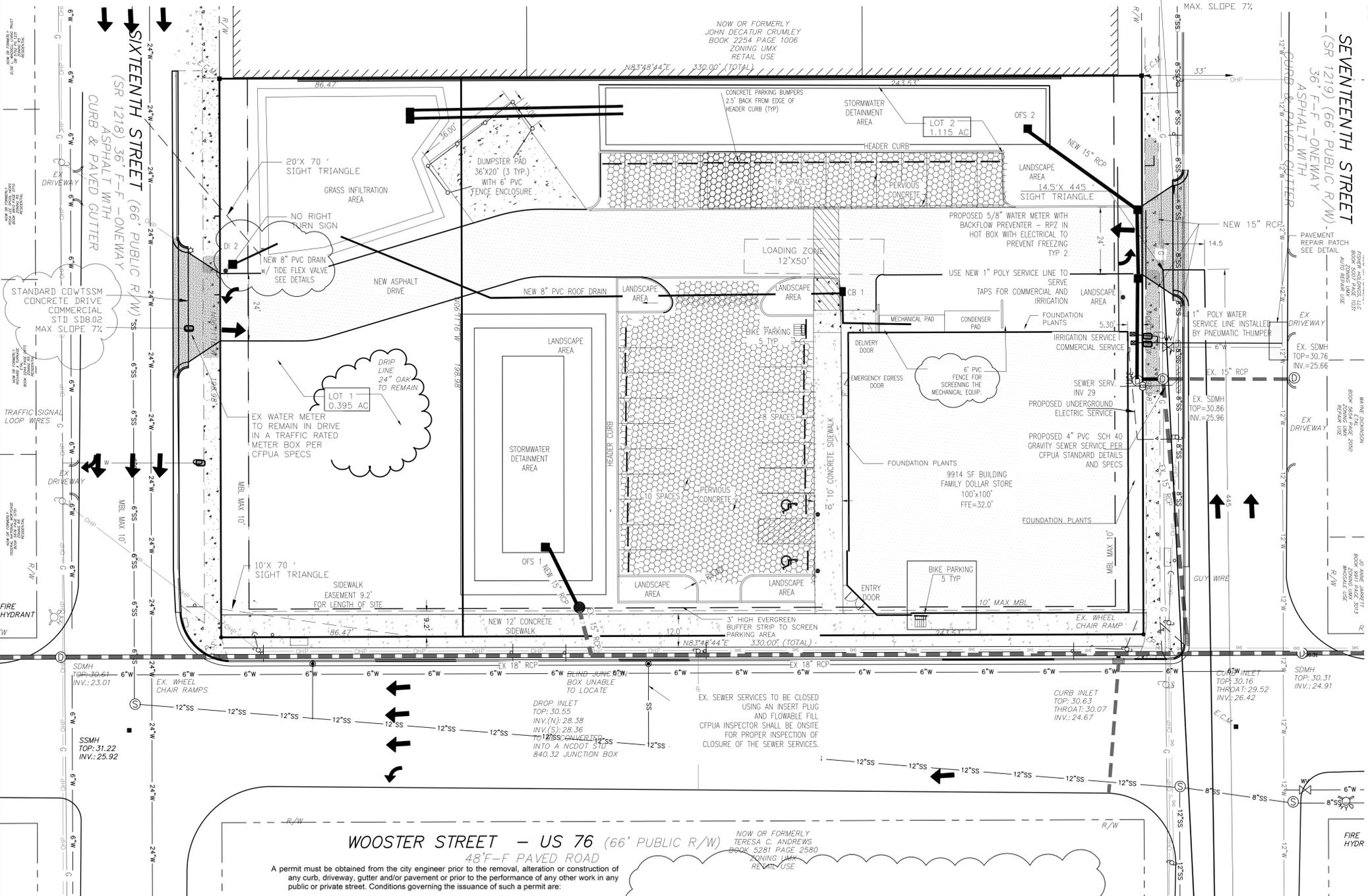
UTILITIES:
WATER LINE: CFPJA
WASTEWATER: CFPJA
WASTEWATER SERVICE: 4" SEWER SERVICE
WATER SERVICE: 1" WATER SERVICE
ELECTRIC SERVICE: - UNDERGROUND - DUKE ENERGY
NATURAL GAS SERVICE: PIEDMONT NATURAL GAS

SEWER USAGE = 1080 GPD
WATER USAGE = 1080 GPD

PARKING REQUIREMENTS:
PARKING SPACES TO BE TYPICAL (9 FEET X 20 FEET) UNLESS OTHERWISE NOTED
VEHICULAR REQUIREMENTS
PARKING BUILDING CODE REQUIREMENTS:
1 SPACE PER 200 SF RETAIL MAX
BICYCLE PARKING
REQUIRED: 1 PER 1000 SF GFA
PROVIDED: 10 SPACES

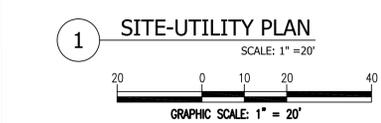
PARKING SPACES REQUIRED: 50 MAX
PARKING PROVIDED TOTAL: 34
HANDICAPPED ACCESSIBLE: 2
HANDICAPPED ACCESSIBLE PARKING TO BE (2 EQUAL SPACES) PER LOCAL CODE

GENERAL SITE NOTES:
ALL NEW SERVICES SHALL MEET ALL NC BUILDING CODE REQUIREMENTS
ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE
PRIOR TO ANY DIGGING NO ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.
SITE SURVEY NOTES:
1) THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL 100 YEAR FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720312700J DATED APRIL 13, 2006.
2) ALL N.C. GRID DATA SHOWN HEREON IS BASED ON NAD 1983 2007 ADJUSTMENT USING THE NCGS RTK NETWORK SYSTEM.
3) ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
4) ALL UTILITY LINES SHOWN HEREON MAY HAVE EASEMENTS AND RIGHTS OF ENTRANCE AND MAINTENANCE ASSOCIATED WITH THEM, HOWEVER NONE ARE PRESENT THAT HAVE BEEN RECORDED.
5) UNDERGROUND UTILITY LINES NOTED AS SUCH HEREON WERE FROM GIS DATA PROVIDED BY CFPJA. THE UTILITIES HAVE NOT BEEN PHYSICALLY SEEN AND SURVEYED BY THE SURVEYOR.



- Prior to any clearing, grading or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing during construction to insure that no clearing, grading or staging of materials will occur in those areas.
- Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
- No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
- All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
- Once streets are open to traffic, contact Traffic Engineering regarding the installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
- Contact Traffic Engineering at 910-341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan.
- Call Traffic Engineering at 910-341-7888 forty-eight (48) hours prior to any excavation in the right-of-way.
- Traffic Engineering must approve of pavement marking prior to actual striping.
- All parking stall markings and lane arrows within the parking areas shall be white.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner.
- Stop signs and street signs to remain in place during construction.
- Tactile warning mats will be installed on all wheelchair ramps.
- A utility cut permit is required for each open cut of a city street. The one being cut may be required.
- Any broken or missing sidewalk panels, driveway panels and curbing will be replaced by the developer.
- Contact Karen Dixon at 910-341-7888 to discuss street lighting options.
- Water and sewer service shall meet Cape Fear Public Utility Authority (CFPUA) details and specifications.
- Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3810 for information.
- If the contractor desires CFPUA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Any irrigation system supplied by CFPUA water shall comply with the CFPUA Cross Connection Control regulations. Call 910-343-3810 for information.
- Any irrigation system shall be equipped with a rain and freezer sensor.
- Any backflow prevention devices required by the CFPUA will need to be on the list of approved devices by USCFCOHR or ASSE.
- Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
- Contractor shall maintain all-weather access for emergency vehicles at all times during construction.

- Underground fire line(s) must be permitted and inspected by the Wilmington Fire Department from the public right-of-way to the building. Contact the Wilmington Fire Department Division of Fire and Life Safety at 910-341-0696.
 - No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular sight distance.
 - Contact the North Carolina One Call Center at 1-800-632-4949 prior to doing any digging, clearing, or grading.
- NOTE:
SEE SHEET C001 FOR INVENTORY SHEET
SEE SHEET C002 FOR DEMOLITION
SEE SHEET C003 SITE UTILITY
SEE SHEET C004 FOR EROSION CONTROL MEASURES AND DETAILS
SEE SHEET C005 FOR STORM WATER MANAGEMENT PLAN
SEE SHEET C006 FOR LANDSCAPE PLANS
SEE SHEETS C 007-008 FOR DETAILS
SEE SHEET UP 1 FOR CFPJA UTILITY PLAN
SEE SHEET S302 - WSD 1-2 DETAIL SHEETS FOR CFPJA SHEETS



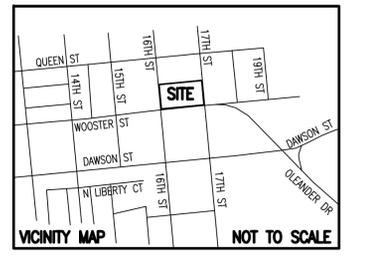
1 SITE-UTILITY PLAN
SCALE: 1" = 20'
GRAPHIC SCALE: 1" = 20'

A permit must be obtained from the city engineer prior to the removal, alteration or construction of any curb, driveway, gutter and/or pavement or prior to the performance of any other work in any public or private street. Conditions governing the issuance of such a permit are:

- A continuing indemnity bond with sufficient surety acceptable to the city may be required of the party performing the work. All work must be done in conformity with the standards established herein.
- The city shall be indemnified for any damages it might sustain as a result of the breach of condition above. The damages payable to the city shall be the amount required to make such improvement conform to city standards.

(2) A fee in accordance with the city's adopted fee schedule shall be paid to the city at the time the application for a driveway permit is made.

APPLICANT STATEMENT:
A. THERE ARE NO EXISTING EASEMENT OR OTHER RESTRICTIONS ON THE PROPERTY WHICH THE APPLICANT IS AWARE OF HOWEVER THE APPLICANT IS PROPOSING A BMP EASEMENT FOR THE PROPOSED BMP ON THE SITE AS WELL AS A SIDEWALK ENCROACHMENT AND MAINTENANCE EASEMENT.
B. THERE IS CURRENTLY PUBLIC SEWER, WATER AND STREETS AVAILABLE TO THIS SITE FOR USE.
C. BASED ON THE DATA COLLECTED, IN THE OPINION OF THE APPLICANT THE ONLY PROBLEM IS THE SIDE YARD/ FRONT YARD MAX 10' SET BACK OFF 16TH STREET. THIS SITE HAS NO INTENTIONS OF PLACING ANOTHER BUILDING.



FAMILY DOLLAR STORE
S. 17TH ST.
722 S. 17TH STREET
WILMINGTON, NC

SITE UTILITY PLAN

EASTERN PRIDE, INC.
2405-F NASH ST.
WILSON, NC 27896

PROFESSIONAL ENGINEER
NORTH CAROLINA
REAL 20212
UNIMPAIRED FEEBLY

10/8/14

Pamlico Engineering Services, PLLC
LICENSE NO. P-5030

Pamlico Engineering Services

PAMLICO ENGINEERING SERVICES
128 Abbey Lane
Wilmington, NC 27889
252-945-2983
rpedding@pamlicoengineeringservices.com

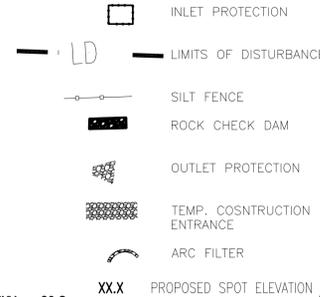
Date	Description
3/26/14	REVISED FROM REV. 1
4/8/14	REVISED FROM REV. 1
5/15/14	REVISED FROM REV. 1
5/29/14	REVISED FROM REV. 1
6/17/14	REVISED FROM REV. 1
8/17/14	REVISED FROM REV. 1
10/26/14	REVISED FROM REV. 1

File No. 14001
Scale: 1" = 20'
Sheet No. C-003

SEEDING PLAN

PLANNING DATES	GRASS TYPE	POUNDS/ACRE
DEC. 1 - APR. 15	RYE (GRAIN)	120
	KOBE LESPEDEZA	50
	GERMAN MILLET	40
APR. 15 - AUG. 15		
AUG. 15 - DEC. 1	RYE (GRAIN)	120
	LIME	3,000
	FERTILIZER	800
	MULCH	4,000
10-10-10	STRAW	4,000

PLANNING DATES	GRASS TYPE	POUNDS/ACRE
SEPT. 1 - OCT. 3	FALL FESCUE	200
	KOBE LESPEDEZA	50
	RYE (GRAIN)	25
	LIME	4,000
	FERTILIZER	1,000
	MULCH	4,000
10-10-10	STRAW	4,000



EROSION CONTROL CONSTRUCTION SEQUENCE

- OBTAIN AND POST COPY OF CERTIFICATE OF EROSION CONTROL PLAN APPROVAL.
- CLEAR SITE ONLY AS NECESSARY TO INSTALL EROSION CONTROL DEVICES AS INDICATED ON THE DRAWINGS OR SPECIFIED IN THE SPECIFICATIONS.
- ONCE EROSION CONTROL DEVICES ARE INSTALLED, BEGIN DEMOLITION OPERATIONS.
- MAINTAIN EROSION CONTROL DEVICES AS NECESSARY DURING CONSTRUCTION. INSPECT DEVICE AFTER EVERY RAINFALL EVENT AND CLEAN OUT TRAPS AND /OR CHECK DAMS WHEN HALF FULL.
- AS CONSTRUCTION PROGRESSES, INSTALL ADDITIONAL EROSION CONTROL DEVICES AS INDICATED ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, OR AS NEEDED OR DIRECTED BY ENGINEER.
- SEED AND MULCH DISTURBED AREAS AS STATED BELOW BASED ON WORKING DAYS:
 - UPON COMPLETION OF ANY PHASE OF CONSTRUCTION
 - WHEN WORK WILL NOT PROCEED IN AN AREA WITHIN THE ABOVE TIME FRAME.
- AFTER SITE IS STABILIZED, REQUEST AN INSPECTION BY THE ENGINEER. UPON APPROVAL OF SITE STABILIZATION, REMOVE TEMPORARY EROSION DEVICES, DRESS OUT AREA AND SEED AND MULCH. PERMANENT EROSION CONTROL DEVICES SHALL BE INSTALLED AND APPROVED BY ENGINEER.

AREA	
DISTURBED AREA AC	1.55
DRAINAGE AREA 1	0.51
DRAINAGE AREA 2	0.45
DRAINAGE AREA 3	0.55

WHAT DOES THIS PERMIT REQUIRE ME TO DO?

YOU SHOULD READ AND BECOME FAMILIAR WITH THE PROVISIONS OF THIS PERMIT. BELOW IS A LIST OF THE MAJOR REQUIREMENTS, WITH INDICATIONS WHERE THOSE DIFFER FROM THE PREVIOUS CONSTRUCTION GENERAL PERMIT.

EROSION AND SEDIMENT CONTROL PLAN
 YOU MUST IMPLEMENT THE EROSION AND SEDIMENTATION CONTROL PLAN APPROVED FOR YOUR PROJECT BY THE DIVISION OF LAND RESOURCES OR BY AN APPROVED LOCAL PROGRAM. ADHERENCE TO THAT E&S PLAN IS AN ENFORCEABLE COMPONENT OF THE STORM WATER PERMIT.

YOUR E&S PLAN WILL IDENTIFY AREAS WHERE THE MORE STRINGENT 7 AND 14 DAY GROUND STABILIZATION REQUIREMENTS APPLY. SEE "NEW GROUND STABILIZATION REQUIREMENTS" ON PAGE 2.

MONITORING AND INSPECTIONS

- YOU MUST KEEP A RAIN GAUGE ON SITE.
- DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50' FROM STORM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE (NEW REQUIREMENT).
- YOU MUST INSPECT ALL E&S MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24-HOUR PERIOD). YOU MUST TAKE IMMEDIATE CORRECTIVE ACTION FOR ANY DEVICE FAILURE.
- YOU MUST INSPECT ALL OUTLETS WHERE STORM WATER RUNOFF LEAVES YOUR SITE AND EVALUATE THE EFFECT ON NEARBY STREAMS OR WETLANDS, OR CAUSES A VISIBLE INCREASE IN TURBIDITY (CLOUDINESS) OF ANY WATER BODY.
- YOU MUST KEEP RECORDS OF THESE INSPECTIONS AND ANY CORRECTIVE ACTIONS TAKEN.

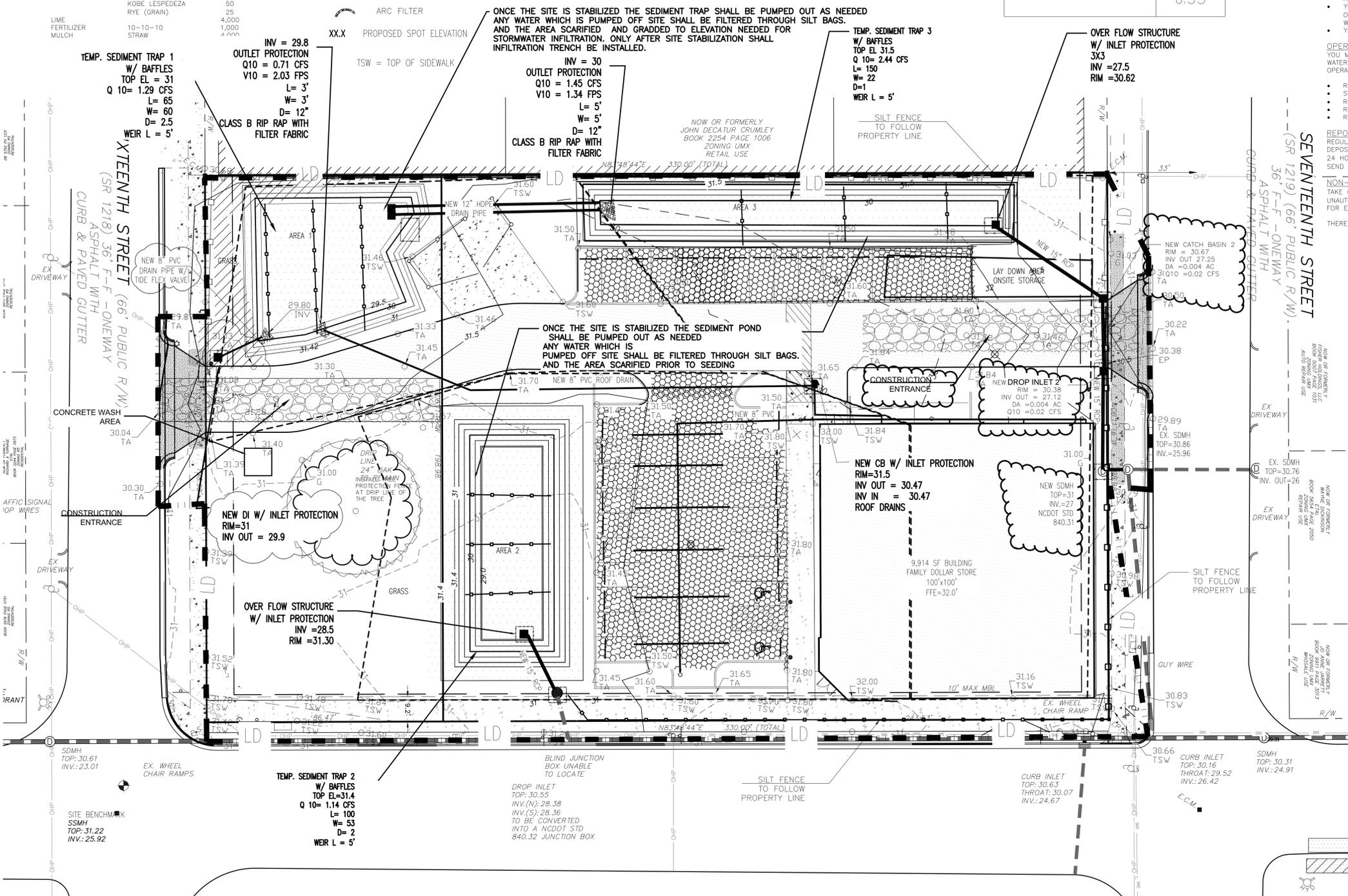
OPERATION & MAINTENANCE
 YOU MUST PROVIDE THE OPERATION AND MAINTENANCE NECESSARY TO MAINTAIN OPTIMAL PERFORMANCE OF STORM WATER CONTROLS. THIS MEANS TAKE CORRECTIVE ACTION IF EROSION AND SEDIMENT CONTROL FACILITIES ARE NOT OPERATING PROPERLY! OPERATION AND MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO:

- REGULARLY CLEANING OUT SEDIMENTATION BASINS.
- STABILIZING ERODED BANKS OR SPILLWAY STRUCTURES.
- REPAIRING/CLEARING OUT INLETS AND OUTLETS.
- REPAIRING PIPING, SEEPAGE AND MECHANICAL DAMAGE.
- REPAIRING SILT FENCE DAMAGE.

REPORTING
 REGULAR INSPECTIONS ARE A WRITTEN CHECK IMPACTS TO NEARBY WATERS. IF ANY OBSERVE SEDIMENT THAT HAS DEPOSITED IN A STREAM OR WETLAND, YOU MUST NOTIFY THE DIVISION OF WATER QUALITY REGIONAL OFFICE WITHIN 24 HOURS AND PROVIDE WRITTEN NOTICE WITHIN 5 DAYS (SEE #3 ON PAGE 6 OF THE GENERAL PERMIT). PLEASE SEND A COPY OF THIS CORRESPONDENCE TO THE DIVISION OF LAND RESOURCES (DLR).

NON-COMPLIANCE & FINES
 TAKE COMPLIANCE SERIOUSLY! PROJECTS THAT VIOLATE STORM WATER PERMIT CONDITIONS AND/OR HAVE UNAUTHORIZED WATER QUALITY IMPACTS ARE SUBJECT TO FINES. CIVIL PENALTIES OF UP TO \$25,000.00 PER DAY FOR EACH VIOLATION MAY BE ASSESSED.

THERE ARE NO WETLANDS ON THIS SITE.



EROSION CONTROL

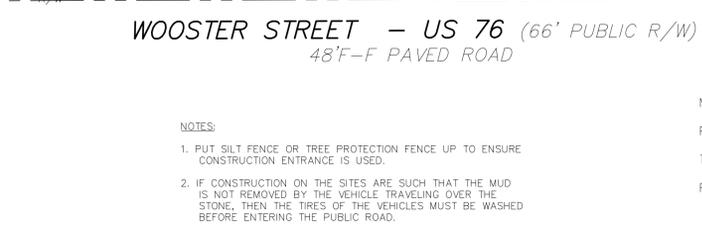
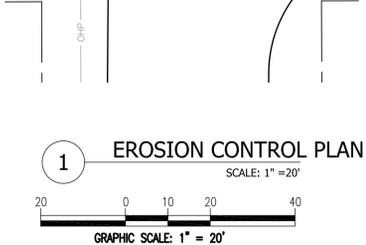
INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PER DETAIL.

INSTALL SILT FENCE AS NECESSARY PER DETAIL.

INSTALL TREE PROTECTION PER DETAIL. DURING CONSTRUCTION CONTRACTOR SHALL TAKE CARE TO LIMIT DAMAGE TO ADJACENT TREES. EXISTING TREES TO REMAIN UNLESS UNABLE TO SAVE DUE TO SITE GRADING.

- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDEED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE. ALL GRADED SLOPES MUST BE SEEDED AND MULCHED WITHIN 21 CALENDAR DAYS OF COMPLETION OF GRADING. STABILIZE AREAS OTHER THAN SLOPES WITHIN 30 WORKING DAYS OR 120 CALENDAR DAYS, WHICHEVER IS SHORTER.
- ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED TO BY CONTRACTOR AND OWNER.
- IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS, ALL DISTURBED AREAS MUST BE SEEDED, MULCHED AND TACKED.
- AFTER EVERY RAINFALL EVENT, CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL DAMAGED EROSION CONTROL MEASURES.

NEW STABILIZATION TIMEFRAMES		
Site Area Description	Stabilization	Timeframe Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.



APPROVED CONSTRUCTION PLAN

NAME _____ DATE _____

PLANNING _____

TRAFFIC _____

FIRE _____

STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT

OWNER: EASTERN PRIDE, INC. 2405-F NASH STREET WILSON, NC 27804

GENERAL CONTRACTOR - STOCKS AND TAYLOR CONSTRUCTION, INC WASHINGTON, NC

DATE _____

PERMIT # _____

SIGNED _____

DESIGNED MUP _____

DRAWN MSP _____

CHECKED MUP _____

APPROVED MARIE U. PEEDIN

EROSION CONTROL AND GRADING PLAN

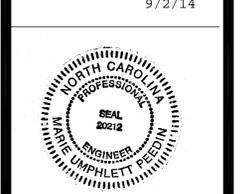
FAMILY DOLLAR STORE

S. 17TH ST.

722 S. 17TH STREET WILMINGTON, NC

EASTERN PRIDE, INC. 2405-F NASH ST. WILSON, NC 27896

9/2/14



Pamlico Engineering Services, PLLC LICENSE NO. P-0530



Pamlico Engineering Services 128 Abbey Lane Washington, NC 27889 252-945-2983 mpeedin@pamlicoengineeringservices.com

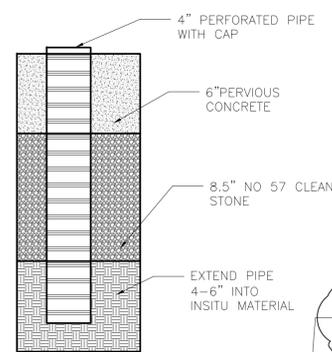
REVISIONS	Date	Description
1	3/27/14	REVISIONS PER NEW HANOVER CO.
2	5/2/14	REVISIONS PER NEW HANOVER CO.
3	5/29/14	ADDED SCREENING FENCE TO WEST SIDE OF MECHANICAL PAD. DESIGNED NEW DIT FOR NCDOT-MODIFIED GRADIES ON EXISTING DR.
4	6/25/14	REVISED CFS ELEVATION
5	9/2/14	REVISED CHANGES PER NCDOT COMMENTS

File No. 14001

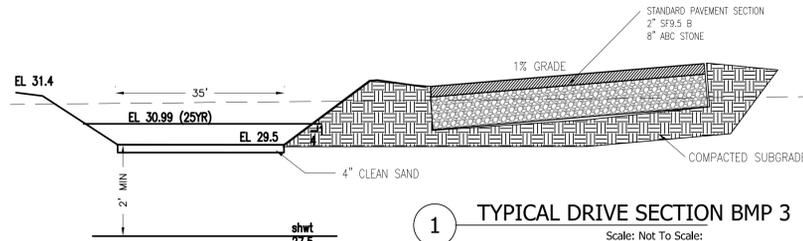
Scale: 1" = 20'

Sheet No.

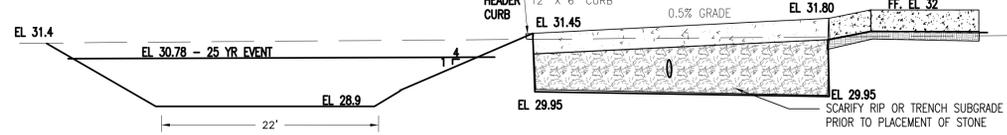
C-004



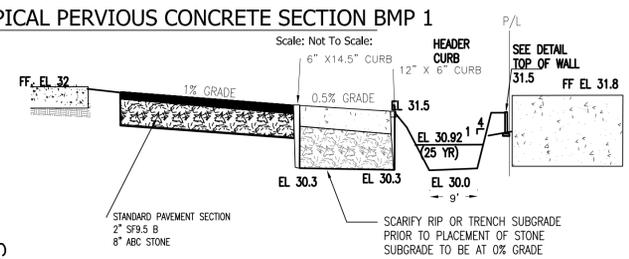
4 MONITORING WELL DETAIL
Scale: Not To Scale:



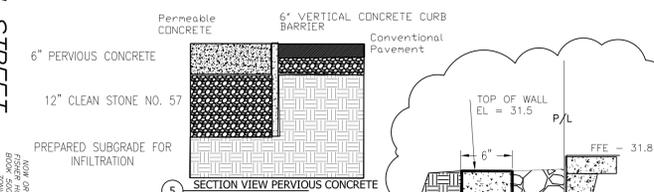
1 TYPICAL DRIVE SECTION BMP 3
Scale: Not To Scale:



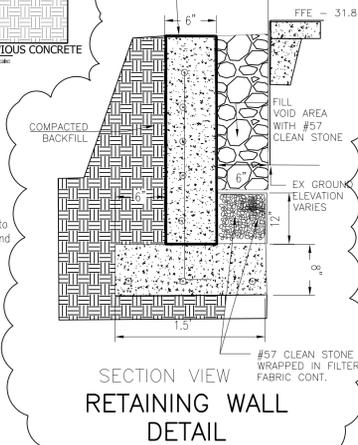
2 TYPICAL PERVIOUS CONCRETE SECTION BMP 1
Scale: Not To Scale:



3 TYPICAL PERVIOUS CONCRETE SECTION BMP 2
Scale: Not To Scale:



Handling pavement transitions Place concrete curb that extends below the permeable base should be provided to protect the subgrade under the conventional asphalt. The concrete curb will provide a larger separation between the pavement courses, which will be helpful when the conventional asphalt is resurfaced. An alternative design option uses a concrete curb to protect the asphalt and then an impermeable liner to separate the bases under the asphalt and permeable pavement.



SECTION VIEW RETAINING WALL DETAIL

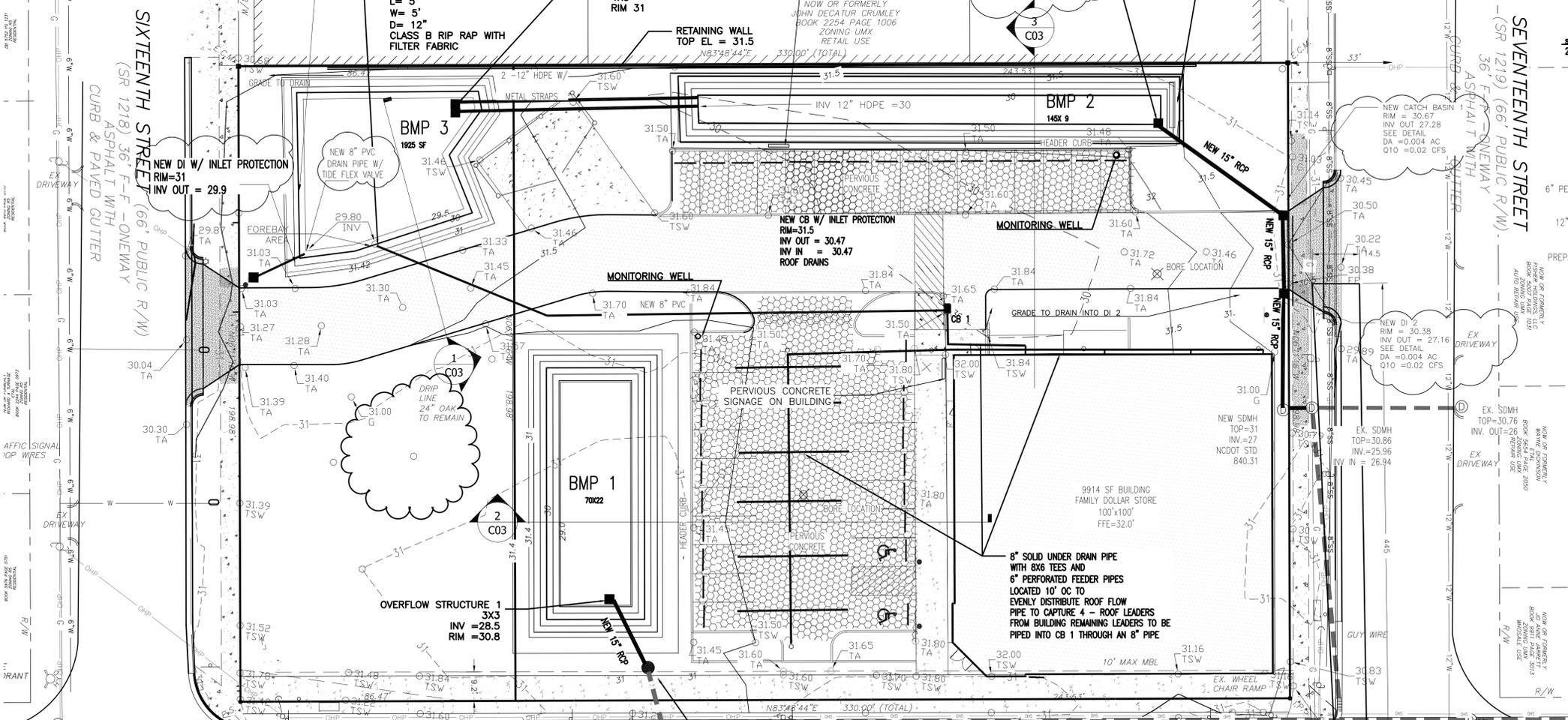
AFTER VERIFYING THE SUBGRADE SLOPE, SCARIFY, RIP OR TRENCH THE SOIL SUBGRADE SURFACE OF INFILTRATING PAVEMENT SYSTEMS TO MAINTAIN THE SOIL'S PERFORMANCE INFILTRATION RATE. THESE TREATMENTS MUST OCCUR WHILE THE SOIL IS DRY. TO SCARIFY THE PAVEMENT USE BACKHOE BUCKETS' TEETH TO RAISE THE SURFACE OF THE SUBGRADE. TO RIP THE SUBGRADE, USE A SUBSOIL RIPPER TO MAKE PARALLEL RIPS AT 18" TO 24" DEEP SPACED 3' APART. ALONG THE LENGTH OF THE PERMEABLE PAVEMENT EXCAVATION AS SHOWN IN FIGURE 18-21. IN SILTY OR CLAYEY SOILS, CLEAN CORNER SAND MUST BE PLACED OVER THE RIPPER SURFACE TO KEEP IT FREE-FLOWING (SHOWN AND HUNT 2009). THE SAND LAYER SHOULD BE ADEQUATE TO FILL THE RIPS.

CONDUCT A DIRECT MEASUREMENT OF THE SOIL'S INFILTRATION RATE IMMEDIATELY AFTER EXCAVATION AND BEFORE THE AGGREGATE IS PLACED. INFILTRATION RATE TESTING SHALL BE CONDUCTED BY AN APPROPRIATELY QUALIFIED PROFESSIONAL. THE RESULTS OF THE TESTING SHALL BE GIVEN TO THE DESIGNER OF RECORD FOR REVIEW.

At intersections between permeable concrete and conventional concrete, a geomembrane barrier should be provided to contain the stormwater under the permeable pavement and protect the base and subgrade under the conventional concrete. There should be a joint between the pavement surfaces for maintenance purposes.



6 TYPICAL SIGNAGE
Scale: Not To Scale:



WOOSTER STREET - US 76 (66' PUBLIC R/W)
48'-F PAVED ROAD
North Carolina
One-Call Center

OWNER: EASTERN PRIDE, INC.
2405-F NASH STREET
WILSON, NC 27804

GENERAL CONTRACTOR - STOCKS AND TAYLOR
CONSTRUCTION, INC
WASHINGTON, NC



SITE DRAINAGE DATA	
PROPOSED IMPERVIOUS AREA TOTAL INCLUDING SIDEWALK ONSITE ALONG WOOSTER ST.	21,989 SF
TOTAL DRAINAGE AREA	65,775.60 SF
PROPOSED PERVIOUS PAVEMENT AREA	9,974.00 SF

APPROVED CONSTRUCTION PLAN

NAME _____ DATE _____

PLANNING _____

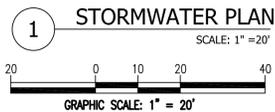
TRAFFIC _____

FIRE _____

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE PERMIT # _____

SIGNED _____

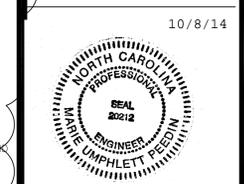


1 STORMWATER PLAN
SCALE: 1" = 20'

Designed MUP
Drawn MSP
Checked MUP
Approved MARIE U. PEEDIN

STORM WATER CONTROL PLAN

FAMILY DOLLAR STORE
S. 17TH ST.
722 S. 17TH STREET
WILMINGTON, NC
EASTERN PRIDE, INC.
2405-F NASH ST.
WILSON, NC 27896



10/8/14

Marie U. Peedin

PAMICO ENGINEERING SERVICES, PLLC
LICENSE NO. P-0530



PAMICO ENGINEERING SERVICES
128 Abbey Lane
Washington, NC 27889
252-945-2983
mpeedin@pamicoengineeringservices.com

REVISIONS	Date	Description
1	5/15/14	REVISED COMMENTS PER ENGINEERING
2	5/29/14	ADDED DI. 1 PER NCDOT
3	6/25/14	ADDED INLETS PER NCDOT
4	6/17/14	REVISED 17TH ST DRIVEWAY GRADES
5	9/2/14	UPDATED PLAN TO REFLECT NCDOT CHANGES
6	10/8/14	MODIFIED IMPERVIOUS AREA TO MATCH CHANGES

File No. 14001
Scale: 1" = 20'
Sheet No.

C-005

LANDSCAPE LEGEND						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	CATEGORY	TYPE
RB	3	Betula nigra	River BIRCH	8'2" cal.	TREES(LARGE)	DECIDUOUS
CM	34	LAGERSTOEMIA	CREPE MYRTLE	8'2" cal.	SMALL TREE	DECIDUOUS
TM	16	ACER BUERGERIANUM	TRIDENT MAPLE	8'2" cal.	TREES(LARGE)	DECIDUOUS
NH	28	ILEX CORNUTA	NEEDLEPOINT HOLLY	36"77 gal.	LOW BUFFER	EVERGREEN
IH	150	Rhaphiolepis indica	Indian Hawthorn	18"73 gal.	SHRUB(SMALL)	EVERGREEN
BW	98	BUXUS SINICA	WINTERGREEN BOXWOOD	18"73 gal.	SHRUB(SMALL)	EVERGREEN
IC	8	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	10' 3" CAL	TREE	EVERGREEN
MN	44	NANDINA DOMESTICA	MINIATURE NANDINA	18"73 gal.	SHRUB(SMALL)	EVERGREEN
LB	28	LOROPETALLUM CHINESE RUBRUM	LOROPETALLUM BLUSH	18"73 gal.	SHRUB(SMALL)	EVERGREEN
WM	8	MYRICA CERIFERA	WAX MYRTLE	30" / 3GAL.	SHRUB	EVERGREEN
JFC	17	PRUNUS SERRULATA	JAPANESE FLOWERING CHERRY	8'2" cal.	TREE	DECIDUOUS

LANDSCAPE CALCULATIONS:
STREET TREES
LINEAR FOOTAGE OF ROAD FRONTAGE = 728 LF - 48LF = 680 LF
STREET TREES - 1/30LF = 23 TREES IN ROW PROVIDED

SHADE REQUIREMENTS
PARKING AND DRIVE IMPERVIOUS AREA = 9323 SF
20% X 9323 = 1864.60 SF. REQUIRED
SA = 4244 SF PROVIDED

LANDSCAPE AREA PROVIDED = 1542 SF (LSA)

FOUNDATION PLANTINGS AREA

	REQUIRED	PROVIDED
FRONT = 84.5 X 20 X 0.12 =	203 SF	209 SF
NORTH SIDE = 100 X 15 X 0.12 =	180 SF	523 SF
EAST SIDE = 100 X 20 X 0.12 =	180 SF	530 SF

TREE MITIGATION CALCS
25' OAK X 2 (100%) = 50 50/3 = 17 TREES 17 TREES

STREET YARD BUFFER 16TH AND WOOSTER STREETS
528 LF - 24' - 100' - 404 LF X 18 = 7272 SF TOTAL REQUIRED

	REQUIRED	PROVIDED
7222 / 600 = 12	12	12
SHADE TREE	12	12
SHRUBS (6)	72	72

- LANDSCAPE NOTES**
- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN IN PLAN.
 - ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE WRITTEN SPECIFICATIONS.
 - PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" LONGLEAF PINESTRAW. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
 - ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
 - APPLY FIRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
 - DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS).
 - ALL LANDSCAPING IS SUBJECT TO THE CITY ZONING ORDINANCE AND ANY MODIFICATIONS MADE SHALL MEET ALL REQUIREMENTS SET FORTH BY THE ZONING CODE.
 - THE AREA WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED FREE OF ALL OBSTRUCTIONS BETWEEN 30" AND 10'.
 - LANDSCAPE SHALL BE COMPLETE BEFORE ISSUANCE OF A FINAL CO.
 - A RAIN/FREEZE SENSOR SHALL BE USED IF THERE IS AN IRRIGATION SYSTEM.
 - ALL PLANTED AND RETAINED MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
 - CREATIVE STANDARD: TO PROMOTE CREATIVE DESIGNS, STREET YARDS MAY CONSIST OF TREES AND SHRUBBERY WHICH COVER AT LEAST 50% OF ITS AREA.

DEVELOPER
EASTERN PRIDE, INC.
2405-F NASH STREET
WILSON, NC 27896

OWNER
THOMASON REALTY INVEST LP
910 SAND MILLS BLVD
ABERDEEN, NC 28315

GENERAL CONTRACTOR:
STOCKS AND TAYLOR CONSTRUCTION, INC.
1825 CAROLINA AVENUE
WASHINGTON, NC 27889

GENERAL BUILDING INFORMATION
BUILDING USE: COMMERCIAL - RETAIL
TOTAL LOT SIZE = 1.51 AC
LOT 1 = 0.395 AC TO R/W
LOT 2 = 1.115 AC TO R/W
BUILDING SIZE: 9,914 SF

7427 SF RETAIL, 2487 SF OTHER
BUILDING HEIGHT: 20 FT
BUILDING CONSTRUCTION TYPE = V-B

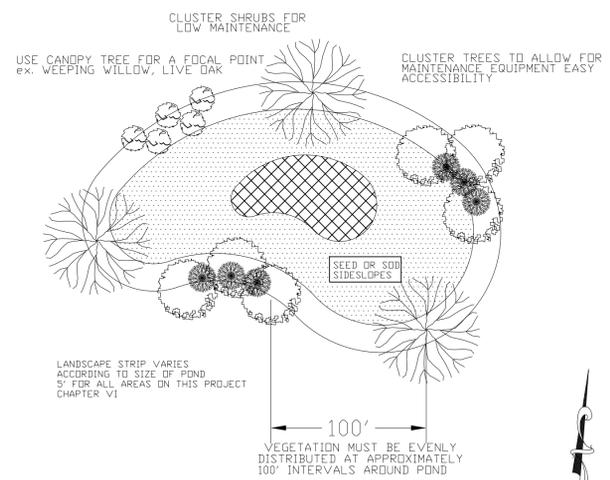
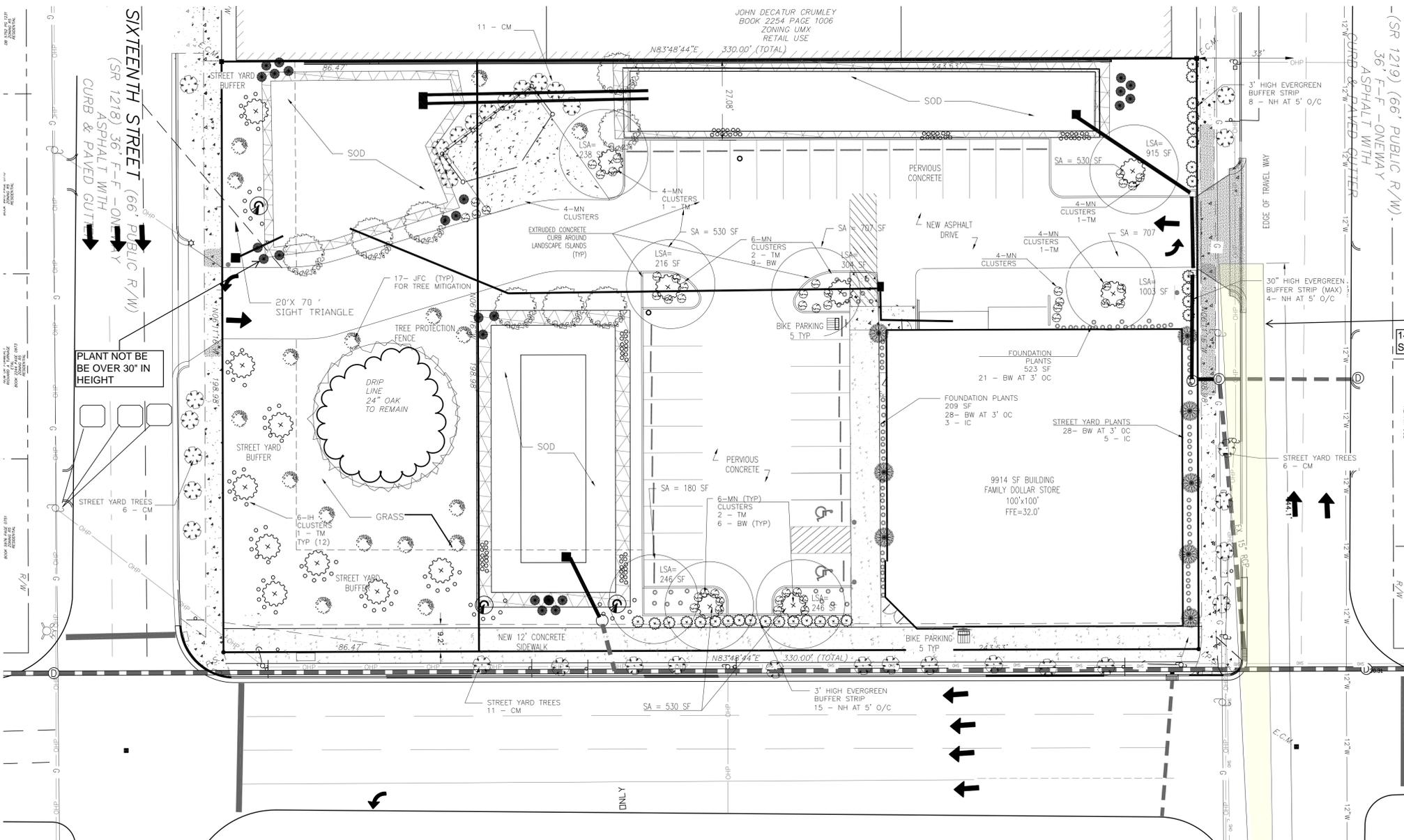
BUILDING LOT COVERAGE
9914 SF / 65,775.6 SF = 15.07%
NO. OF BUILDINGS = 1

TOTAL IMPERVIOUS AREA
BUILDING = 9914.00 SF
SIDEWALK (ONSITE) = 1516.35 SF
PAVEMENT = 9,323 SF
PERVIOUS PAVEMENT = 9,974 SF
SIDEWALK (ON SITE ALONG WOOSTER) = 2607.00 SF

TOTAL IMPERVIOUS AREA = 23,360.00 SF
TOTAL GREEN SPACE = 42,415.60 SF

TOTAL PERVIOUS PAVEMENT = 9974 SF
% IMPERVIOUS EXISTING = .000%
% IMPERVIOUS PROPOSED = 23360 / 65775.6 = 35.51%
(WITH NO CREDIT FOR PERVIOUS PAVEMENT)

- GENERAL NOTES**
- ANY EXISTING ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE SEVERED CLEARLY WITH A PRUNING TOOL.
 - DO NOT DISPOSE OF ANY CHEMICALS, PETROLEUM PRODUCTS, OR REMOVE SOIL ANY OUTSIDE THE LIMIT OF WORK.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY UTILITIES AS A RESULT OF INSTALLING ANY LANDSCAPE MATERIALS.
 - THE ONLY EXISTING TREE IS THE 24" OAK AS SHOWN TO REMAIN. ALL OTHER TREES AND SHRUBS ARE NEW.
- Note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.



LANDSCAPE PLAN
SCALE: 1" = 20'
GRAPHIC SCALE: 1" = 20'



APPROVED CONSTRUCTION PLAN
NAME _____ DATE _____
PLANNING _____
TRAFFIC _____
FIRE _____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____
PERMIT # _____
SIGNED _____

Designed MUP
Drawn MSP
Checked MUP
Approved MARIE U. PEEDIN

FAMILY DOLLAR STORE
S. 17TH ST.
722 S. 17TH STREET
WILMINGTON, NC

LANDSCAPE PLAN

EASTERN PRIDE, INC.
2405-F NASH ST.
WILSON, NC 27896



Pamlico Engineering Services, PLLC
LICENSE NO. P-0530

Pamlico Engineering Services

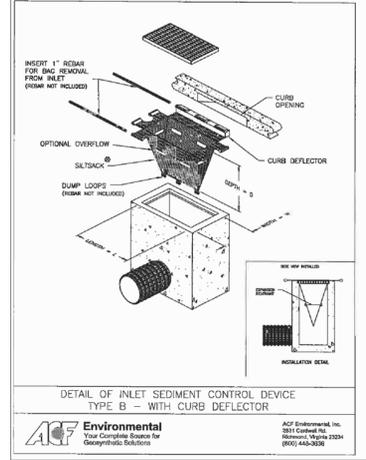
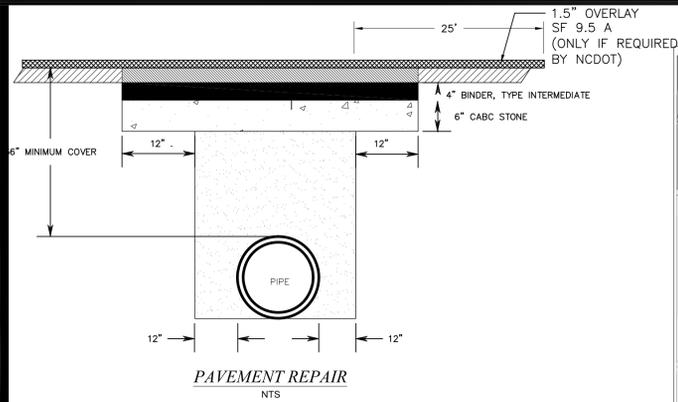
PAMLICO ENGINEERING SERVICES
128 Abbey Lane
Washington, NC 27889
252-945-2983
mpeedin@pamlicoengineeringservices.com

REVISIONS	Date	Description
5/29/14	REVISED PER COW COMMENTS 4/22/14	
6/2/14	REVISED PER PLANNING COMMENTS AND URBAN FORESTER	
6/10/14	REVISED PLANT SCHEDULE PER PLANNING COMMENTS	
6/25/14	REVISED PLANT SCHEDULE PER PLANNING COMMENTS AND SHIFED	
8/2/14	REVISED PER NIGHT TRAVEL	

LANDSCAPE STRIP VARIES ACCORDING TO SIZE OF POND 5' FOR ALL AREAS ON THIS PROJECT CHAPTER VI

Notes:
1. If possible, locate pond where vegetation exists.
2. Suggest minimal clearing to conserve visual quality of site and minimize the additional of tree planting. An irregular shape provides a more natural appearance.
3. Landscape strip shall be a maximum slope of 7:1 in order to plant vegetation.
4. Provide a minimum of 3 inches of mulch around all vegetation.

File No. 14001
Scale: 1" = 20'
Sheet No.
C-006



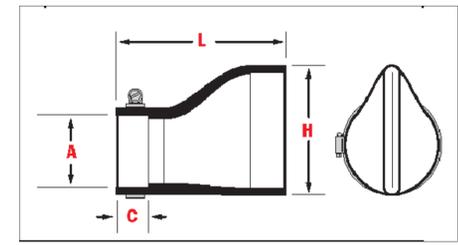
SILTSTACK®
NOTE: THE SILTSTACK® WILL BE MANUFACTURED FROM A VINYL POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

PROPERTY	EST. VALUE	UNITS
GRAV. TENSILE STRENGTH	ASTM D-4452	800 LBS
LONGITUDINAL ELONGATION	ASTM D-4452	100% MIN.
WATER ABSORPTION	ASTM D-570	10% MAX.
PERMEABILITY	ASTM D-570	100% MIN.
APPROX. OPENING SIZE	ASTM D-4452	60 MICRONS
UV STABILITY	ASTM D-4452	100% MIN.
PERMEABILITY	ASTM D-4452	100% MIN.

SE-FLUX SILTSTACK®
FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF:

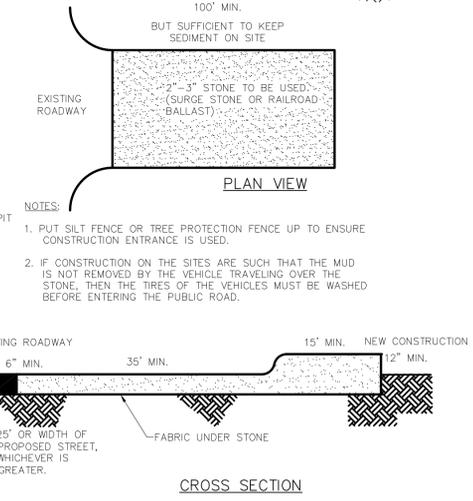
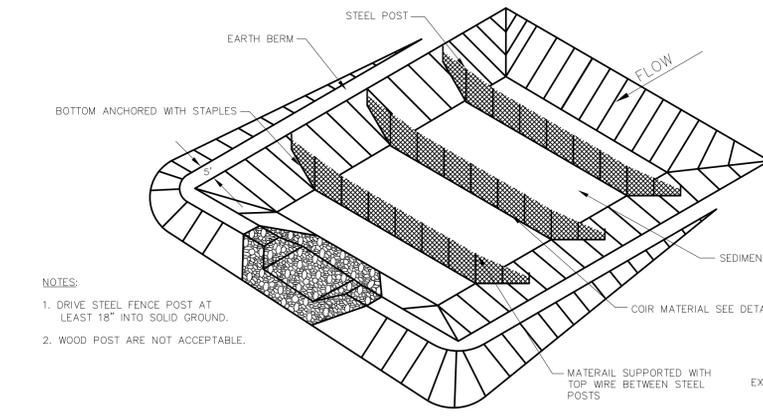
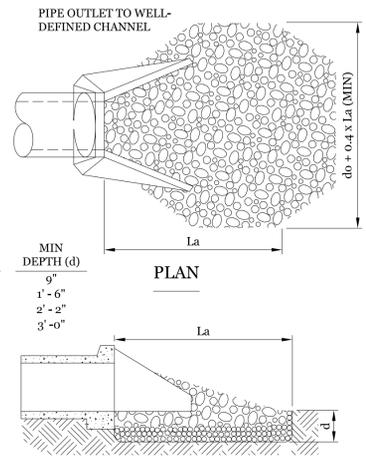
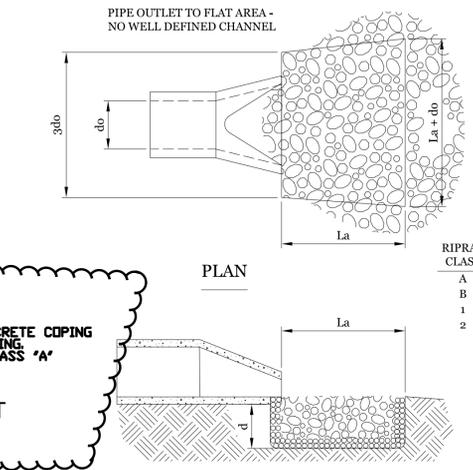
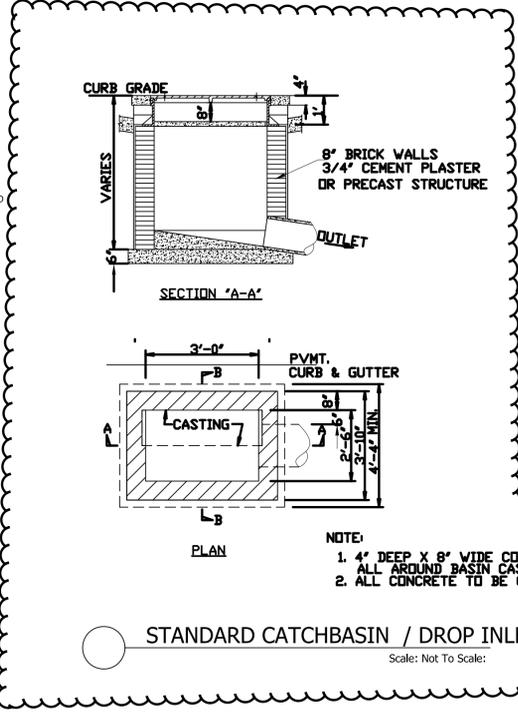
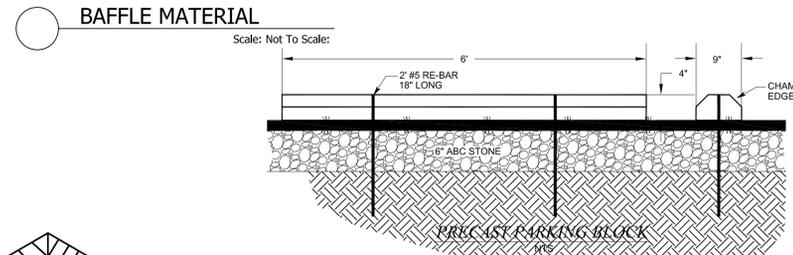
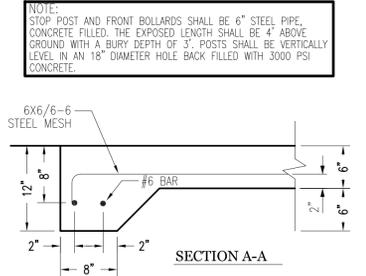
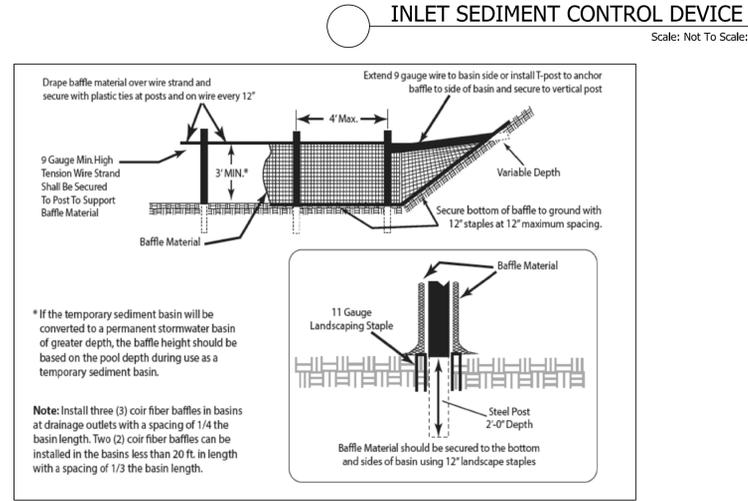
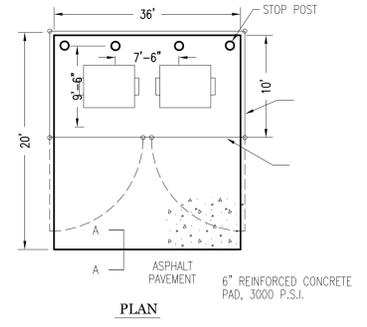
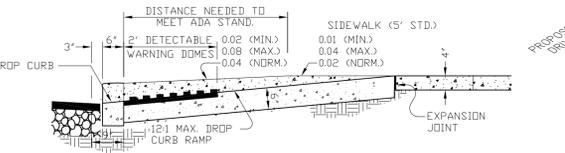
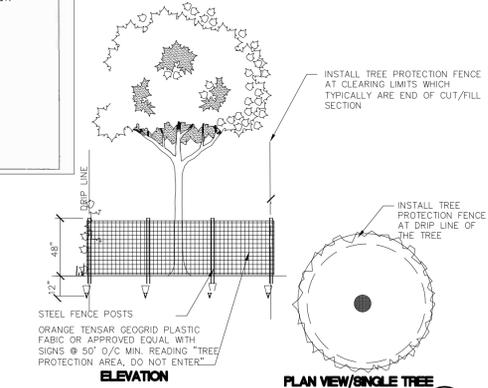
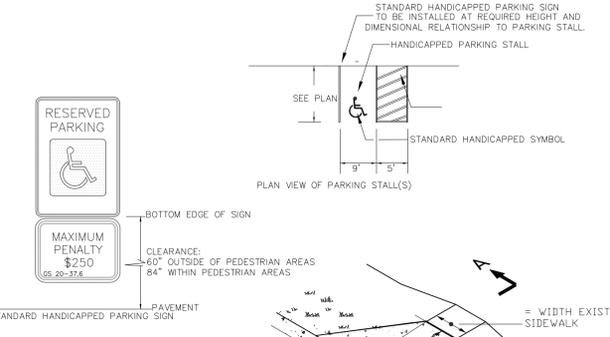
PROPERTY	EST. VALUE	UNITS
GRAV. TENSILE STRENGTH	ASTM D-4452	800 LBS
LONGITUDINAL ELONGATION	ASTM D-4452	100% MIN.
WATER ABSORPTION	ASTM D-570	10% MAX.
PERMEABILITY	ASTM D-570	100% MIN.
APPROX. OPENING SIZE	ASTM D-4452	60 MICRONS
UV STABILITY	ASTM D-4452	100% MIN.
PERMEABILITY	ASTM D-4452	100% MIN.

TILT-ABSORBENT SILTSTACK®
FOR AREAS WHERE THERE IS A RISK OF OIL RUN-OFF OR SPILLS:
DEPENDS ON YEAR PARTICULAR APPLICATION, THE SILTSTACK® CAN BE MADE FROM POLYPROPYLENE OR POLYESTER. IT IS AVAILABLE IN A RANGE OF COLORS AND IS AVAILABLE IN A RANGE OF OPENING SIZES.



DATA

A	0'-8"
L	1'-6"
H	1'-4"
C	0'-2"



DESIGNER CERTIFICATION
"I hereby certify that this plan has been prepared in accordance with the latest Wilmington Standards and Specifications for Storm Water Management and Chapter 20 of the Code of Ordinance of the City of Wilmington."
Signature: Marie U. Peedin, PE
Date: 9/2/14 PE # 20212

Owners/Developers Certification
"We hereby certify that any clearing grading, construction or development or all of these will be done pursuant to this plan and that the applicable stormwater Management conditions and requirements of the City of Wilmington, the State of North Carolina and the Federal Government and its agencies are hereby made part of this plan."
Signature: Marie U. Peedin, PE
Date: 3/28/14

SECTION THRU PIPE

1. La IS THE LENGTH OF THE RIP-RAP APRON.
2. do IS THE NOMINAL SIZE OF THE OUTLET PIPE.
3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS. WIDEN CHANNEL AS NECESSARY TO ACHIEVE REQUIRED WIDTH AT DISTANCE La FROM OUTLET. RIPRAP ENTIRE DISTURBED
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.



FAMILY DOLLAR STORE
722 S. 17TH STREET
WILMINGTON, NC
EASTERN PRIDE, INC.
2405-F NASH ST.
WILSON, NC 27896

9/2/14

PROFESSIONAL ENGINEER
MARIE U. PEEDIN
SEAL 20212

Pamlico Engineering Services, PLLC
LICENSE NO. P-0530

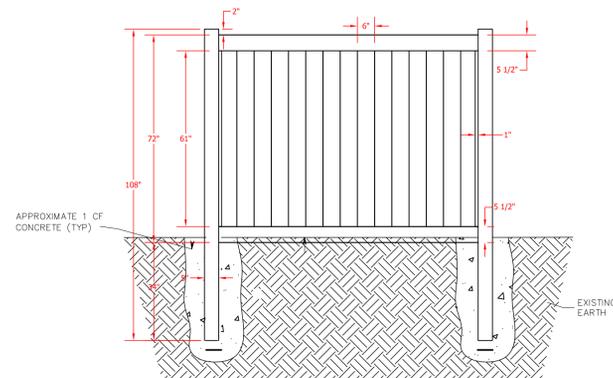
Pamlico Engineering Services
128 Abbey Lane
Washington, NC 27889
252-945-2983
mpeedin@pamlicoengineeringservices.com

Date	Description
5/12/14	ADDED BAFFLE AND INLET SOCK DETAILS
6/26/14	ADDED NYOPLAST GRATE AND BASIN
9/2/14	ADDED BASIN DETAIL

File No. 14001
Scale: 1" = 20'
Sheet No.

C-007

Note: All Federal, state and local permits are required prior to full construction release. This includes but is not limited to: state storm water, state utility extension permits, wetland disturbance permits, city storm water, tree protection permits, etc.



OVER FLOW STRUCTURE SCHEDULE

ID	RIM	INV	PIPE SIZE	BOTTOM EL
OFS 1	30.8	28.5	15"	28.9
OFS 2	30.62	27.5	15"	30
OFS 3	31.00	30.00	2 - 12"	29.5

APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____
 PLANNING _____
 TRAFFIC _____
 FIRE _____

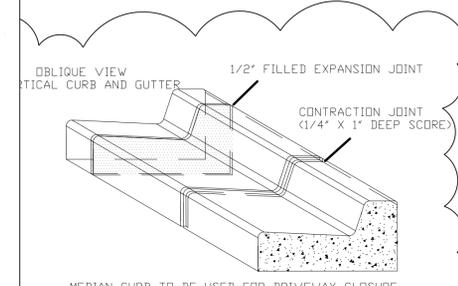
STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT

DATE _____
 PERMIT # _____
 SIGNED _____

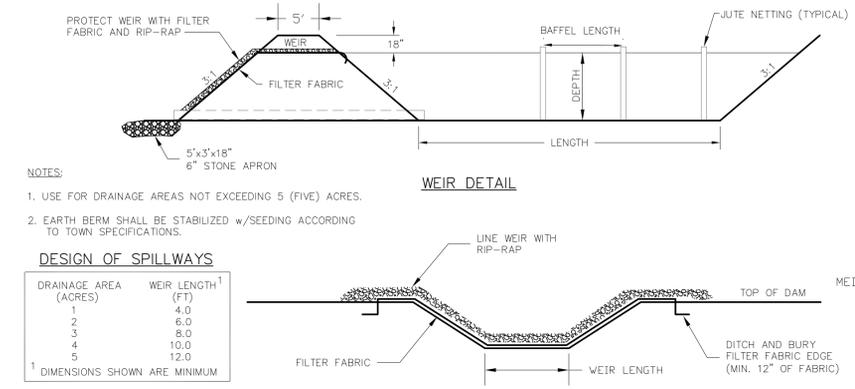
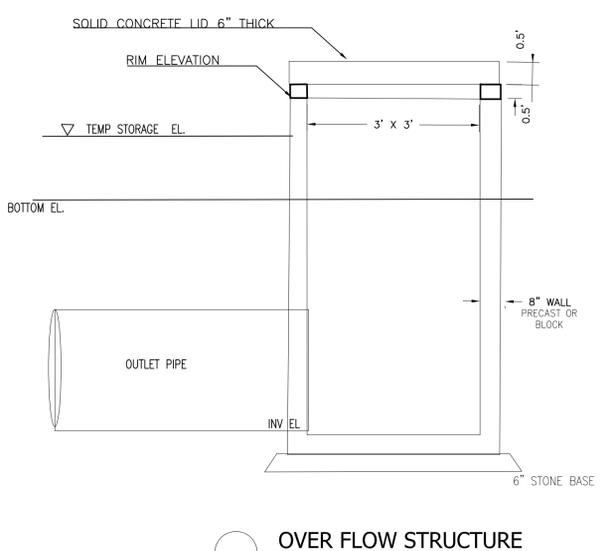
SKIMMER BAFEL DATA

ID	LENGTH	BAFFEL LENGTH
1	70	17.50
2	100	25
3	150	37.50

- Maintenance Plan**
- All erosion and sediment control measures will be checked for stability and operation following every runoff-producing rainfall, but in no case, less than once every week and within 24 hours of every half inch rainfall.
 - All points of grass will have construction entrances that will be periodically top-dressed with an additional 2 inches of #4 stone to maintain proper depth. They will be maintained in a condition to prevent mud or sediment from leaving the site. Immediately remove objectionable material spilled washed or tracked onto the construction entrance or roadways.
 - Sediment will be removed from hardware cloth and gravel inlet protection, block and gravel inlet protection, rock downspout inlet protection and rock pipe inlet protection when the designed storage capacity has been half filled with sediment. Rock will be cleaned or replaced when the sediment pool no longer drains as designed. Debris will be removed from the rock and hardware cloth to allow proper drainage. Silt socks will be emptied once a week and after every rain event. Sediment will be removed from around heavier drains, dandy socks and socks once a week and after every rain event.
 - Diversion ditches will be cleaned out immediately to remove sediment or obstructions from the flow area. The diversion ridges will also be repaired. Socks must be temporarily stabilized within 21 calendar days of cease of any phase of activity associated with a swale.
 - Sediment will be removed from behind the sediment fence when it becomes half filled. The sediment fence will be repaired as necessary to maintain a barrier. Socks must be steel. Stake spacing will be 6 feet max., with the use of extra strength fabric, without wire backing. Stake spacing will be 8 feet max. when standard strength fabric and wire backing are used. If rock filters are designed at low points in the sediment fence the rock will be repaired or replaced if it becomes half full of sediment, no longer drains as designed or is damaged.
 - Sediment will be removed from the sediment basin when the design storage capacity has been half filled with sediment. The rock will be cleaned or replaced when the sediment pool no longer drains or when the rock is dislodged. Baffles will be repaired or replaced if they collapse, tear, decompose or become ineffective. They will be replaced promptly. Sediment will be removed when deposits reach half the height of the 1st baffle. Floating skimmers will be inspected weekly and will be kept clean.
 - Sediment will be removed from the sediment basin when the design storage capacity has been half filled with sediment. Rock will be cleaned or replaced when the sediment pool no longer drains or if the rock is dislodged. Baffles will be repaired or replaced if they collapse, tear, decompose or become ineffective. They will be replaced promptly. Sediment will be removed from baffles when deposits reach half the height of the 1st baffle. Floating skimmers will be inspected weekly and will be kept clean.
 - All seeded areas will be fertilized, reseeded as necessary and mulched according to specifications in the vegetative plan to maintain a vigorous, dense vegetative cover. All slopes will be stabilized within 21 calendar days. All other areas will be stabilized within 15 working days.
 - Flocculants will be used to address turbidity issues. The pumps, tanks, hoses and injection systems will be checked for problems or turbid discharges daily.



- Variances on stall widths, angle and other dimensions will be allowed only upon approval of the Traffic Engineer.
- Wheel stops shall be required three (3) feet from the end of parking stall when using eighteen (18) feet deep stalls.
- Curbing, cross-ties, utility poles, etc., can be used as wheel stops. (Must be anchored down)
- All medians shall be a minimum of six (6) feet wide.
- Parking bays which terminate at a circulation way shall provide for a minimum turning radius of twenty-five (25) feet, as measured from the edge of the travel portion.
- All parking stall markings and lane arrows shall be white.
- All other pavement markings, signs or other traffic control devices shall conform to the latest edition and/or interpretation of the Manual on Uniform Traffic Control Devices (MUTCD).
- No obstructions will be allowed adjacent to a parking stall which would prevent safe ingress and egress from a parked vehicle.
- Parking in fire lanes and in non-residential driveways shall be prevented by standard signs and as needed by portable barricades.



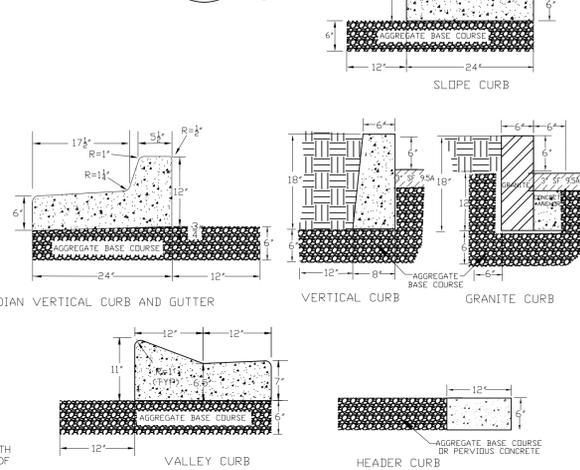
NOTES:

- USE FOR DRAINAGE AREAS NOT EXCEEDING 5 (FIVE) ACRES.
- EARTH BERM SHALL BE STABILIZED w/SEEDING ACCORDING TO TOWN SPECIFICATIONS.

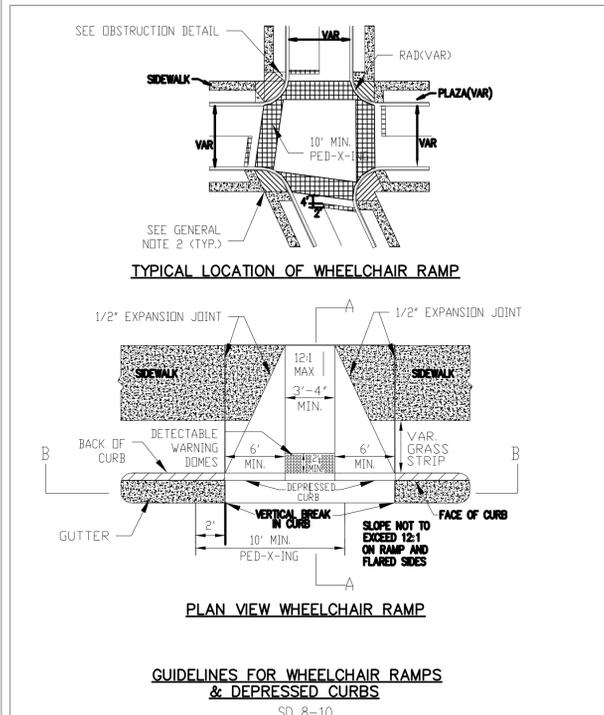
DESIGN OF SPILLWAYS

DRAINAGE AREA (ACRES)	WEIR LENGTH ¹ (FT)
1	4.0
2	6.0
3	8.0
4	10.0
5	12.0

¹ DIMENSIONS SHOWN ARE MINIMUM



- NOTES:**
- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
 - 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
 - MINIMUM INSTALLATION LENGTH IS 5 FT.
 - CONCRETE TO BE 3000 PSI MIN
 - VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" DR USE A FLAT BASE

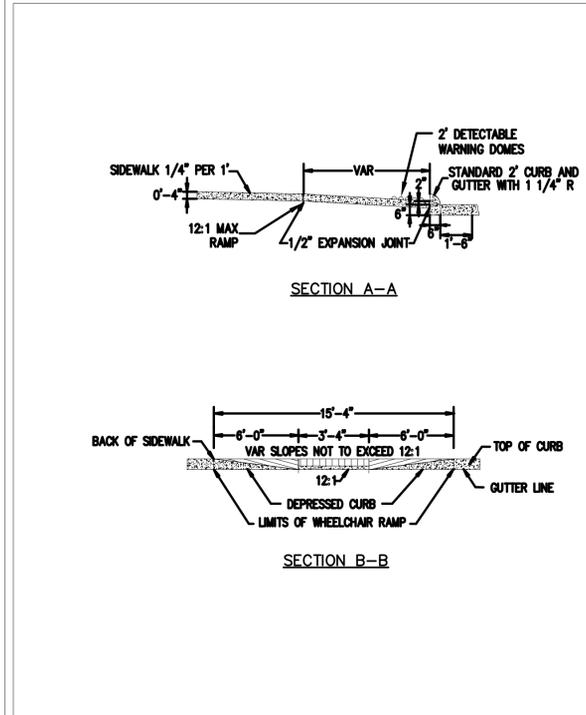


GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS

SD 8-10

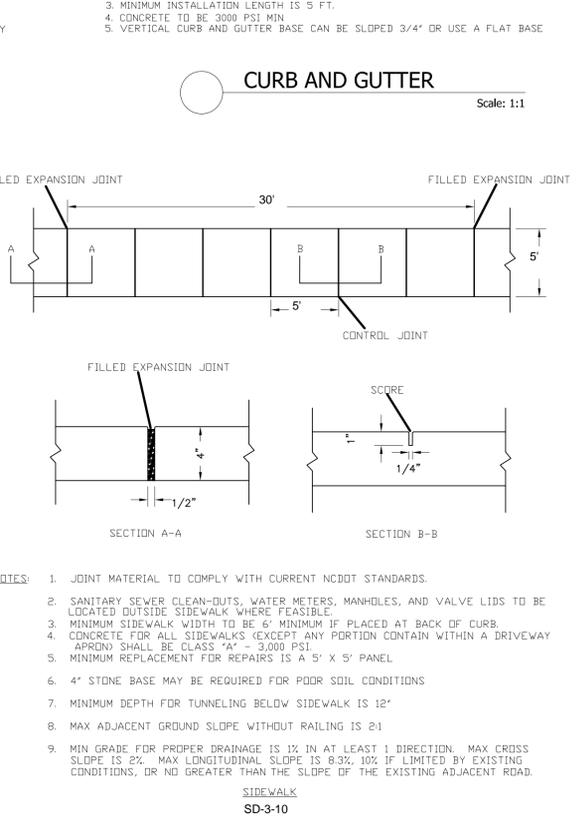
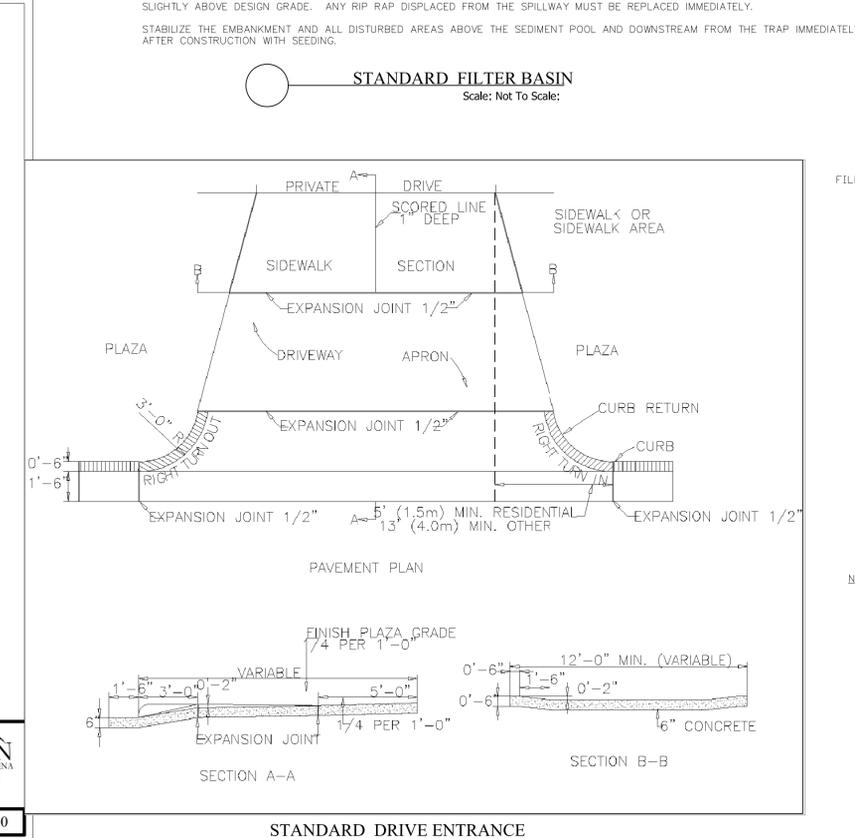
STANDARD DETAIL
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
 SHEET 1 OF 2

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807



STANDARD DETAIL
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
 SHEET 2 OF 2

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807



- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS 'A' - 3,000 PSI
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1/2" IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3% 10% IF LIMITED BY EXISTING CONDITIONS, DR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

FAMILY DOLLAR STORE
S. 17TH ST.
 722 S. 17TH STREET
 WILMINGTON, NC
 EASTERN PRIDE, INC.
 2405-F NASH ST.
 WILSON, NC 27896

Designed MUP _____
 Drawn MSP _____
 Checked MUP _____
 Approved MARIE U. PEEDIN

9/2/14

NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL 20212
 MARIE U. PEEDIN
 1000 PAMPHLETT DRIVE

PAMLICO ENGINEERING SERVICES, PLLC
 LICENSE NO. P-0530

Pamlico Engineering Services

PAMLICO ENGINEERING SERVICES
 128 Abbey Lane
 Washington, NC 27889
 252-945-2983
 mpeedin@pamlicoengineeringservices.com

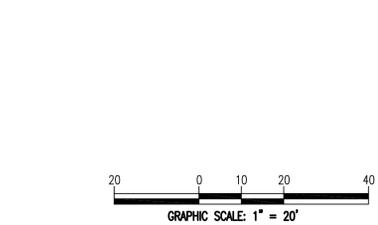
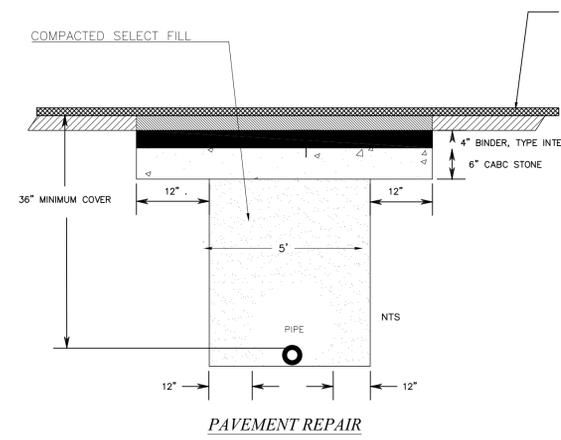
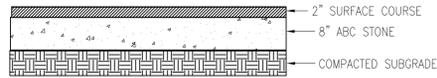
REVISIONS

Date	Description
5/8/14	ADDED BAFEL DETAILS
10/8/14	MODIFIED SIDEWALK DIMENSIONS

File No. 14001
 Scale: 1" = 20'
 Sheet No.

C-008

2 TYPICAL PAVEMENT SECTION
IN AREAS WITH OUT PREVIOUS CONCRETE Scale: Not To Scale



DEVELOPER
EASTERN PRIDE, INC.
2405-F NASH STREET
WILSON, NC 27896
252-230-0632

OWNER
THOMASON REALTY INVEST LP
910 SAND MILLS BLVD
ABERDEEN, NC 28315

GENERAL CONTRACTOR:
STOCKS AND TAYLOR CONSTRUCTION, INC.
1825 CAROLINA AVENUE
WASHINGTON, NC 27889

GENERAL BUILDING INFORMATION
BUILDING USE: COMMERCIAL - RETAIL
TOTAL LOT SIZE = 1.51 AC
LOT 1 = 0.395 AC TO R/W
LOT 2 = 1.115 AC TO R/W
BUILDING SIZE: 9,914 SF

7427 SF RETAIL, 2487 SF OTHER
BUILDING HEIGHT: 20 FT
BUILDING CONSTRUCTION TYPE = V-B

BUILDING LOT COVERAGE
99145F / 65,775.65F = 15.07%
NO. OF BUILDINGS = 1

ADDITIONAL NOTES:
NCDOT PERMIT REQUIRED FOR ANY WORK IN 16TH AND OR 17TH STREET R/W. CONTRACTOR IS RESPONSIBLE FOR PERMIT AND COORDINATION WITH NCDOT. ALL WORK IN R/W TO BE INSTALLED IN ACCORDANCE WITH CITY AND NCDOT TECHNICAL STANDARDS

CFPUA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK. CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CFPUA. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPUA TECHNICAL STANDARDS

CFPUA STANDARD DETAIL SHEET FOR SEWER AND WATER TAPS ARE INCLUDED AS A PART OF THIS PLAN.

48- HOUR NOTICE AND 3 COMPLETE SETS OF PLANS ARE REQUIRED FOR PRE-CONSTRUCTION MEETING BY CONTRACTOR

ALL FEES TO BE PAID PRIOR TO PRE CONSTRUCTION MEETING

PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET.

IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.

ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CONNECTION CONTROL REGULATIONS

ALL EXISTING SERVICES TO THE DEVELOPED PROPERTY SHALL BE CLOSED AT THE MAIN PER CFPUA REGULATIONS. THE UNDEVELOPED LOT WILL ALLOW EXISTING SERVICES TO REMAIN UNTIL THE PROPERTY IS DEVELOPED.

SEE SHEET C003 FOR OTHER EXISTING WATER AND SEWER SERVICES WHICH ARE TO BE MAINTAINED OR CLOSED.

ZONING INFORMATION:
PARCEL ID NO. = R05411-011-008-000 R05411-011-001-000
TRACTS WILL BE RECOMBINED AND SUBDIVIDED PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY.

SIGNAGE
FREE STANDING MAX AREA = 35 SF MONUMENT
WALL SIGN MAX AREA = 200 SF
SIGNAGE WILL REQUIRE A SEPARATE PERMITTING AND REVIEW PROCESS THROUGH THE CITY ZONING DEPT.

SITE ZONING: UMX
SETBACKS:
MINIMUM BUILDING SETBACKS (REQUIRED) PROVIDED
FRONT: 0' - MAX. 10' 7.8'
SIDE: 0' 7.8, 221.5'
REAR: 0' 91.2'
BUILDING HEIGHT MAX 45' 20'

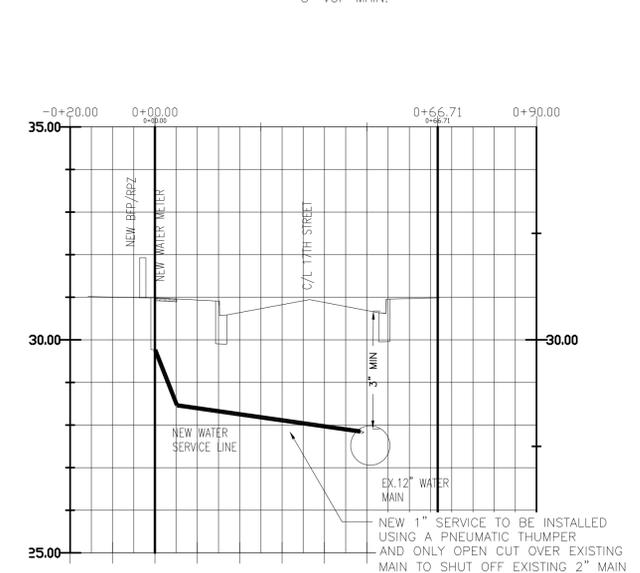
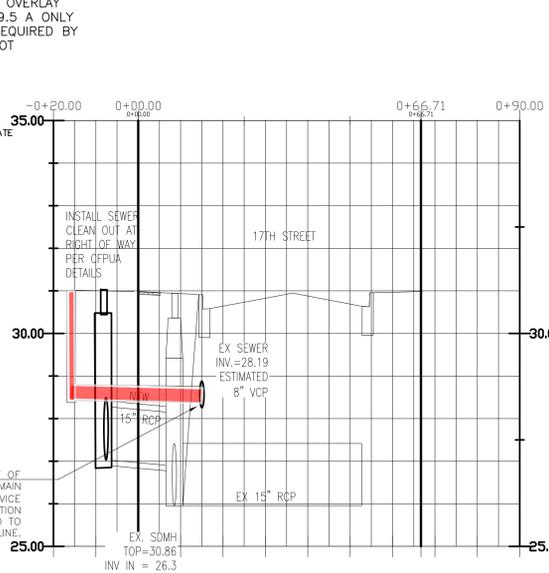
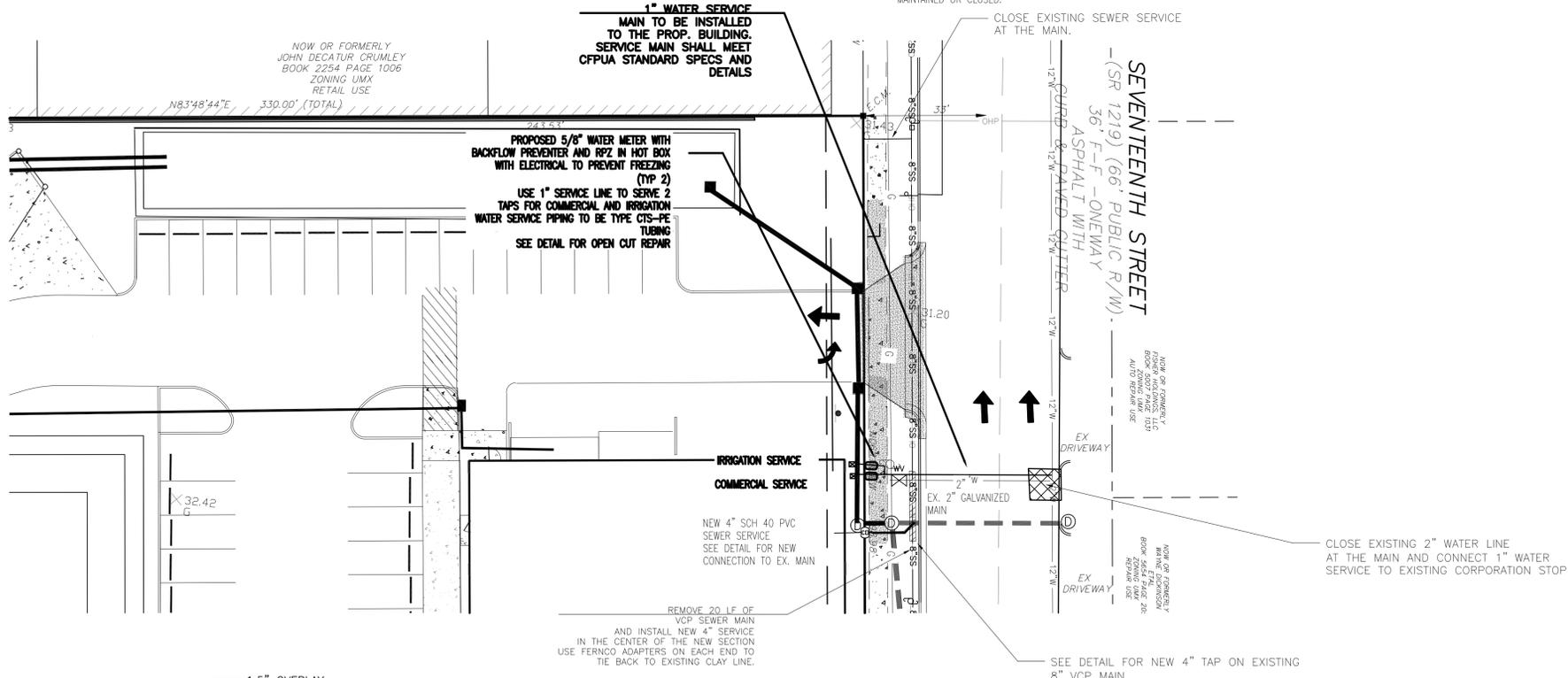
TRANSPORTATION
WOOSTER STREET - URBAN PRINCIPAL ARTERIAL
16TH STREET - URBAN PRINCIPAL ARTERIAL
17TH STREET - URBAN PRINCIPAL ARTERIAL

CAMA LAND USE CLASSIFICATION
URBAN

UTILITIES:
WATER LINE: CFPUA
WASTEWATER: CFPUA
WASTEWATER SERVICE: 4" SEWER SERVICE
WATER SERVICE: 1" WATER SERVICE
ELECTRIC SERVICE: - UNDERGROUND - DUKE ENERGY
NATURAL GAS SERVICE: PIEDMONT NATURAL GAS

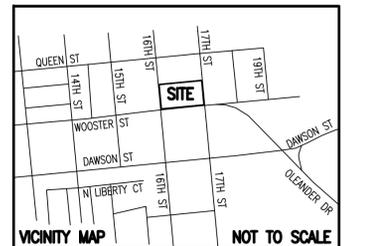
PARKING REQUIREMENTS:
PARKING SPACES TO BE TYPICAL (9 FEET X 20 FEET) UNLESS OTHERWISE NOTED
VEHICULAR REQUIREMENTS
PARKING BUILDING CODE REQUIREMENTS:
1 SPACE PER 200 SF RETAIL MAX

GENERAL SITE NOTES:
ALL NEW SERVICES SHALL MEET ALL NC BUILDING CODE REQUIREMENTS
ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE
PRIOR TO ANY DIGGING NC ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.



- Prior to any clearing, grading or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
- No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
- All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
- Once streets are open to traffic, contact Traffic Engineering regarding the installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
- Contact Traffic Engineering at 910-341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan.
- Call Traffic Engineering at 910-341-7888 forty-eight (48) hours prior to any excavation in the right-of-way.
- Traffic Engineering must approve of pavement marking prior to actual striping.
- All parking stall markings and lane arrows within the parking areas shall be white.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner.
- Stop signs and street signs to remain in place during construction.
- Tactile warning mats will be installed on all wheelchair ramps.
- A utility cut permit is required for each open cut of a city street.
- Any broken or missing sidewalks panels will be replaced.
- Contact Karen Dixon at 910-341-7888 to discuss street lighting options.
- Water and sewer service shall meet Cape Fear Public Utility Authority (CFPUA) details and specifications.
- Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3810 for information.
- If the contractor desires CFPUA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Any irrigation system supplied by CFPUA water shall comply with the CFPUA Cross Connection Control regulations. Call 910-343-3810 for information.
- Any irrigation system shall be equipped with a rain and freezer sensor.
- Any backflow prevention devices required by the CFPUA will need to be on the list of approved devices by USCFCCHHR or ASSE.
- Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
- Contractor shall maintain all-weather access for emergency vehicles at all times during construction.

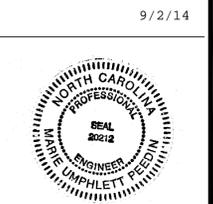
- Underground fire line(s) must be permitted and inspected by the Wilmington Fire Department from the public right-of-way to the building. Contact the Wilmington Fire Department Division of Fire and Life Safety at 910-341-0666.
- No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular sight distance.
- Contact the North Carolina One Call Center at 1-800-632-4949 prior to doing any digging, clearing, or grading.
- A TREE PRESERVATION/REMOVAL PERMIT IS REQUIRED.
- CONTRACTOR TO VERIFY THE LOCATION OF THE CITY OF WILMINGTON TRAFFIC SIGNAL SYSTEM FIBER RUNNING ALONG 16TH, 17TH AND WOOSTER ST. CONTACT TRAFFIC ENGINEERING AT (910)341-7888 TO DETERMINE IF THIS FIBER HAS TO BE RELOCATED ALONG WITH THE OTHER UTILITIES.



FAMILY DOLLAR STORE
S 17TH ST.
722 S. 17TH STREET
WILMINGTON, NC

SERVICE CUT

EASTERN PRIDE, INC.
2405-F NASH ST.
WILSON, NC 27896



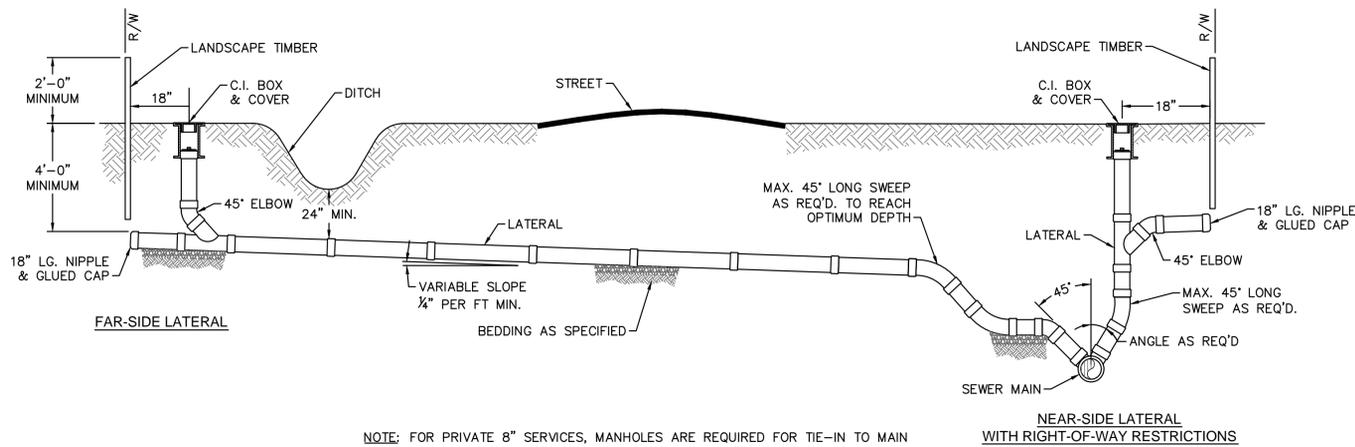
Pamlico Engineering Services, PLLC
LICENSE NO. P-0530

Pamlico Engineering Services
128 Abbey Lane
Washington, NC 27889
252-945-2983
rpedin@pamlicoengineeringservices.com

REVISIONS	Date	Description

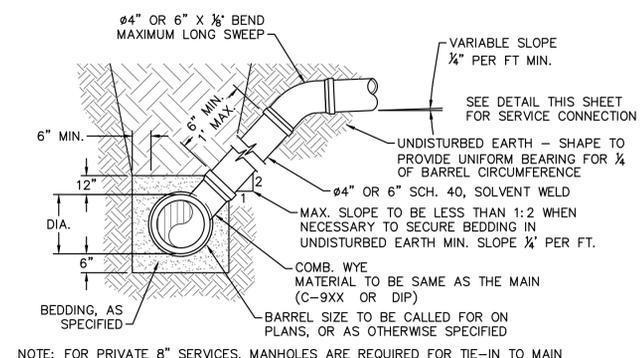
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Sheet No.

UP 1

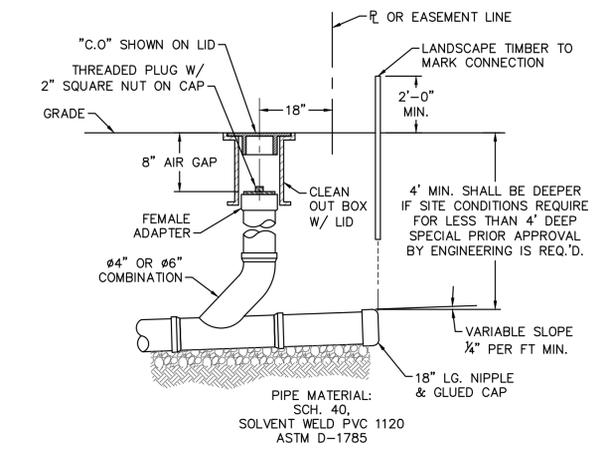


NOTE: FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR TIE-IN TO MAIN

STANDARD SERVICE CONNECTION TO SANITARY SEWER
NOT TO SCALE

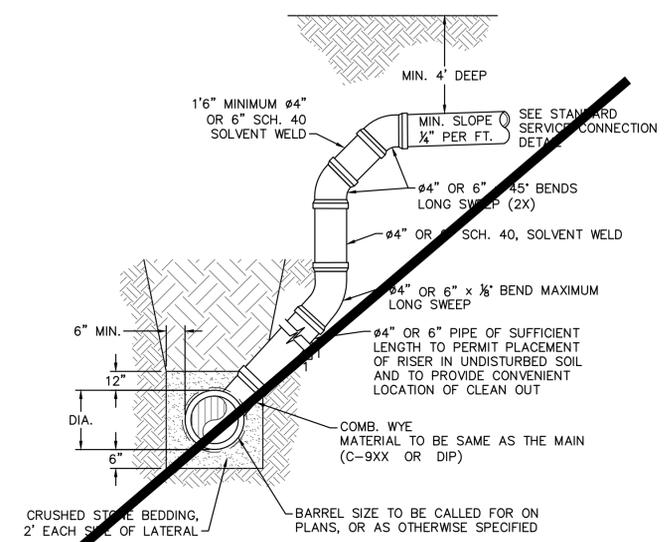


STANDARD SERVICE LATERAL
NOT TO SCALE

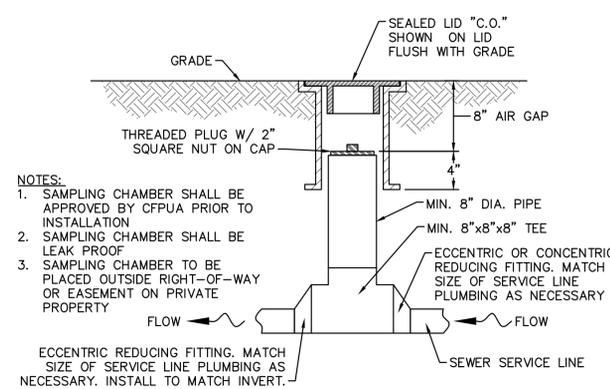


NOTE: FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR TIE-IN TO MAIN

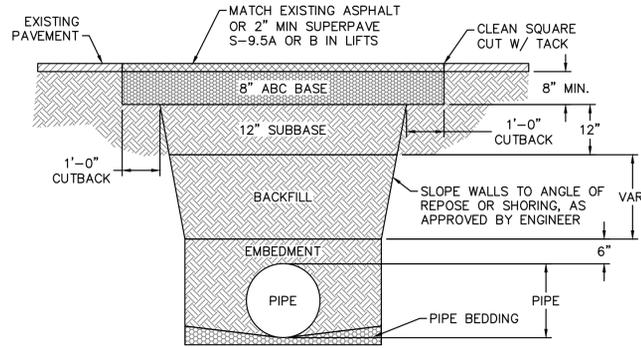
SERVICE CONNECTION & CLEAN-OUT
NOT TO SCALE



DEEP SERVICE LATERAL
NOT TO SCALE

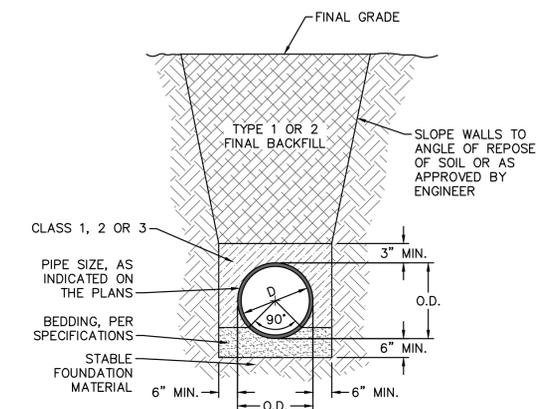


SAMPLING CHAMBER
NOT TO SCALE

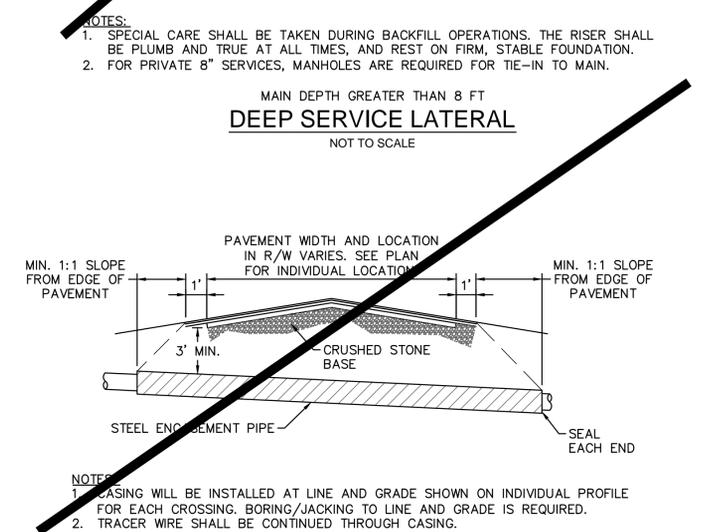


NOTES:
1. BACKFILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
2. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
3. 8-INCH OF ABC BASE MATERIAL SHALL BE USED ON CITY STREETS.
4. BACKFILL AND BASE MATERIALS SHALL BE COMPACTED 12" MINIMUM LIFTS.
5. SOIL SHALL BE COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
6. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
7. ABC BASE AND SUBBASE COMPACTED TO 98% AND BACKFILL AND EMBEDMENT COMPACTED TO 90% AS DETERMINED BY THE MODIFIED PROCTOR AASHTO METHOD T-99.
8. 1-FOOT CUTBACKS OF ASPHALT SHALL BE PREPARED ON UNDISTURBED SOIL. MINIMUM ASPHALT DENSITY IS 90%.

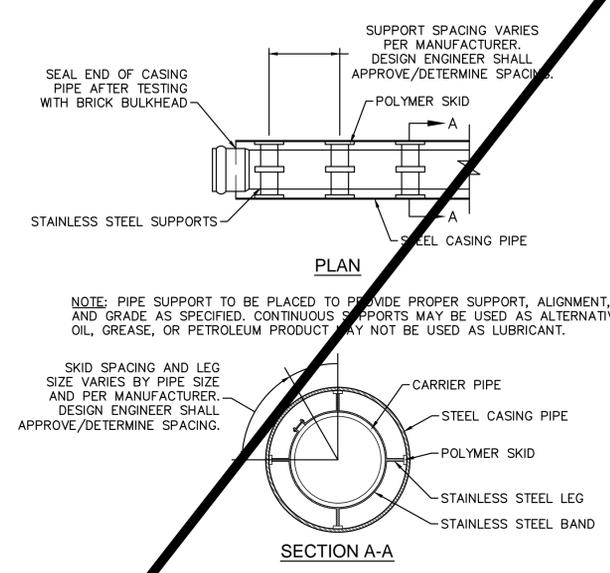
PAVEMENT REPAIR WHERE PIPE INSTALLED
NOT TO SCALE



TYPICAL TRENCH DETAIL
NOT TO SCALE



TYPICAL BORING/JACKING DETAIL
NOT TO SCALE



PIPE CASING SUPPORT DETAIL
NOT TO SCALE

GENERAL NOTES:
1. NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
3. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WHILE CONSTRUCTION IS IN PROGRESS.
4. THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS.
5. THE CONTRACTOR IS RESPONSIBLE FOR LAY DOWN AND STOCKPILE AREAS (TO ARRANGE AND ENSURE COMPLIANCE WITH ALL LOCAL AND STATE REGULATIONS).

THE DETAILS SHOWN HEREON SUPERCEDE CFPUA WRITTEN TECHNICAL SPECIFICATIONS VERSIONS 1.00 - 1.04

REV:	DESCRIPTION:	DATE:
1	SAMPLING CHAMBER REVISED	10/26/12

CFPUA SANITARY SEWER

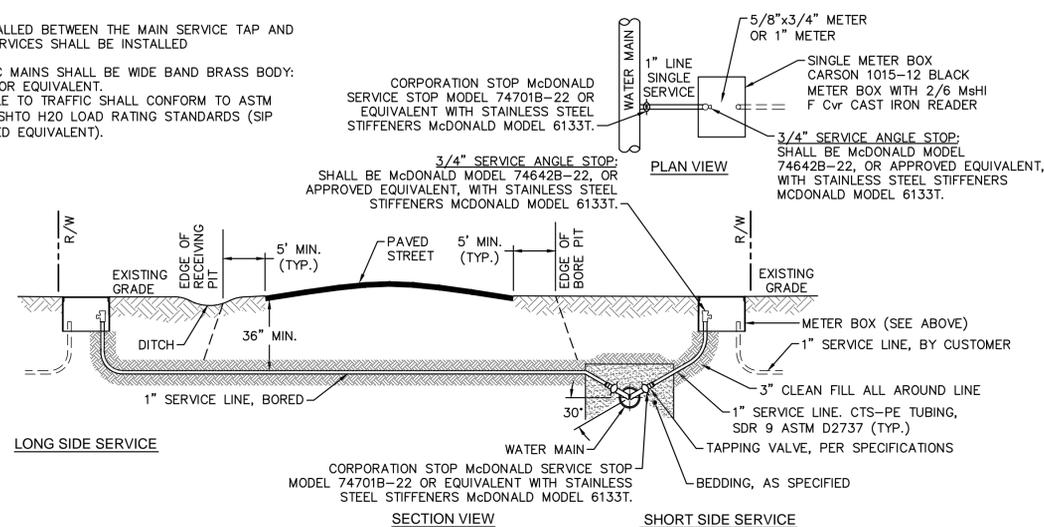
STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

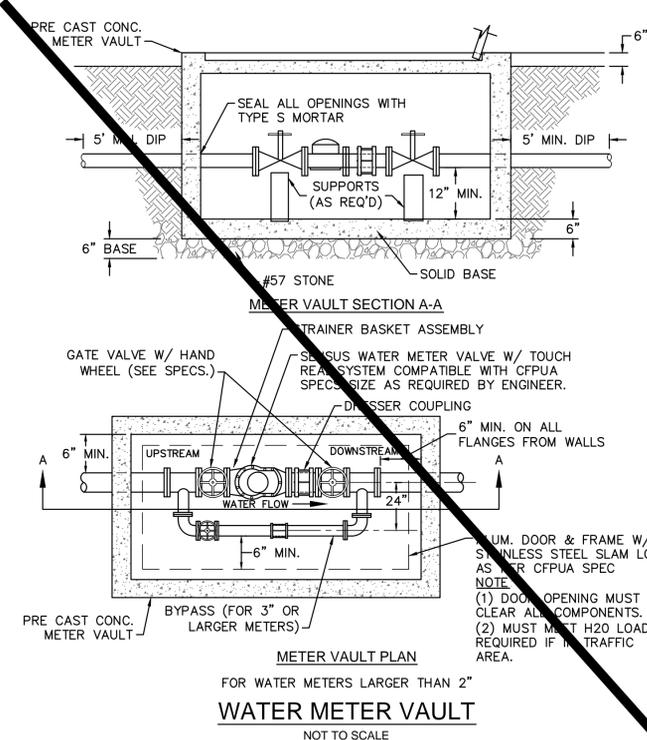
DATE: 1/9/12
SCALE: N/A
DRAWN BY: CFPUA
CHECKED BY: CFPUA
PROJECT NO.:

SHEET NO: **SSD-2**

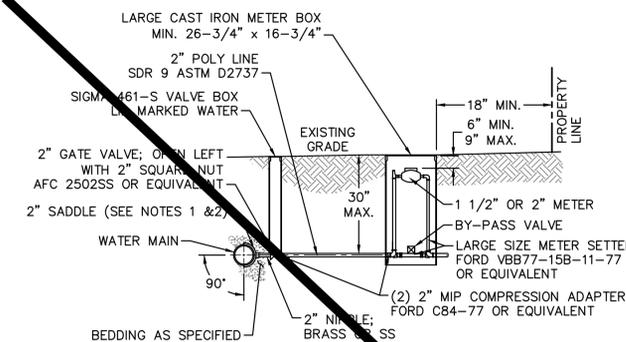
- NOTES:**
- NO JOINT SHALL BE INSTALLED BETWEEN THE MAIN SERVICE TAP AND THE METER STOP. ALL SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN.
 - SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY: SADDLE McDONALD 3801 OR EQUIVALENT.
 - METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS (SIP MODEL 4240 OR APPROVED EQUIVALENT).



SINGLE SERVICE CONNECTION
NOT TO SCALE

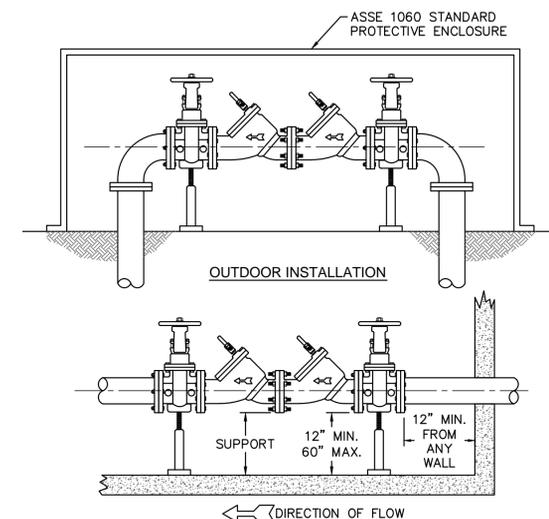


WATER METER VAULT
NOT TO SCALE



- NOTES:**
- ALL SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN.
 - SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY: McDONALD 3800, FORD S90 (DOUBLE STRAP) OR EQUIVALENT.
 - METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS (OLDCASTLE PRECAST MODEL B1730 OR APPROVED EQUIVALENT).
 - METER BOXES SUSCEPTIBLE TO INCIDENTAL, NON-DELIBERATE TRAFFIC SHALL CONFORM TO ANSI/SCTE 77 TIER 15 LOAD RATING STANDARDS (SYNERTECH MODEL DDU 17x30 OR APPROVED EQUIVALENT).
 - NON-TRAFFIC METER BOXES SHALL BE SIGMA MB2203 OR APPROVED EQUIVALENT.
 - 3" CLEAN FILL REQUIRED ALL AROUND 2" POLY SERVICE LINE.

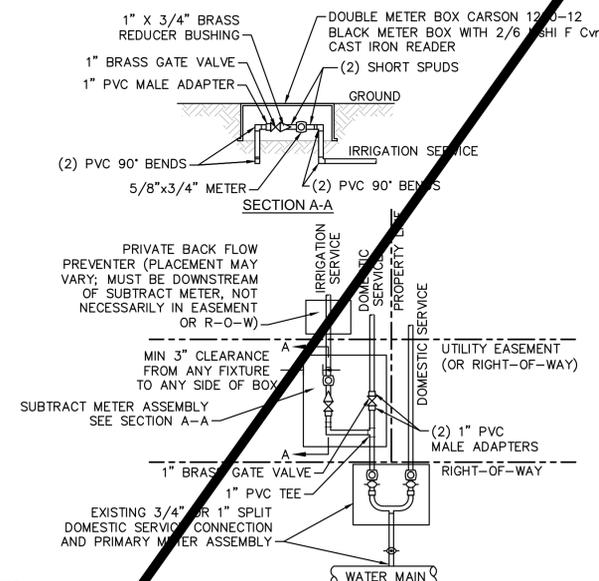
FOR 1-1/2" OR 2" WATER SERVICES
LARGE METER
NOT TO SCALE



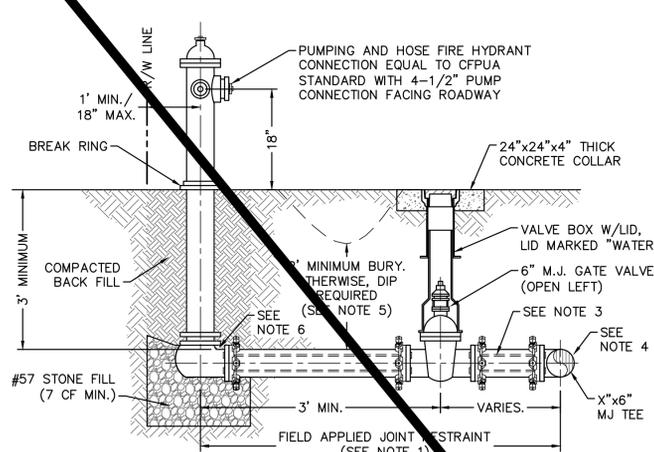
DOUBLE CHECK VALVE ASSEMBLY
NOT TO SCALE

- GENERAL NOTES:**
- NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
 - THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WHILE CONSTRUCTION IS IN PROGRESS.
 - THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS.
 - THE CONTRACTOR IS RESPONSIBLE FOR LAY DOWN AND STOCKPILE AREAS (TO ARRANGE AND ENSURE COMPLIANCE WITH ALL LOCAL AND STATE REGULATIONS).

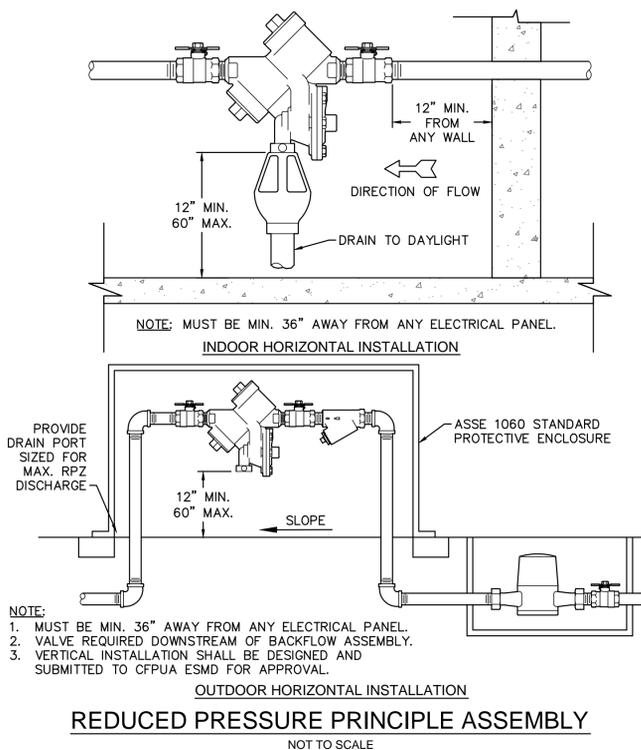
THE DETAILS SHOWN HEREON SUPERCEDE CFPUA WRITTEN TECHNICAL SPECIFICATIONS VERSIONS 1.00 - 1.04



DOUBLE SERVICE CONNECTION USING SUBTRACT METER
NOT TO SCALE



FIRE HYDRANT ASSEMBLY
NOT TO SCALE



REDUCED PRESSURE PRINCIPLE ASSEMBLY
NOT TO SCALE

REV:	DESCRIPTION:	DATE:
1	Single Service Connection, Double Service Connection, and Large Meter Revised	10/26/12
2	Single Service Connection and Fire Hydrant Details Revised	7/23/13
3	Fire Hydrant Detail Revised	01/03/14

CFPUA WATER DISTRIBUTION SYSTEM

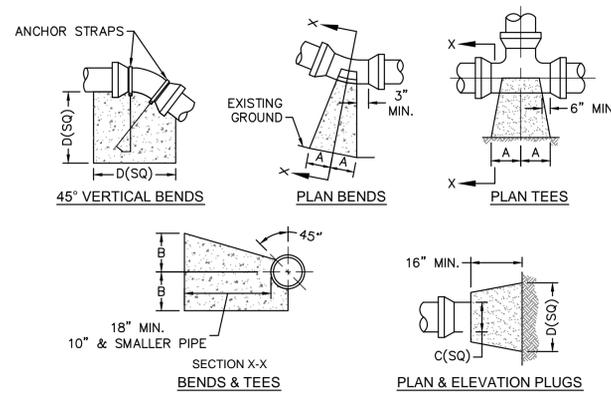
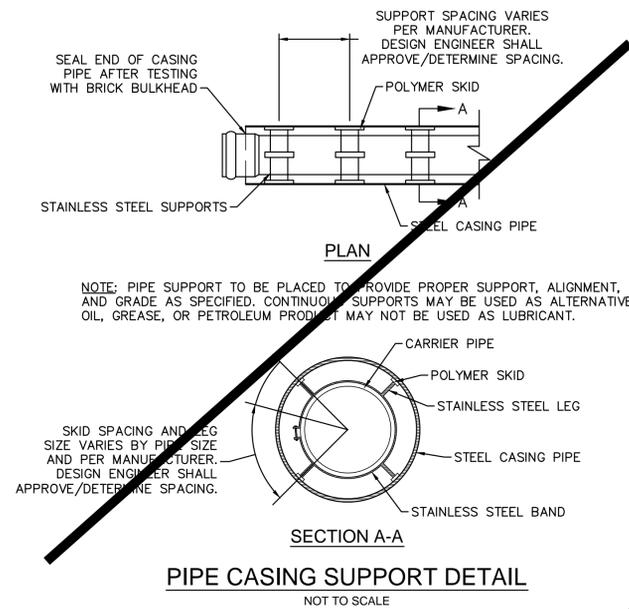
DATE: 1/9/12
SCALE: N/A
DRAWN BY: CFPUA
CHECKED BY: CFPUA
PROJECT NO.:

STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

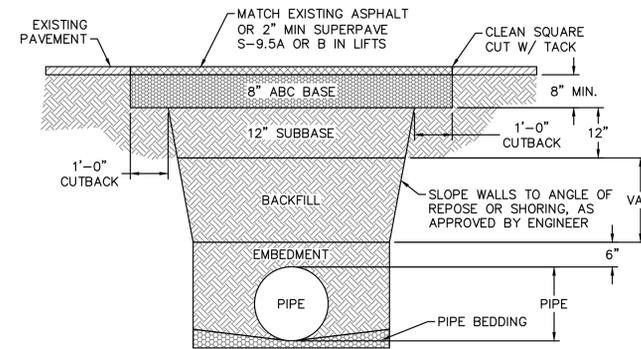
STewardship. Sustainability. Service.

SHEET NO:
WSD-1



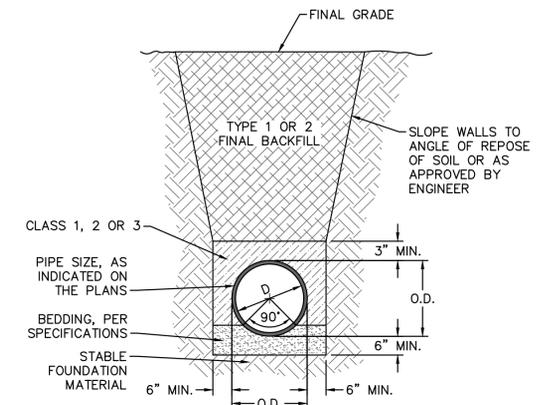
SIZE	90 BENDS		45 BENDS		22 1/2 BENDS		TEES/PLUGS		45 VERT. BENDS
	A	B	A	B	A	B	A	B	
3"	8"	6"	5"	6"	3"	7"	6"	8"	27"
4"	8"	9"	5"	8"	3"	11"	6"	9"	28"
6"	14"	11"	9"	9"	8"	8"	12"	9"	36"
8"	16"	16"	12"	12"	10"	13"	14"	13"	42"
10"	18"	22"	15"	14"	14"	16"	18"	15"	50"
12"	20"	28"	18"	17"	16"	16"	22"	18"	62"
14"	26"	29"	21"	19"	18"	18"	26"	20"	72"
16"	33"	29"	25"	21"	20"	21"	32"	21"	83"
18"	40"	30"	28"	24"	22"	23"	36"	24"	88"

- NOTES:
 1. BASED ON 160 PSI TEST PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
 2. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.
 3. USE MEG-A-LUG (PREFERRED) IN LIEU OF BLOCKING AND RODDING.

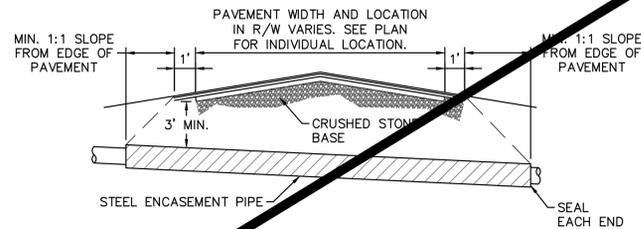


- NOTES:
 1. BACKFILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 2. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 3. 8-INCH OF ABC BASE MATERIAL SHALL BE USED ON CITY STREETS.
 4. BACKFILL AND BASE MATERIALS SHALL BE COMPACTED 12" MINIMUM LIFTS
 5. SOIL SHALL BE COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 6. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 7. ABC BASE AND SUBBASE COMPACTED TO 98% AND BACKFILL AND EMBEDMENT COMPACTED TO 90% AS DETERMINED BY THE MODIFIED PROCTOR AASHTO METHOD T-99.
 8. 1-FOOT CUTBACKS OF ASPHALT SHALL BE PREPARED ON UNDISTURBED SOIL. MINIMUM ASPHALT DENSITY IS 90%.

(FOR PRIVATE ROADS AND PAVED AREAS; CONTRACTOR TO MEET MIN. REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS)

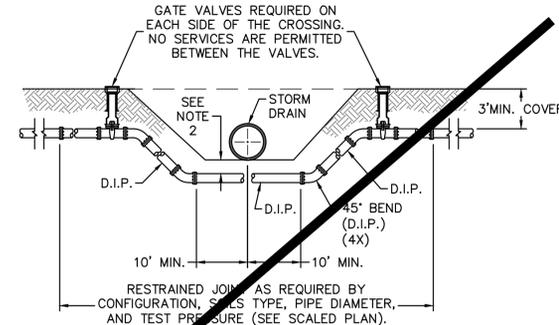


TYPICAL TRENCH DETAIL



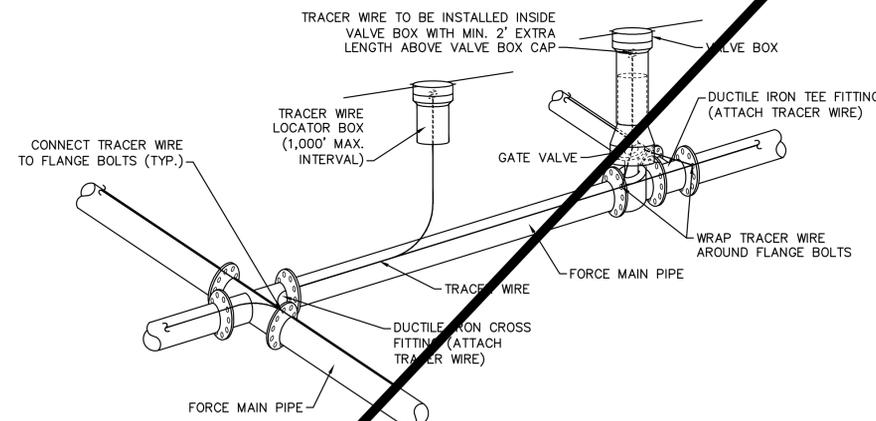
- NOTES:
 1. CASING WILL BE INSTALLED AT LINE AND GRADE SHOWN ON INDIVIDUAL PROFILE FOR EACH CROSSING. BORING/JACKING TO LINE AND GRADE IS REQUIRED.
 2. TRACER WIRE SHALL BE CONTINUED THROUGH CASING.

TYPICAL BORING/JACKING DETAIL



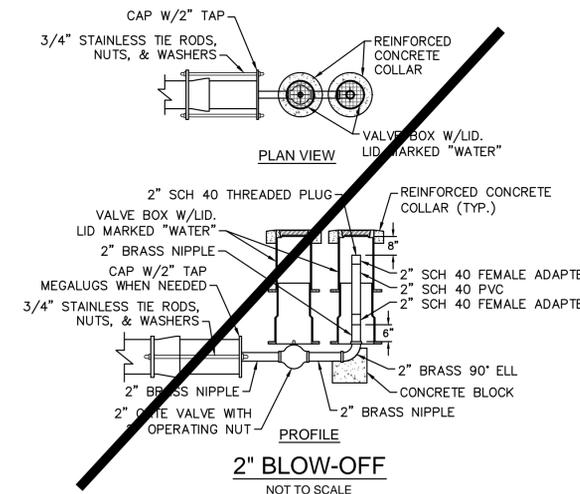
- NOTES:
 1. USE PRESSURE CLASS 350 DIP, UNLESS SPECIFIED OTHERWISE.
 2. MINIMUM DEPTH REQUIRED, UNLESS SPECIFIED OTHERWISE BY CFPUA:
 a. IN LOT R/W, 36" MIN. TYPICAL, OR 24" MIN. WHEN CROSSING A DITCH LINE.
 b. ALL OTHER LOCATIONS, 30" MIN.
 c. WHEN STORM DRAIN INVERT IS BURIED AT OR BELOW ABOVE DEPTHS, 18" MIN. CLEARANCE IS REQUIRED.

WATER MAIN DITCH AND STORM DRAIN CROSSING



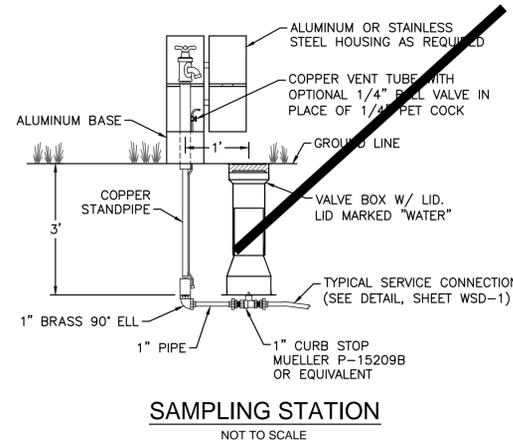
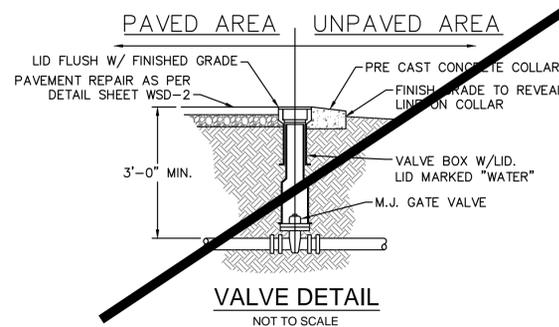
- NOTES:
 1. TRACER WIRE SHALL BE #10 COPPER SOLID CORE COPPER WIRE WITH GAS AND OIL RESISTANT INSULATION
 2. WIRE SHALL BE STRAPPED TO ALL PVC FORCE MAIN PIPING WITH DUCT TAPE AT 12-FT. INTERVALS.
 3. SECURE WIRE TO ALL TEE AND CROSS FITTINGS.
 4. ALL WIRE SPLICES SHALL HAVE WATER PROOF WIRE CONNECTIONS.

TRACER WIRE DETAIL



- GENERAL NOTES:
 1. NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
 2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
 3. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WHILE CONSTRUCTION IS IN PROGRESS.
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THE DETAILS SHOWN HEREON SUPERCEDE CFPUA WRITTEN TECHNICAL SPECIFICATIONS VERSIONS 1.00 - 1.04



REV:	DESCRIPTION:	DATE:
1	Revised Water Main Ditch and Storm Crossing Detail	11/12/13
2	Revised Water Main Ditch and Storm Crossing Detail	05/05/14

CFPUA WATER DISTRIBUTION SYSTEM

DATE:
1/9/12
SCALE:
N/A
DRAWN BY:
CFPUA
CHECKED BY:
CFPUA
PROJECT NO.:

STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SHEET NO:
WSD-2

8/11/14 Stewardship. Sustainability. Service.