

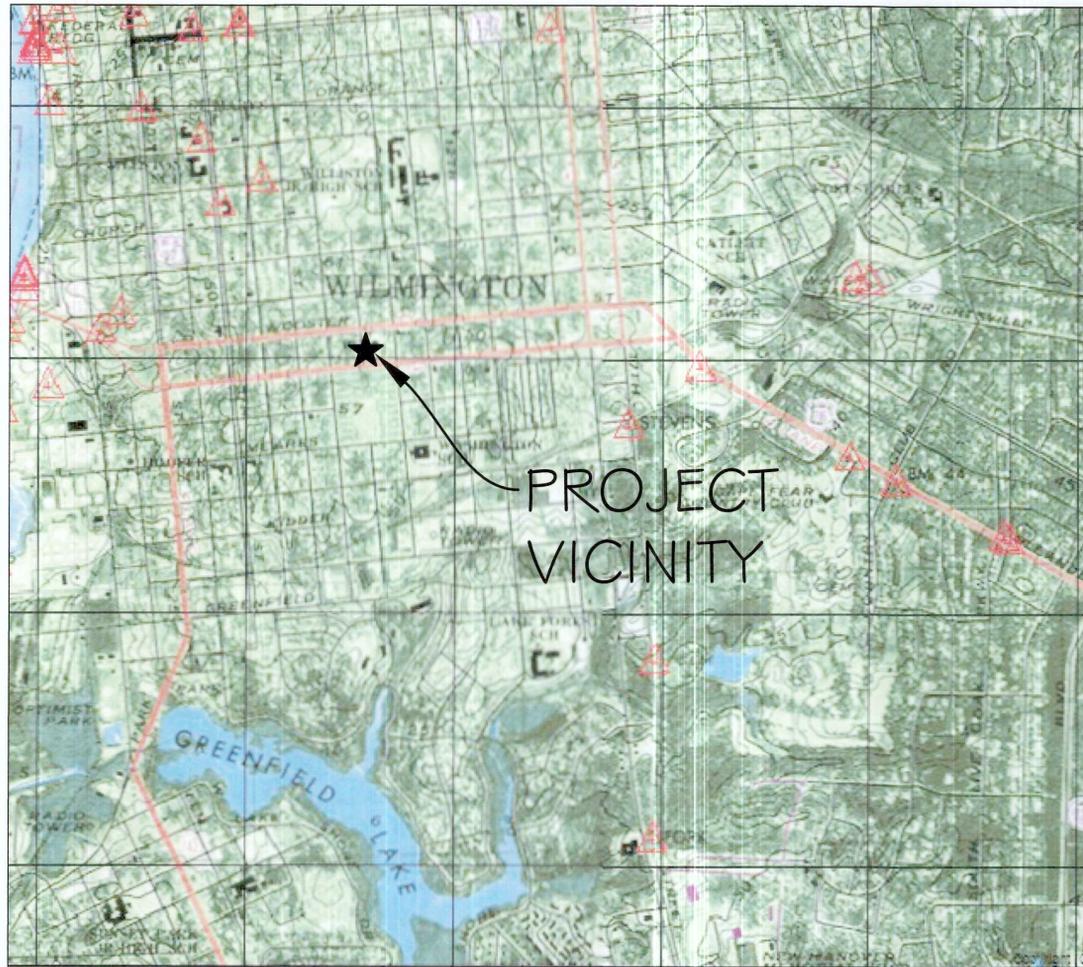
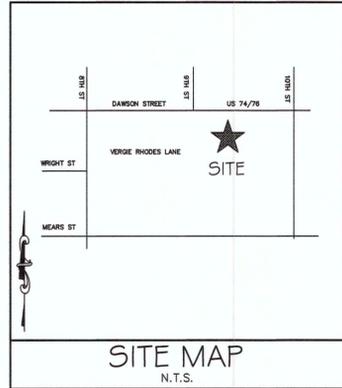
NEW HANOVER COUNTY CITY OF WILMINGTON, NORTH CAROLINA DAWSON STREET LOFTS 839/865/883 VIRGIE RHODES LANE

SEPTEMBER 25, 2013

(REV1 TRC COMMENTS: OCT 28, 2013)

(REV2 TRC COMMENTS: FEB 2, 2014)

(RESUBMITTED TO CITY FOR ACTIVE STATUS; DEC. 3, 2014)



VICINITY MAP
NOT TO SCALE

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AXIOM ARCHITECTURE
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SUITE 200
CHARLOTTE, NC 28202
(704)927-9900

PROJECT ENGINEER / REPRESENTATIVE:
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McKIM + CREED, INC.
243 NORTH FRONT STREET
WILMINGTON, NORTH CAROLINA 28401
rchristensen@mckimcreed.com
(910) 343-1048

OWNER:
WILMINGTON HOUSING AUTHORITY
1524 SOUTH 16TH STREET
WILMINGTON, NC 28401
(910)341-7700

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

1 inch

STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



PHONE# 1-800-632-4949



243 North Front Street
 Wilmington, North Carolina 28401
 Phone: (910)343-1048 , Fax: (910)251-8282
 NC LICENSE NO. F-1222
 www.mckimcreed.com



STANDARD NOTE

NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS.

SEEDBED PREPARATION

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTRANCE AREA TO 6 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
- CONTINUE TILLAGE UNTIL A WELL - PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- * APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE
FERTILIZER - 1000 LBS/ACRE (10-10-10)
SUPERPHOSPHATE - 500 LBS/ACRE (20%)
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

EXCAVATION, GRADING, AND BACKFILLING NOTES

- ANY UNDERCUTTING IN GOOD SOIL SHALL BE REPLACED AND THE REPLACEMENT MATERIAL SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY OBTAINED AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE ASTM D 698 STANDARD PROCTOR TEST METHOD. IN THE EVENT THAT MATERIAL ENCOUNTERED AT PIPE GRADE, SUBGRADE OF PARKING OR ROADWAYS AND SUBGRADE OF BUILDING FOUNDATIONS IS FOUND TO BE SOFT, SPONGY, OR IN ANY OTHER WAY UNSUITABLE, THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER IMMEDIATELY. SUCH UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AS SPECIFIED BY THE GEOTECHNICAL ENGINEER AND REPLACED WITH A MINIMUM OF SIX (6) INCHES OF STONE, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- BEFORE BACKFILLING IS COMMENCED OVER PIPES AND OTHER INSTALLATIONS, EARTH FILL SHALL BE SOLIDLY TAMPED AROUND AND ABOVE THE PIPE TO A DEPTH OF ONE (1) FOOT ABOVE THE TOP OF THE PIPE. CARE SHALL BE TAKEN TO PREVENT ANY DISTURBANCE TO THE PIPE OR DAMAGE TO NEWLY MADE JOINTS. THE FILLING OF THE TRENCH SHALL BE CARRIED OUT SIMULTANEOUSLY ON BOTH SIDES OF THE PIPES IN SUCH A MANNER THAT INJURIOUS SIDE PRESSURES DO NOT OCCUR.
- THE MATERIAL FOR BACKFILLING SHALL BE FREE FROM ALL PERISHABLE AND OBJECTIONABLE MATERIALS. BEFORE PLACING ANY BACKFILL, ALL RUBBISH, FORM, BLOCKS, WIRES OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM EXCAVATION. THE BACK-FILLING OVER PIPES SHALL BE PLACED IN LAYERS NOT OVER SIX (6) INCHES THICK AND COMPACTED TO A MINIMUM DENSITY OF NINETY-FIVE (95) PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST TO A DEPTH OF 12 INCHES BELOW FINISHED GRADE. THE LAST 12 INCHES OF BACKFILL SHALL BE PLACED IN LAYERS NOT OVER SIX (6) INCHES THICK AND COMPACTED TO A MINIMUM DENSITY OF NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST.

UTILITY NOTES

- SCHEDULE A PRECONSTRUCTION MEETING WITH CAPE FEAR PUBLIC UTILITY AUTHORITY 48 HOURS PRIOR TO CONSTRUCTION OF WATER AND SEWER LINES.
- WATER AND SANITARY SEWER UTILITY MAINS ARE PRIVATE BEYOND THE PUBLIC STREET RIGHT-OF-WAY.
- THIS PROJECT SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND NCDENR HAS ISSUED THE "FINAL APPROVAL".
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CFPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO CFPWA AND APPROVED BY USFCPCCHR OR ASSE.
- BACKFLOW PREVENTION AND METERS WILL BE PROVIDED FOR BOTH FIRE LINES (RPZ) AND DOMESTIC SERVICE (RPZ). FIRE LINE BACKFLOW PREVENTER AND DOMESTIC SERVICE BACKFLOW PREVENTER WILL BE LOCATED AS SHOWN ON THE UTILITY PLANS. INSTALLER OF BACKFLOW PREVENTERS MUST CONTACT CFPWA PRIOR TO INSTALLING UNITS TO GIVE CFPWA THE OPTION TO VERIFY INSTALLATION PROCEDURES.
 - REDUCED PRESSURE PRINCIPLE ASSEMBLY FOR DOMESTIC WATER SERVICE
 - REDUCED PRESSURE DETECTOR ASSEMBLY WILL BE UTILIZED FOR THE BACKFLOW PREVENTER ON THE FIRE SERVICE.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- WATER: 1.5" & 2" PVC MAINS SHALL BE CONSTRUCTED USING ASTM D2241, IPS, GASKETED PIPE, SDR 21. 4"-12" PVC MAINS AND SERVICES SHALL BE CONSTRUCTED USING AWWA C-900 PVC, CL235 (DR-18).
- SANITARY SEWER: FOR PIPE SIZES 4" AND 6" PIPE SHALL BE SCH 40 CONFORMING TO THE REQUIREMENTS OF ASTM D1785 WITH SOLVENT WELD JOINTS CONFORMING TO ASTM D2672. FOR PIPE SIZES 8" THROUGH 12", PIPE SHALL BE CLASS 150, DR18 CONFORMING TO THE REQUIREMENTS OF AWWA C900 WITH ELASTOMERIC PUSH-ON JOINTS CONFORMING TO ASTM D3212 OR ASTM D3139.
- WATER AND SEWER SERVICES CANNOT BE ACTIVATED ON NEW MAINS UNTIL ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY PUBLIC WATER SUPPLY SECTION OF NCDENR AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY OF NCDENR.
- PVC WATER MAINS AND POLYETHYLENE SERVICES ARE TO BE MARKED WITH NO. 10 SINGLE STRAND INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- SITE UTILITY CONTRACTOR TO PROVIDE WATER AND SANITARY SEWER SERVICE TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- MAXIMUM BENDING RADIUS FOR 8" C-900 PVC WATER MAIN BENDS IS 380' (ONE-HALF MANUFACTURER'S RECOMMENDED ALLOWABLE LONGITUDINAL BEND).
- FIRE SPRINKLERS WILL BE PROVIDED FOR BUILDING.
- UNDERGROUND UTILITIES: ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG THE PUBLIC STREETS ADJUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- MINIMUM OF 36" COVERAGE ABOVE ALL WATERMANS.
- MINIMUM OF 36" VERTICAL SEPARATION BETWEEN WATERLINES AND STORMDRAIN CURB INLETS.

RELATION OF WATER MAINS TO SEWERS.

- LATERAL SEPARATION OF SEWERS AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
- CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER MAIN. UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A SEWER MAIN/WATER MAIN OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER MAIN/WATER MAIN TO CROSS A STORM DRAIN PIPE, THE SEWER MAIN/WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER MAIN/WATER MAIN NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 24 INCH CLEAR SEPARATION DISTANCE HORIZONTAL, OR THE SEWER MAIN/WATER MAIN SHALL EITHER BE CONSTRUCTED OF DUCTILE IRON PIPE OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.

STORM DRAINAGE AND GRADING NOTES

- IN ACCORDANCE WITH NC GENERAL STATUTES, NPDES REGULATIONS, AND NCDENR REQUIREMENTS, STORMWATER DISCHARGE OUTFALLS SHALL BE INSPECTED BY THE CONTRACTOR. INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR AFTER EACH STORM EVENT OF 1/2 INCH OR GREATER, WITH ONE WEEKLY INSPECTION MINIMUM. NCDENR STANDARD INSPECTION REPORTS SHALL BE PREPARED AND SIGNED WITH COPIES PROVIDED TO THE OWNER, ARCHITECT, AND ENGINEER, BY THE CONTRACTOR.
- INLET PROTECTION SHALL BE INSTALLED AROUND OUTFALL DEVICES SHALL BE CONSTRUCTED TO FINAL PROPOSED CONDITION UPON STABILIZATION OF CONTRIBUTING GROUND SURFACES AND REMOVAL OF SEDIMENT FROM STORM PIPES.
- SEDIMENT / EROSION DEVICES SHALL BE CHECKED BY THE CONTRACTOR DAILY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- UNLESS OTHERWISE NOTED, GRADES AND SPOT ELEVATIONS NOTED ON PLANS INDICATE FINISHED GRADE OR PAVEMENT SURFACE. ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE INDICATED.

EROSION CONTROL NOTES

- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF STATE LAW AND IS SUBJECT TO A FINE.
- A GROUND COVER MUST BE PROVIDED ON EXPOSED SLOPES WITHIN 15 WORKING DAYS OR 21 CALENDAR DAYS (WHICHEVER IS SHORTER), FOLLOWING COMPLETION OF ANY PHASE OF GRADING; AND, A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 10 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF NEW HANOVER COUNTY.
- SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
- ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UPON BY THE FIELD INSPECTOR, ENGINEER, AND OWNER.
- IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER), ALL DISTURBED AREAS MUST BE SEED, MULCHED, AND TACKED UNLESS WRITTEN APPROVAL IS GRANTED BY THE EROSION CONTROL OFFICER.

EROSION CONTROL MAINTENANCE PLAN:

- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AND REPAIRED, AS NECESSARY, EVERY SEVEN (7) DAYS OR AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (0.5) INCH.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP. THE SEDIMENT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- STONE CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS TRACKED ON TO THE PAVEMENT. STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6 INCH DEPTH. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS REQUIRED.
- INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (0.5" OR GREATER) RAINFALL. EVEN CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED. INLET PROTECTION SHOULD BE CLEANED OUT WHEN IT IS HALF FULL.
- SEE NPDES PERMIT COVERAGE NOTES FOR STABILIZATION TIME FRAMES AND VEGETATION PLAN SPECIFICATIONS.
- CONTRACTOR SHALL FOLLOW NPDES NCG 010000 PERMIT CONDITIONS THAT INCLUDE SELF-INSPECTION AND RECORD KEEPING.

NOTE (G.S. 113A-57 (2))

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

CITY OF WILMINGTON STANDARD NOTES:

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS AND CURB & GUTTER SECTIONS SHALL BE REPLACED BY THE CONTRACTOR.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE SHALL APPLY WITH THE CFPWA IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.

TREE PROTECTION NOTES

- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES, NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- NO LAND DISTURBANCE, INCLUDING TREE REMOVAL, IS TO OCCUR OUTSIDE THE PROJECT BOUNDARY SHOWN ON THE PLANS, UNLESS OTHERWISE NOTED. TREE PROTECTION FENCING IS SHOWN OUTSIDE OF PROJECT BOUNDARY FOR PROTECTION OF EXISTING TREES IS CLOSE PROXIMITY TO PROPOSED CONSTRUCTION. [18-457(B)]
- PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. [18-458]
- LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS. [18-457(D)]
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED BY THE LANDSCAPE ARCHITECT. [18-458]
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS. [18-456(d)]
- REGULATED AND SIGNIFICANT TREES IN THE STREET YARD [18-456(C)] AND ANY TREES IN ANY REQUIRED BUFFERS [18-456(D)] ARE REQUIRED TO BE RETAINED. TREE PROTECTION FENCING SHOWN ON PLANS DELINEATES TREES TO BE RETAINED.

NOTE COW(18-458)

NO EQUIPMENT IS ALLOWED ONSITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED BY LANDSCAPE ARCHITECT.

FIRE PROTECTION NOTES

- HYDRANT MUST BE WITHIN 150' OF THE FDC.
- THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- COMBUSTIBLE MATERIALS MAY NOT BE STORED OR ERECTED ONSITE WITHOUT CITY FIRE INSPECTOR APPROVAL.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM UNDERGROUND UTILITIES.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

1 inch

STORMWATER MANAGEMENT PLAN

APPROVED

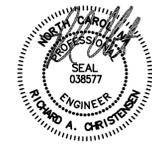
CITY OF WILMINGTON

ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



ISSUED FOR CONSTRUCTION
12-3-2014

A X I O M

ARCHITECTURE

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(910)-343-1048

OWNER:
Wilmington Housing Authority
1524 S 16th St.
Wilmington, NC 28401

DAWSON STREET LOFTS

WILMINGTON, NORTH CAROLINA

WILMINGTON HOUSING AUTHORITY

WILMINGTON HOUSING AUTHORITY

PROJECT # - A-1304

GENERAL NOTES

DECEMBER 03, 2014

REVISION 1 - TRC REV #110/28/13
REVISION 2 - TRC REV #2 02/21/14
REVISION 3 - RESUB TO ACTIVE STATUS 12/3/14
REVISION 4 -

ISSUED FOR CONSTRUCTION

G-002

DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



WILMINGTON HOUSING AUTHORITY

PROJECT # - A-1304

EXISTING CONDITIONS

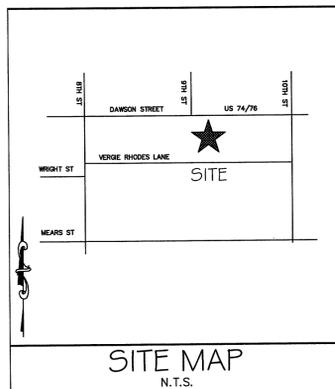
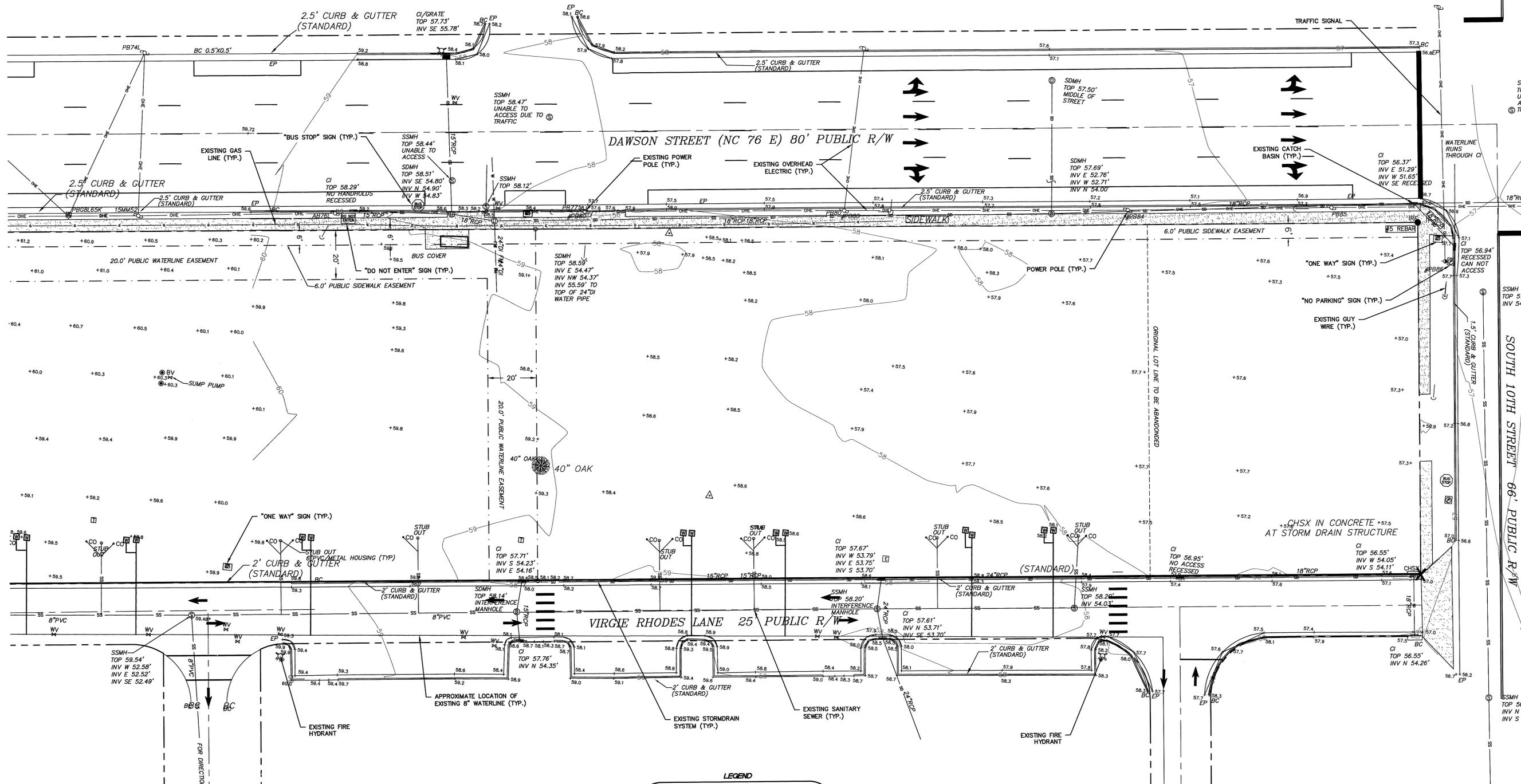
DECEMBER 03, 2014

REVISION 1 - TRC REV #10/28/13
REVISION 2 - TRC REV #2/02/14
REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14

REVISION 4 -

ISSUED FOR CONSTRUCTION

CX-101



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

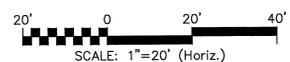
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LEGEND

□ CMF	CONCRETE MONUMENT FOUND
⊕ TBM	TEMPORARY BENCH MARK
IRF	IRON PIPE FOUND
IRF	IRON ROD FOUND
PK	PK NAIL FOUND
△ RC	REBAR AND CAP
⊙	STORM DRAIN MANHOLE
⊙	OPEN CURB INLET
⊙	SANITARY SEWER MANHOLE
⊙	CLEAN OUT
⊙	LIGHT POWER POLE
⊙	POWER POLE WITH NUMBER
⊙	GUY WIRE
⊙	GAS VALVE
⊙	BLOW OFF VALVE
⊙	BOLLARD
⊙	WATER METER
⊙	TELEPHONE PEDESTAL FIBER OPTIC
XXX	VARIOUS SIGNS AS LABELED
○	CALCULATED POINT
R/W	RIGHT OF WAY
+18.6	SPOT ELEVATION
RCP	REINFORCED CONCRETE PIPE
VCP	VITRIFIED CLAY PIPE
BC	BACK OF CURB
EP	EDGE OF PAVEMENT
---	DEED PROPERTY LINE
---	OVERHEAD ELECTRIC
---	STORM SEWER
---	SANITARY SEWER
---	GAS LINE
---	RIGHT OF WAY
---	ROAD CENTERLINE
---	CONCRETE HATCH
---	PAVEMENT HATCH
EP	EP

1. ALL DISTANCES ARE HORIZONTAL GROUND IN U.S. SURVEY FEET UNLESS OTHERWISE SHOWN.
2. BEARINGS BASED ON MAP BOOK 47 PAGE 343.
3. VERTICAL DATUM IS NAVD 88 ELEVATIONS WITH A 1' CONTOUR INTERVAL.
4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
5. UNDERGROUND UTILITIES ARE SHOWN ONLY WHERE ABOVEGROUND SERVICES WERE VISIBLE.
6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY; NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THE EXISTENCE OR NONEXISTENCE OF WETLANDS ON SUBJECT PROPERTY HAS NOT BEEN DETERMINED BY THIS SURVEY.
8. SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AND OR ENCUMBRANCES THAT MAY EFFECT THIS PROPERTY.
9. EASEMENT TO BELL SOUTH DEED BOOK 3509 PAGE 735 10' WIDE STRIP ALONG ANY ACCESS AND TO ANY BUILDING FROM DAWSON STREET.
10. EASEMENT TO CAROLINA POWER AND LIGHT DEED BOOK 3509 PAGE 732 30' WIDE ON ALL OVERHEAD LINES AND 10' ON ALL UNDERGROUND AND 10' AROUND ANY FOUNDATION OF ANY ENCLOSURE.
11. THIS PROPERTY LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL NUMBER 3127, MAP NUMBER 3720312700J DATED APRIL 3, 2006.
12. PROPOSED FUTURE RIGHT OF WAY EXPANSION LINE AS SHOWN ON MB 47 PAGE 343 REMOVED DUE TO NO RECORD OF ACCEPTANCE OR DEDICATION.

ZONING INFORMATION
UMX URBAN MIXED USE DISTRICT
SET BACKS: NONE REQUIRED UNLESS FACING A SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT
THE SIDE FACING IS:
FRONT 5' (BUT NOT MORE THAN 10')
REAR 5'
SIDE 5'
IN NO CASE SHALL FRONT SET BACK BE MORE THAN 10'
ALLOWABLE BUILDING HEIGHTS ALONG ARTERIAL STREETS:
4 STORIES OR 45'
ALONG RESIDENTIAL AND COLLECTOR STREETS:
2 STORIES OR 35'
CONSULT LAND DEVELOPMENT CODE FOR MORE EXACTING CONDITIONS.



ENGINEER:
McKim & Creed, Inc.
243 N Front St.
Wilmington, NC 28401
(910)-343-1048

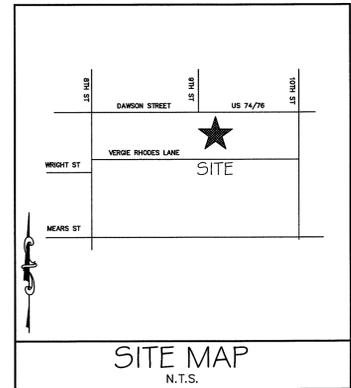
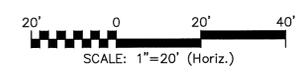
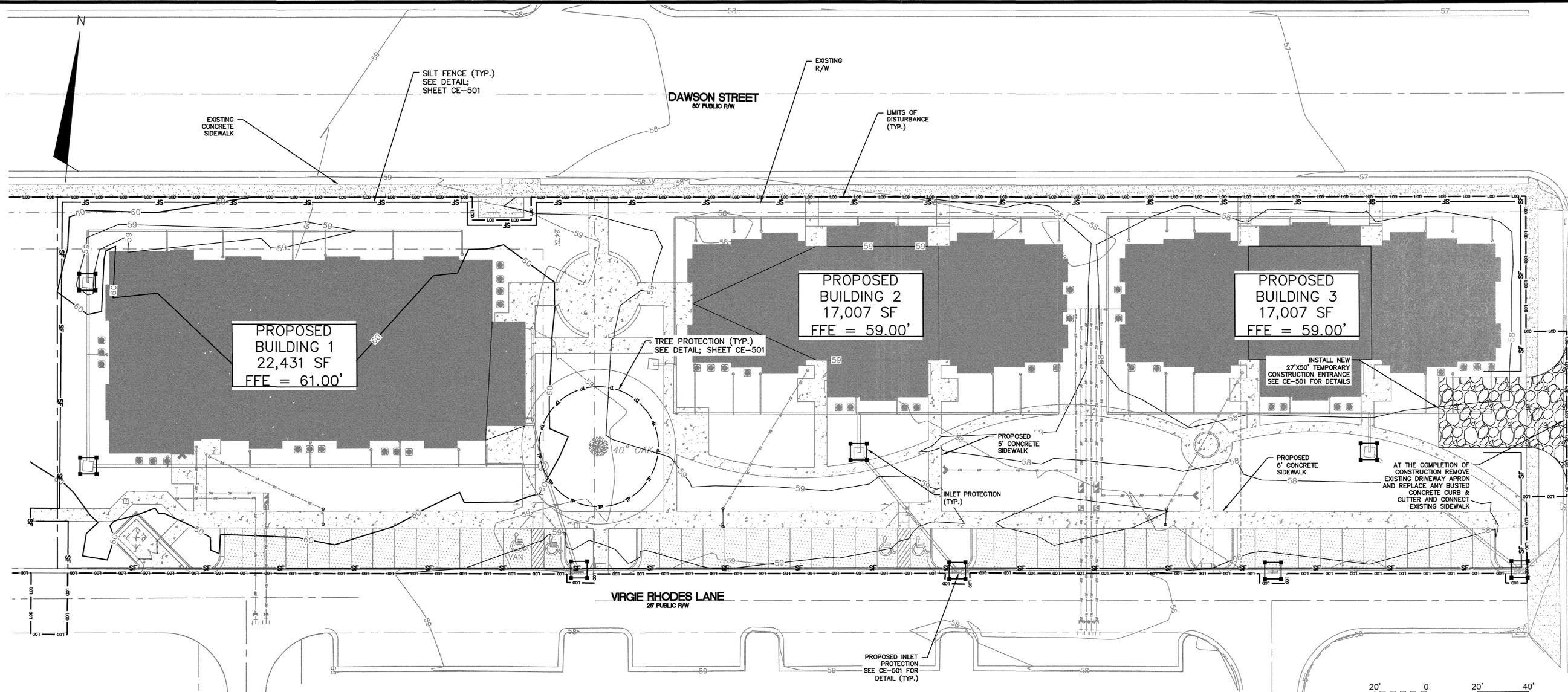
OWNER:
Wilmington Housing
Authority
1524 S 16th St.
Wilmington, NC 28401

DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



PROJECT # - A-1304
DAWSON LOFTS
SEDIMENTATION &
EROSION CONTROL
PLAN
DECEMBER 03, 2014
REVISION 1 - TRC REV #10/28/13
REVISION 2 - TRC REV #2/02/21/14
REVISION 3 - RESUB TO ACTIVE
STATUS 12/03/14
REVISION 4 -
ISSUED FOR CONSTRUCTION

CE-101



LEGEND

- CMF CONCRETE MONUMENT FOUND
- TBM TEMPORARY BENCH MARK
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- PK NAIL FOUND
- SDM STORM DRAIN MANHOLE
- SS SANITARY SEWER MANHOLE
- CO CLEAN OUT
- LP LIGHT POWER POLE
- PO POWER POLE
- GW GUY WIRE
- RV GAS VALVE
- BY BLOW OFF VALVE
- BOLLARD
- W WATER METER
- TELEPHONE PEDESTAL FIBER OPTIC
- CALCULATED POINT
- R/W RIGHT OF WAY
- +10.0 SPOT ELEVATION
- ROP REINFORCED CONCRETE PIPE
- VCP VITRIFIED CLAY PIPE
- BC BACK OF CURB
- DEED PROPERTY LINE
- OHE OVERHEAD ELECTRIC
- SS STORM SEWER
- SS SANITARY SEWER
- G GAS LINE
- ROAD CENTERLINE
- CONCRETE HATCH

EROSION CONTROL CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM NCDENR.
2. SCHEDULE MANDATORY PRE-CONSTRUCTION MEETING WITH LAND QUALITY (WILMINGTON #910-796-7215) 48 HOURS PRIOR TO CONSTRUCTION TO DISCUSS EROSION CONTROL MEASURES.
3. ESTABLISH LIMITS OF DISTURBANCE AS SHOWN.
4. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AS SHOWN. CONTRACTOR SHALL MAINTAIN A SUFFICIENT GRAVEL ENTRANCE UNTIL FINAL SUBGRADE IS ESTABLISHED. IF DIRT/MUD GETS ON THE STREET, THEN A WASH RACK WILL NEED TO BE INSTALLED.
5. INSTALL SILT FENCING AS NOTED ON PLANS BEFORE COMMENCING ANY LAND DISTURBANCE ACTIVITY. TREE PROTECTION FENCING AND ADDITIONAL SILT FENCE MAY BE REQUIRED.
6. INSTALL TEMPORARY INLET PROTECTION DEVICE AS DETAILED ON THE PLANS. CONTRACTOR TO MONITOR THIS DEVICE FOLLOWING MORE THAN 1/2-INCH OF RAINFALL AND AT LEAST WEEKLY FOR SILT AND DEBRIS BUILDUP. REMOVE THE SILT AND DEBRIS AS NEEDED TO ENSURE PROPER FILTRATION.
7. COMMENCE GRUBBING AND ROUGH GRADING WITHIN THE LIMITS OF CONSTRUCTION.
8. COMMENCE DEMOLITION AS SHOWN ON CD-101. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF, SALVAGED, OR RECYCLED PER THE PROJECT SPECIFICATIONS.
9. COORDINATE DISCONNECTION OF EXISTING UTILITIES:
 - ELECTRICAL SERVICES AND POLES WITH DUKE ENERGY
 - TELEPHONE SERVICES AND POLES WITH BELL SOUTH
 - CABLE WITH TIME WARNER CABLE
 - SEWER AND WATER SERVICES WITH CAPE FEAR PUBLIC UTILITY AUTHORITY
 - STORM DRAINAGE SYSTEM WITH CITY OF WILMINGTON
10. PROVIDE TEMPORARY STABILIZATION AND SEEDING AS NECESSARY TO PREVENT EROSION. REFER TO SHEET CE-501 FOR GROUND STABILIZATION CRITERIA AND SEEDING SCHEDULE.
11. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR TO REQUEST FINAL SITE INSPECTION BY NCDENR INSPECTOR TO ALLOW REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES.
12. INSTALL LANDSCAPING AND ESTABLISH FINAL GRADES AS SHOWN ON CG-101.
13. INSTALL PERMANENT SEEDING. REFER TO GROUND STABILIZATION CRITERIA TABLE FOR AREAS THAT REQUIRE 7-DAY STABILIZATION. ALL OTHER AREAS NOT REQUIRING 7-DAY STABILIZATION SHALL BE STABILIZED WITHIN 14 DAYS.
14. REMOVE SEDIMENT FROM ALL STORM DRAIN PIPES.
15. SILT FENCE MUST REMAIN INSTALLED AND FUNCTIONING PROPERLY UNTIL THE LIMITS OF CONSTRUCTION HAVE BEEN PERMANENTLY STABILIZED.
16. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NCDENR REGULATIONS.
17. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NCDENR INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.

EROSION CONTROL NOTES:

1. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE NCDENR-DLQ EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. **LIMITS OF DISTURBANCE 3.00 ACRES (130,680 SF).**
2. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NCDENR-DLQ EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. ANY BUILDER THAT ANTICIPATES THE DISTURBANCE OF MORE THAN 1 CUMULATIVE ACRE WILL BE REQUIRED TO GET AN EROSION CONTROL PERMIT FROM NCDENR-DIVISION OF LAND QUALITY.
3. GROUND COVER MUST BE PROVIDED ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. ALL OTHER AREAS SHOULD BE STABILIZED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS, WHICHEVER IS SHORTER, AFTER ANY PHASE OF ACTIVITY.
4. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF NCDENR-DLQ.
5. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
6. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UP ON BY FIELD INSPECTOR, ENGINEER, AND OWNER.
7. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS, ALL DISTURBED AREAS MUST BE SEED, MULCH, AND TACKED UNLESS WRITTEN APPROVAL IS GRANTED BY THE EROSION CONTROL OFFICER.
8. WITHIN 24 HOURS FOLLOWING ANY RAIN EVENT, THE CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL DAMAGED EROSION CONTROL MEASURES.
9. ALL ACTIVITY WILL BE COMPLETE PRIOR TO ANY RAIN EVENT.

EROSION CONTROL MAINTENANCE PLAN:

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AND REPAIRED, AS NECESSARY, EVERY SEVEN (7) DAYS OR AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (0.5) INCH.
2. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP. THE SEDIMENT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL AREAS WILL BE FERTILIZED, RESEED, AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. STONE CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS TRACKED ON TO THE PAVEMENT. STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6 INCH DEPTH. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS REQUIRED.
6. INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (0.5" OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED. INLET PROTECTION SHOULD BE CLEANED OUT WHEN IT IS HALF FULL.
7. SEE NPDES PERMIT COVERAGE NOTES FOR STABILIZATION TIME FRAMES AND VEGETATION PLAN SPECIFICATIONS.
8. CONTRACTOR SHALL FOLLOW NPDES NCG 010000 PERMIT CONDITIONS THAT INCLUDE SELF-INSPECTION AND RECORD KEEPING.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

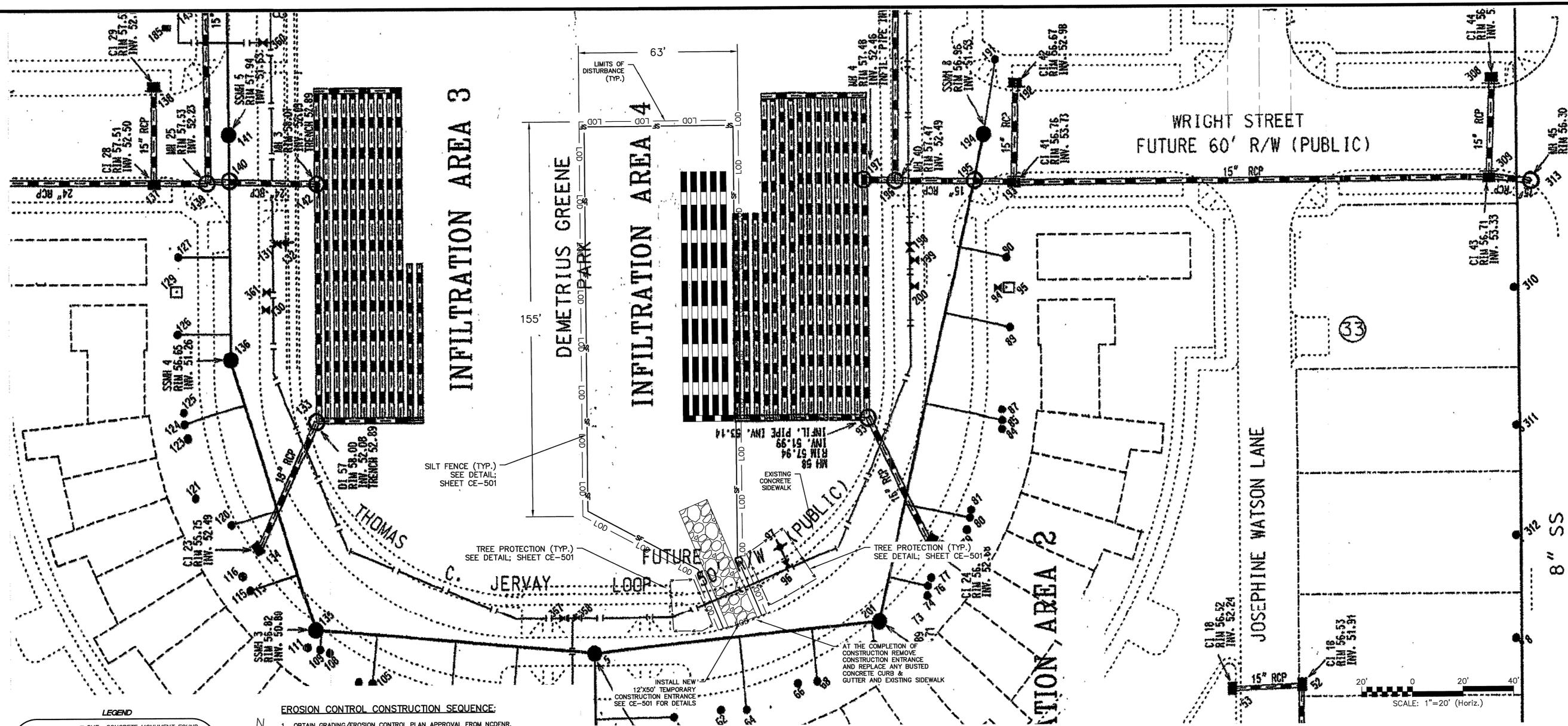
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STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

LIMITS OF DISTURBANCE =
(130,680 sf) 3.00 acres

LAT: 34° 13' 28" N
LONG: 77° 56' 15" W

GROUND STABILIZATION CRITERIA		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
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Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

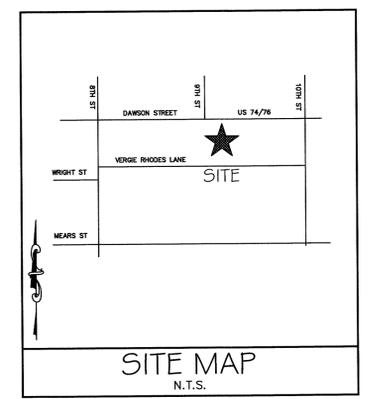
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CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
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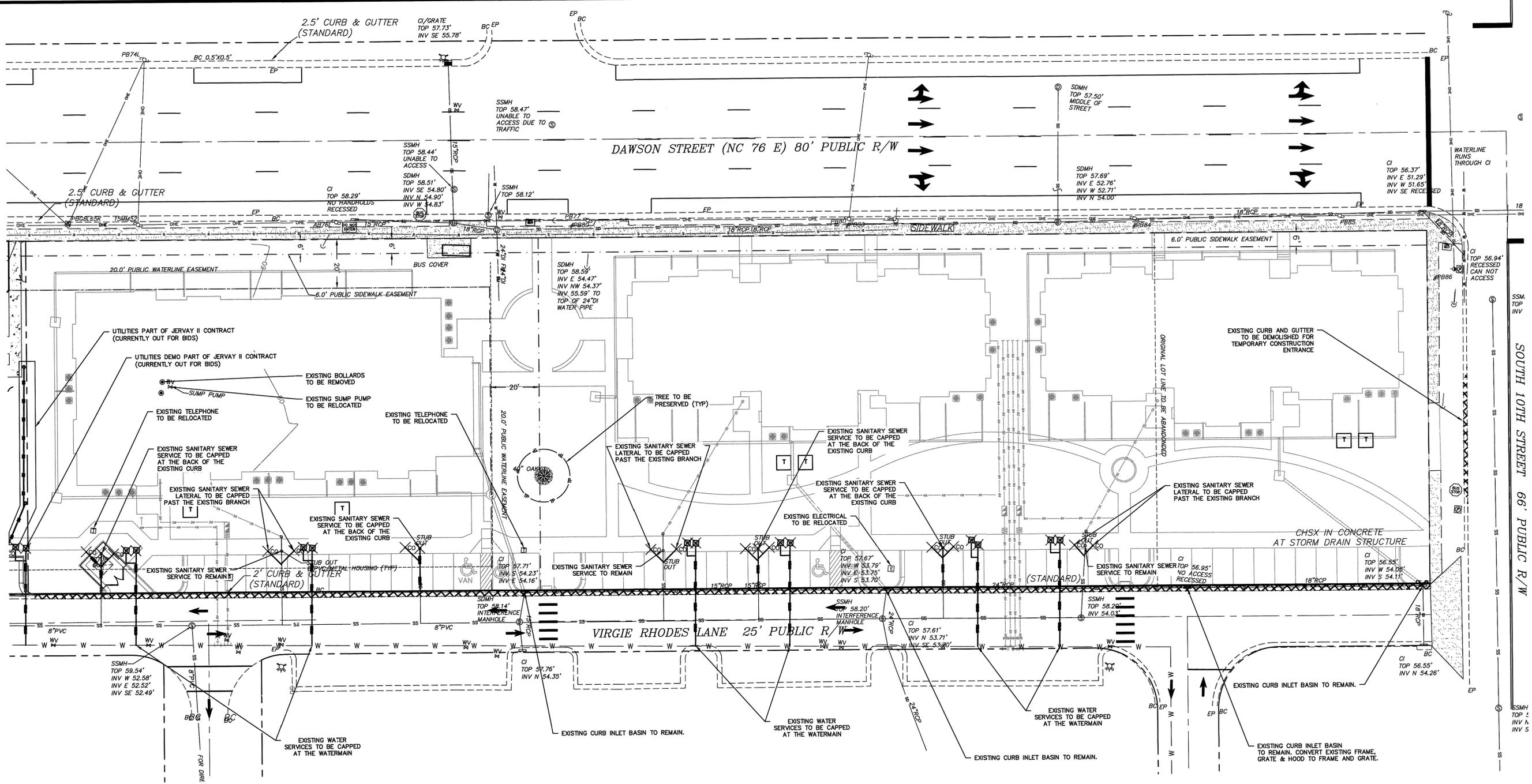
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SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

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Wilmington Housing
Authority
1524 S 16th St.
Wilmington, NC 28401

DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



DEMOLITION NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIARIZED WITH FIELD DEMOLITION CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED DEBRIS ASSOCIATED WITH THE PROJECT IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST GENERATED BY THE WORK, INCLUDING BUT NOT LIMITED TO DEMOLITION AND CONSTRUCTION ACTIVITIES, SITE VEHICULAR TRAFFIC AND RELATED OPERATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING ANY DEMOLITION. CONTRACTOR SHALL CONTACT NC ONE CALL AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF DISCONNECTING AND ABANDONING ALL EXISTING UTILITIES WITH THE OWNER UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES AND ASSOCIATED PIPING, ETC. NOT IN USE ON THE SITE SHALL BE PROPERLY ABANDONED AND REMOVED AS REQUIRED. COORDINATE WITH THE OWNER.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING UTILITIES THAT REMAIN IN SERVICE DURING DEMOLITION.
8. THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS AND SLOPES ON AND OFF SITE IN ACCORDANCE WITH THE EROSION CONTROL MEASURES SPECIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHO IS RESPONSIBLE FOR PROVIDING THE PERMANENT STABILIZATION MEASURES AND THE TYPE OF PERMANENT STABILIZATION MEASURES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION. THE PERMANENT STABILIZATION MEASURES SHALL BE IN PLACE AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND ENGINEER PRIOR TO PROJECT CLOSEOUT. COORDINATE INSPECTION WITH THE OWNER AND ENGINEER PRIOR TO PROJECT CLOSEOUT.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONTACTING THE ENGINEER FOR THE REQUIRED INSPECTIONS ON THE PROJECT.
10. WETLANDS DO EXIST ON SITE AND ARE NOTED ON THE PLANS. UNLESS OTHERWISE INDICATED, THE WETLANDS SHALL NOT BE DISTURBED DURING CONSTRUCTION OF THIS PROJECT.

LEGEND

CMF	CONCRETE MONUMENT FOUND
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⊙	BOLLARD
⊕	WATER METER
⊖	TELEPHONE PEDESTAL FIBER OPTIC
○	CALCULATED POINT
R/W	RIGHT OF WAY
+18.6	SPOT ELEVATION
RCP	REINFORCED CONCRETE PIPE
VCP	VITRIFIED CLAY PIPE
BC	BACK OF CURB
—	DEED PROPERTY LINE
—	OVERHEAD ELECTRIC
—	STORM SEWER
—	SANITARY SEWER
—	GAS LINE
—	RIGHT OF WAY
—	ROAD CENTERLINE
▨	CONCRETE HATCH

Approved Construction Plan

Name _____ Date _____

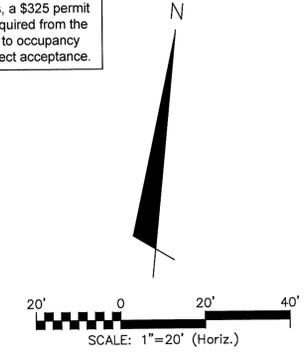
Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____



DEMOLITION LEGEND

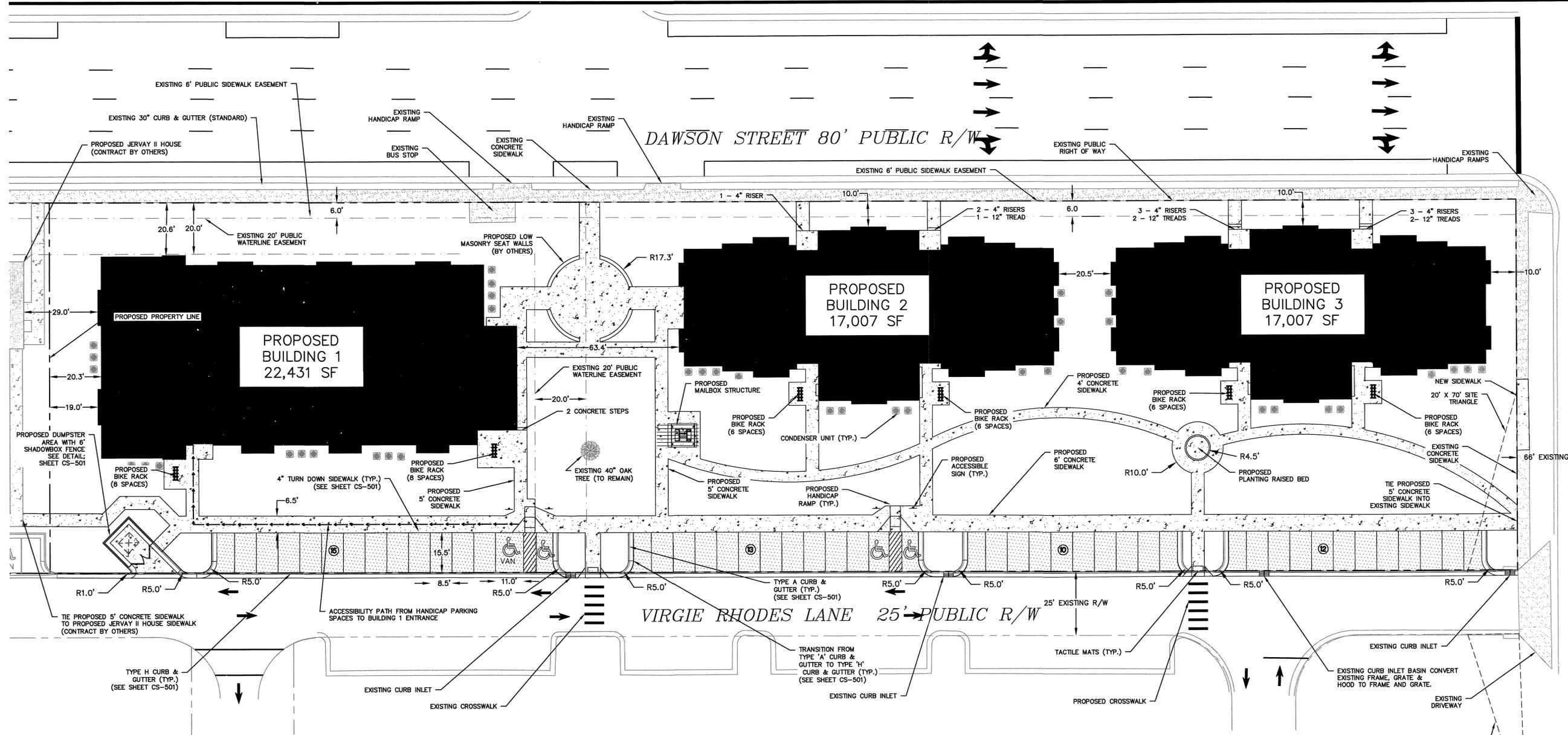
- CURB AND GUTTER TO BE REMOVED
- TREE PROTECTION FENCING
- EXISTING UTILITY TO BE REMOVED



DECEMBER 03, 2014
REVISION 1 - TRC REV #110/28/13
REVISION 2 - TRC REV #2/02/21/14
REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14
REVISION 4 -
ISSUED FOR CONSTRUCTION
CD-101

ENGINEER:
 McKim & Creed, Inc.
 243 N Front St.
 Wilmington, NC 28401
 (910) 343-1048
 OWNER:
 Wilmington Housing
 Authority
 1524 S 16th St.
 Wilmington, NC 28401

DAWSON STREET LOFTS
 WILMINGTON, NORTH CAROLINA
 WILMINGTON HOUSING AUTHORITY



SITE DATA TABLE		DAWSON STREET LOFTS	
PARCEL ADDRESS	839/865/883 VIRGIE RHODES LANE		
BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT	5' MIN	10' - 20'	
REAR	5' MIN	45' - 65'	
SIDE (INTERIOR)	5' MIN	NA	
SIDE (CORNER)	PER BLOCK FACE	10'	
TAX PARCEL IDENTIFICATION NUMBER:	R05414-001-025-000		
ZONING/OVERLAY DISTRICT:	UMX/DAWSON-WOOSTER		
TOTAL ACREAGE WITHIN THE PROJECT BOUNDARY	14.34 ACRES (624,650 SF)		
TOTAL ACREAGE WITHIN THE PROJECT PARCEL BOUNDARY	2.4 ACRES (104,557 SF)		
TOTAL BUILDING(S) SIZE WITH SQUARE FOOTAGE	56,445 GROSS SF		
NC BUILDING CODE CONSTRUCTION TYPE	VB		
BUILDING LOT COVERAGE	26.0 %		
NUMBER OF UNITS (DENSITY)	40 (1 UNIT/ 0.06 ACRES)		
NUMBER OF BUILDINGS	3		
BUILDING HEIGHT	45' MAX - 35.66' & 39.0' PROPOSED		
NUMBER OF STORIES & SQUARE FEET PER FLOOR	VARIES - 2 & 3 STORY		
TOTAL AMOUNT OF DISTURBED AREA	1.91 ACRES (83,182 SF)		
CAMA LAND USE CLASSIFICATION	URBAN		
EXISTING IMPERVIOUS AREA	0 SF		
IMPERVIOUS AREA (PROPOSED)			
ROOF TOPS	27,215	SF	
ROADWAYS	0	SF	
PARKING	6,961	SF	
SIDEWALKS	9,565	SF	
OTHER (FOUNTAIN, DUMPSTER PAD)	770	SF	
TOTAL POST DEVELOPMENT/%	44,511	SF/42.57%	
TOTAL PRE DEVELOPMENT/%	0	SF/0.00%	

PARKING CALCULATIONS	
PROPOSED USE:	MULTIFAMILY
MINIMUM NUMBER OF SPACES REQUIRED	NONE
MINIMUM NUMBER OF SPACES ALLOWED	NA
MAXIMUM NUMBER OF SPACES ALLOWED	100
	1.25 SPACE PER UNIT
SPACES PROVIDED	50
EXISTING USE:	UNDEVELOPED
SPACES EXISTING	NONE
ACCESSIBLE SPACES REQUIRED	2
ACCESSIBLE SPACES PROVIDED	4 (1 VAN)
BICYCLE PARKING SPACES REQUIRED	40
BICYCLE PARKING SPACES PROVIDED	40
ON-SITE DISTURBANCE PROPOSED	83,182 SF (1.91 ACRES)

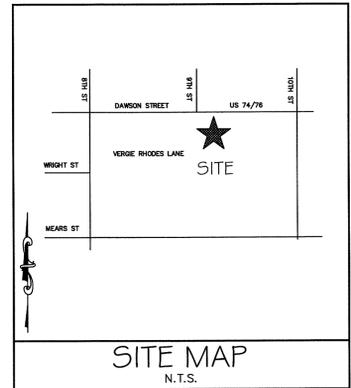
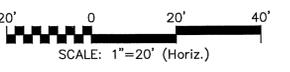
SEC. 18-529. EACH PARKING SPACE LOCATED AT THE PERIMETER OF A PARKING FACILITY SHALL BE EQUIPPED WITH A CURB, WHEEL STOP, OR SIMILAR DEVICE TO PREVENT VEHICLE ENCRoACHMENT BEYOND PROPERTY LINES OF PARKING LOTS AND INTO PEDESTRIAN WAYS OR TRAFFIC AISLES.

- GENERAL NOTES:**
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.

PROPOSED BUILDING(S)		
BUILDING 1		
TOTAL BUILDING SQUARE FOOTAGE	22,169	SF
NUMBER OF UNITS (TWO BEDROOMS/UNIT)	16	UNITS
NUMBER OF STORIES	2	FLOORS
SQUARE FEET PER FIRST FLOOR	10,953	SF
SQUARE FEET PER SECOND FLOOR	11,215.5	SF
BUILDING HEIGHT	38'-5"	SF
BUILDING 2		
TOTAL BUILDING SQUARE FOOTAGE	17,066	SF
NUMBER OF UNITS (TWO BEDROOMS/UNIT)	12	UNITS
NUMBER OF STORIES	3	FLOORS
SQUARE FEET PER FIRST FLOOR	7,704.8	SF
SQUARE FEET PER SECOND FLOOR	6,372.1	SF
SQUARE FEET PER THIRD FLOOR	2,989.2	SF
BUILDING HEIGHT	39'-0"	SF
BUILDING 3		
TOTAL BUILDING SQUARE FOOTAGE	17,066	SF
NUMBER OF UNITS (TWO BEDROOMS/UNIT)	12	UNITS
NUMBER OF STORIES	3	FLOORS
SQUARE FEET PER FIRST FLOOR	7,704.8	SF
SQUARE FEET PER SECOND FLOOR	6,372.1	SF
SQUARE FEET PER THIRD FLOOR	2,989.2	SF
BUILDING HEIGHT	39'-0"	SF

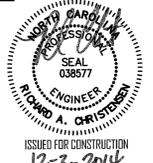
STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch



WILMINGTON HOUSING AUTHORITY
 PROJECT # - A-1304
 SITE PLAN

DECEMBER 03, 2014
 REVISION 1 - TRC REV #1 10/28/13
 REVISION 2 - TRC REV #2 02/21/14
 REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14
 REVISION 4 -
ISSUED FOR CONSTRUCTION
CS-101A

DAWSON STREET LOFTS

WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



PROJECT # - A-1304
AERIAL - SITE PLAN

DECEMBER 03, 2014
REVISION 1 - TRC REV #10/28/13
REVISION 2 - TRC REV #2/02/20/14
REVISION 3 - RESUB TO ACTIVE
STATUS 12/03/14
REVISION 4 -
ISSUED FOR CONSTRUCTION
CS-101B



GENERAL NOTES:

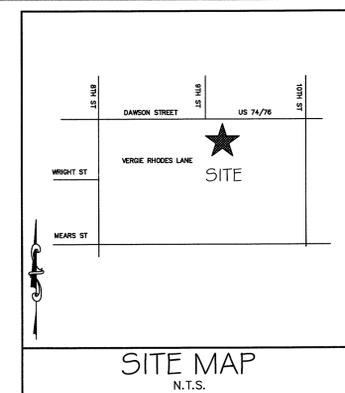
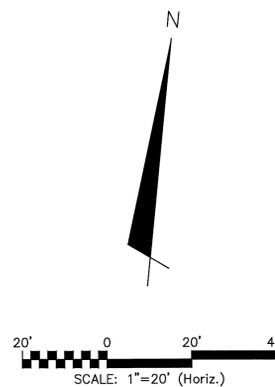
1. AERIAL IMAGERY IS TAKEN FROM GOOGLE EARTH. LOCATIONS ARE APPROXIMATE AND USED FOR CLARIFICATIONS PURPOSES ONLY.

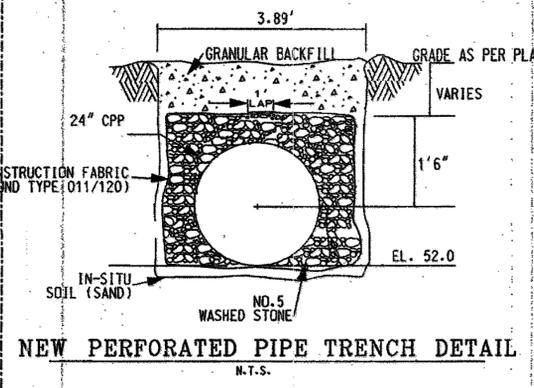
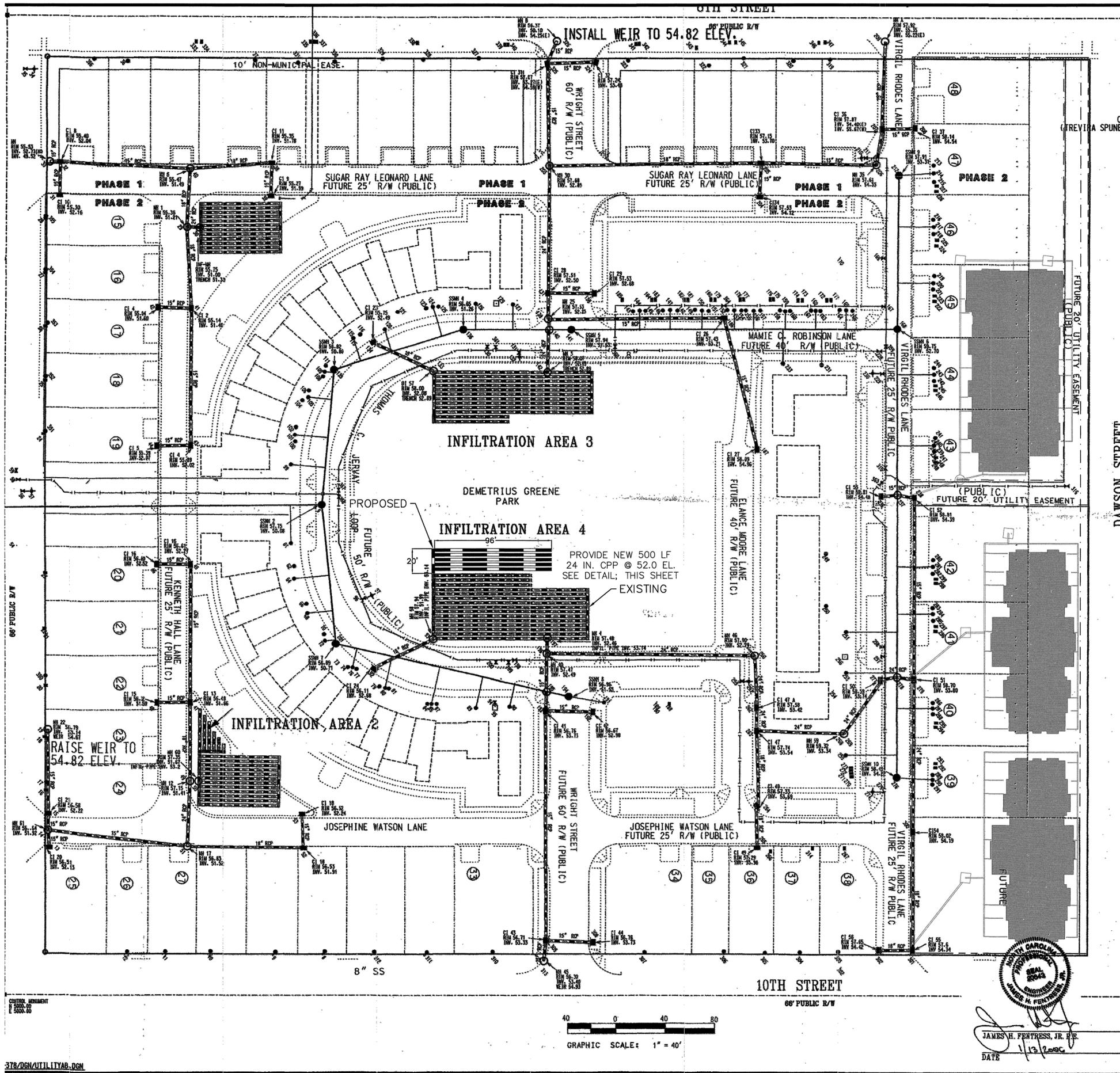
STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
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Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch





NOTE:
ORIGINAL PLAN SHEET WAS COMPLETED BY
STROUD ENGINEERING, PA AND SEALED ON
1/13/2006.

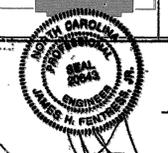
STORM DRAINAGE AND GRADING NOTES:
1. THE EXISTING SITE IS CURRENTLY PERMITTED UNDER CITY OF WILMINGTON STORMWATER PERMIT NO. 20011018 AND NC DENR STORMWATER PERMIT SW6 961202.

1 inch

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

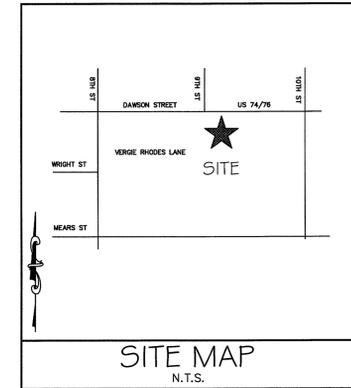
STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



JAMES H. PENTRESS, JR., P.E.
DATE 1/13/2014

ISSUED FOR CONSTRUCTION OF INFILTRATION TRENCH #4 EXPANSION ONLY
12-3-2014



AXIOM
ARCHITECTURE
333 WEST TRADE ST.
SUITE 200
CHARLOTTE, NC 28202
T 704.927.9900
F 704.343.9380
www.axiomarchitecture.com

ENGINEER:
McKim & Creed, Inc.
243 N Front St.
Wilmington, NC 28401
(910)-343-1048

OWNER:
Wilmington Housing Authority
1524 S 18th St.
Wilmington, NC 28401

DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



PROJECT # - A-1304

INFILTRATION TRENCH #4 EXPANSION PLAN

DECEMBER 03, 2014

REVISION 1 - TRC REV #1 10/28/13
REVISION 2 - TRC REV #2 02/21/14
REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14
REVISION 4 -

ISSUED FOR CONSTRUCTION

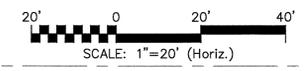
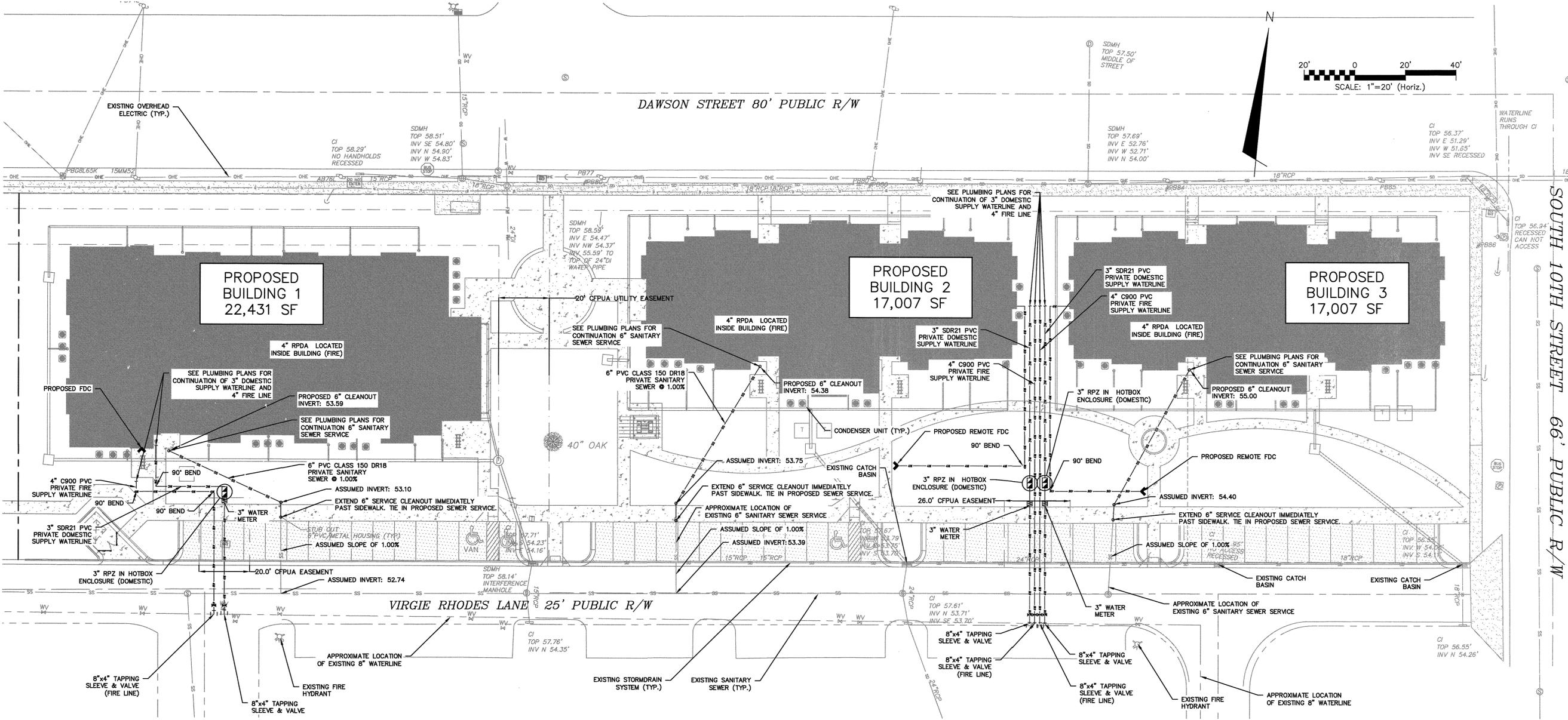
CG-102

ENGINEER:
McKinn & Craed, Inc.
243 N Front St.
Wilmington, NC 28401
(910)-343-1048
OWNER:
Wilmington Housing
Authority
1524 S 16th St.
Wilmington, NC 28401

DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY

WILMINGTON HOUSING AUTHORITY
PROJECT # - A-1304
UTILITY PLAN

DECEMBER 03, 2014
REVISION 1 - TRC REV #110/28/13
REVISION 2 - TRC REV #2 02/21/14
REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14
REVISION 4 -
ISSUED FOR CONSTRUCTION
CU-101



UTILITY NOTES:

- SCHEDULE A PRECONSTRUCTION MEETING WITH CAPE FEAR PUBLIC UTILITY AUTHORITY 48 HOURS PRIOR TO CONSTRUCTION OF WATER AND SEWER LINES.
- WATER AND SANITARY SEWER UTILITY MAINS ARE PRIVATE BEYOND THE PUBLIC STREET RIGHT-OF-WAY.
- THIS PROJECT SHALL COMPLY WITH THE CFPUA GROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND NCDENR HAS ISSUED THE "FINAL APPROVAL".
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CFPUA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO CFPUA AND APPROVED BY USFCOCHOR OR ASSE.
- BACKFLOW PREVENTION AND METERS WILL BE PROVIDED FOR BOTH FIRE LINES (RPDA) AND DOMESTIC SERVICE (RPZ). FIRE LINE BACKFLOW PREVENTER AND DOMESTIC SERVICE BACKFLOW PREVENTER WILL BE LOCATED AS SHOWN ON THE UTILITY PLANS. INSTALLER OF BACKFLOW PREVENTERS MUST CONTACT CFPUA PRIOR TO INSTALLING UNITS TO GIVE CFPUA THE OPTION TO VERIFY INSTALLATION PROCEDURES.
 - REDUCED PRESSURE PRINCIPLE ASSEMBLY FOR DOMESTIC WATER SERVICE
 - REDUCED PRESSURE DETECTOR ASSEMBLY WILL BE UTILIZED FOR THE BACKFLOW PREVENTER ON THE FIRE SERVICE.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- WATER: 1.5" & 2" PVC MAINS SHALL BE CONSTRUCTED USING ASTM D2241, IPS, GASKETED PIPE, SDR 21. 4"-12" PVC MAINS AND SERVICES SHALL BE CONSTRUCTED USING AWWA C-900 PVC, CL235 (DR-18).
- SANITARY SEWER: FOR PIPE SIZES 4" AND 6" PIPE SHALL BE SCH 40 CONFORMING TO THE REQUIREMENTS OF ASTM D1785 WITH SOLVENT WELD JOINTS CONFORMING TO ASTM D2672. FOR PIPE SIZES 8" THROUGH 12", PIPE SHALL BE CLASS 150, DR18 CONFORMING TO THE REQUIREMENTS OF AWWA C900 WITH ELASTOMERIC PUSH-ON JOINTS CONFORMING TO ASTM D3212 OR ASTM D3139.
- WATER AND SEWER SERVICES CANNOT BE ACTIVATED ON NEW MAINS UNTIL ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY PUBLIC WATER SUPPLY SECTION OF NCDENR AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY OF NCDENR.
- PVC WATER MAINS AND POLYETHYLENE SERVICES ARE TO BE MARKED WITH NO. 10 SINGLE STRAND INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.

- SITE UTILITY CONTRACTOR TO PROVIDE WATER AND SANITARY SEWER SERVICE TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- FIRE SPRINKLERS WILL BE PROVIDED FOR BUILDINGS.
- UNDERGROUND UTILITIES: ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG THE PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- MINIMUM OF 36" COVERAGE ABOVE ALL WATERMANS.
- MINIMUM OF 36" VERTICAL SEPARATION BETWEEN WATERLINES AND STORMDRAIN CURB INLETS.

RELATION OF WATER MAINS TO SEWERS:

- LATERAL SEPARATION OF SEWERS AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
- CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER MAIN. UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A SEWER MAIN/WATER MAIN OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER MAIN/WATER MAIN TO CROSS A STORM DRAIN PIPE, THE SEWER MAIN/WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER MAIN/WATER MAIN NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 24 INCH CLEAR SEPARATION DISTANCE HORIZONTAL, OR THE SEWER MAIN/WATER MAIN SHALL EITHER BE CONSTRUCTED OF DUCTILE IRON PIPE OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.

FIRE PROTECTION NOTES:

- HYDRANT MUST BE WITHIN 150' OF THE FDC.
- THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- COMBUSTIBLE MATERIALS MAY NOT BE STORED OR ERECTED ON SITE WITHOUT CITY FIRE INSPECTOR APPROVAL.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM UNDERGROUND UTILITIES
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.

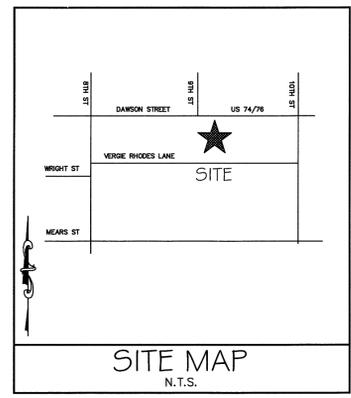
WATER AND SEWER CAPACITY: BUILDING ADDRESSES:

- | | |
|-----------------------------------|--|
| 1. WATER 0 GPD (CURRENT USE) | 1. BUILDING 1 - 839 VIRGIE RHODES LANE |
| 2. WATER 9,600 GPD (PROPOSED USE) | 2. BUILDING 2 - 865 VIRGIE RHODES LANE |
| 3. SEWER 0 GPD (CURRENT USE) | 3. BUILDING 3 - 883 VIRGIE RHODES LANE |
| 4. SEWER 9,600 GPD (PROPOSED USE) | |

NOTE: ELEVATIONS OF EXISTING 6" SANITARY SEWER SERVICE UNKNOWN. MINIMUM SLOPE OF 1.0% WAS ASSUMED FOR DESIGN. ELEVATIONS TO BE VERIFIED BY CONTRACTOR AND ANY DIFFERENCES SHALL BE PROVIDED TO THE ENGINEER FOR ANALYSIS.

NOTE: DEVELOPER WILL NEED TO PROVIDE AN EASEMENT FROM THE BACK OF THE RIGHT OF WAY TO THE BACK OF THE WATER METERS FOR CFPUA SERVICES. SEE CU-101 FOR DIMENSIONS OF THESE EASEMENTS.

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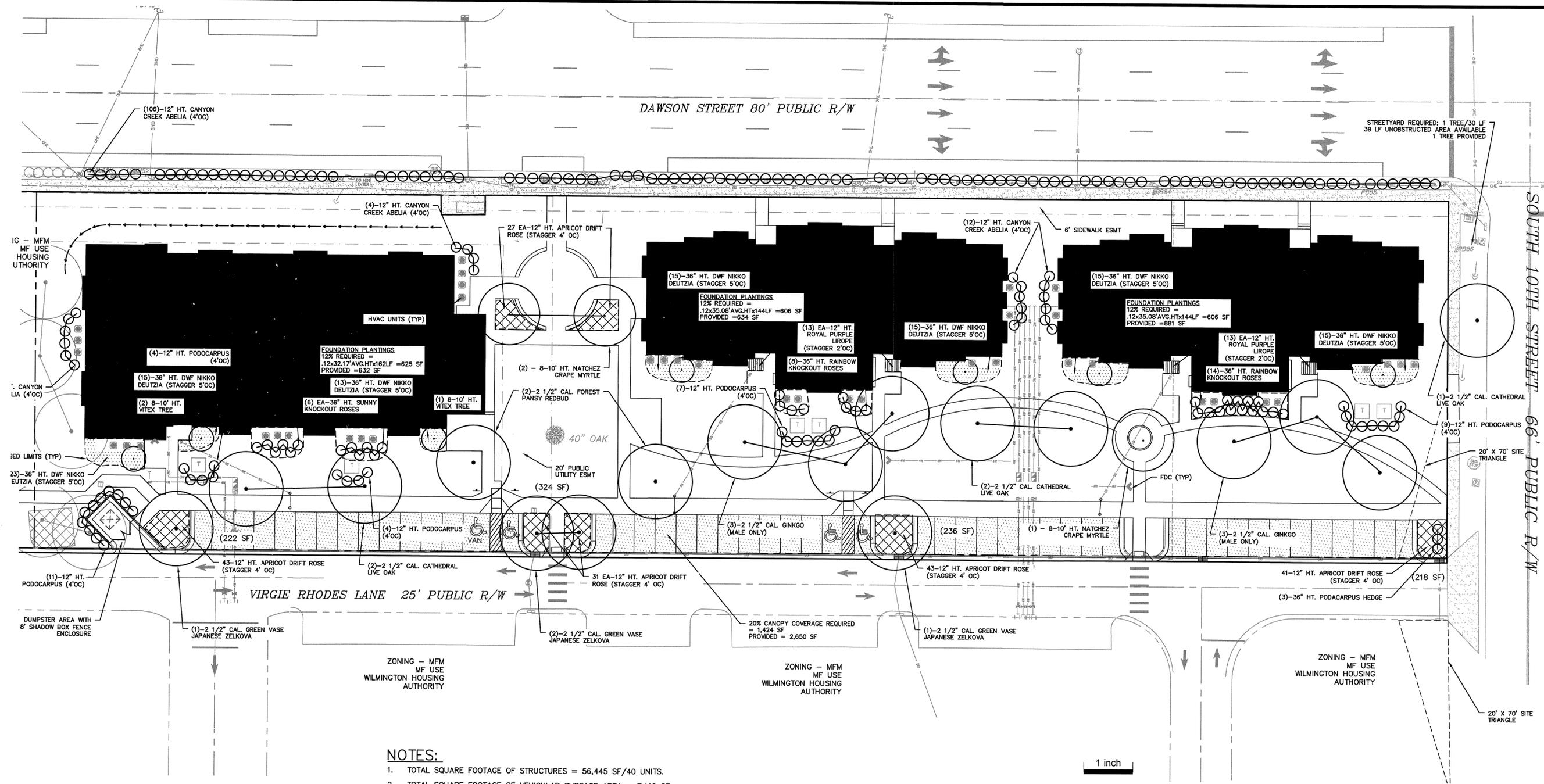
Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____



DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



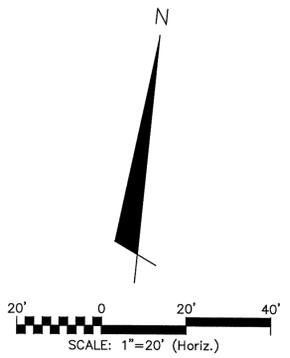
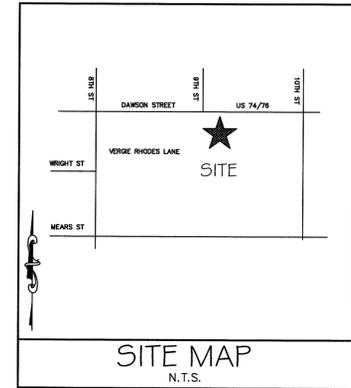
- NOTES:**
- TOTAL SQUARE FOOTAGE OF STRUCTURES = 56,445 SF/40 UNITS.
 - TOTAL SQUARE FOOTAGE OF VEHICULAR SURFACE AREA = 7,119 SF.
 - NO SIGNIFICANT TREES WILL BE REMOVED AS A RESULT OF THE PROPOSED SITE IMPROVEMENTS.
 - CANOPY COVERAGE CALCULATIONS:
707 SF = CANOPY TREE/15' RADIUS
314 SF = SMALLER CANOPY TREE/10' RADIUS
PERIMETER TREES BASED ON % OVERHANG
 - TREE REQUIREMENT CALCULATIONS:
1.91 ACRES DISTURBED X 15 TREES/ACRE = 19 REQUIRED TREES
PROPOSED: 19 NEW PLANTINGS
PRESERVED: 1
TOTAL: 20 TREES
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, AND REPRESENTATIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
 - FUTURE TRANSFORMER WILL BE FULLY SCREENED WITH EVERGREEN SHRUBS 36" IN HEIGHT SPACED FOR 100% OPACITY.

ADDITIONAL TREATMENTS:
HVAC EQUIPMENT, AIR CONDITIONING WINDOW UNITS, AND OTHER ELECTRICAL EQUIPMENT SHALL NOT BE LOCATED ON STREET FRONTAGES. ALL SUCH EQUIPMENT SHALL BE PLACED IN THE INTERIOR YARDS OR ON THE ROOF OF THE BUILDING AND SCREENED FROM THE RIGHT OF WAY. THROUGH-WALL MECHANICAL UNITS ARE PERMITTED ON ANY FACADE IF THEY ARE INCORPORATED INTO THE DESIGN OF THE BUILDING, FLUSH WITH THE FACADE ON WHICH THEY ARE LOCATED, CONCEALED BY A VENT COVER AND HAVE AN INTERNAL DRIP SYSTEM FOR CONDENSATION. UTILITY METERS, TRANSFORMERS AND FIXED TRASH DISPOSAL RECEPTACLES THAT CANNOT BE CONCEALED FROM THE PUBLIC RIGHT OF WAY SHALL BE SCREENED WITH AN OPAQUE FENCE OR WALL.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____



GENERAL CONSTRUCTION NOTES:

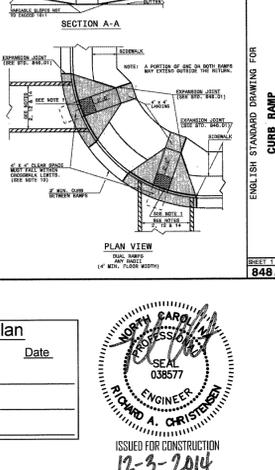
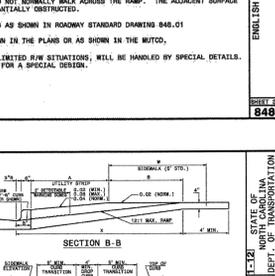
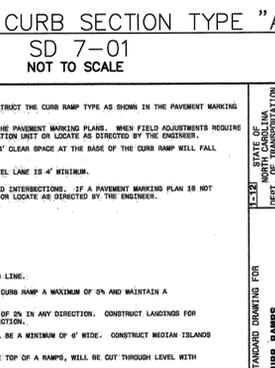
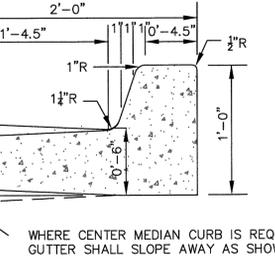
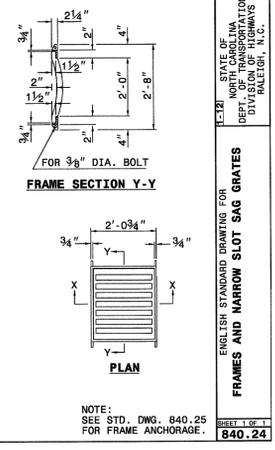
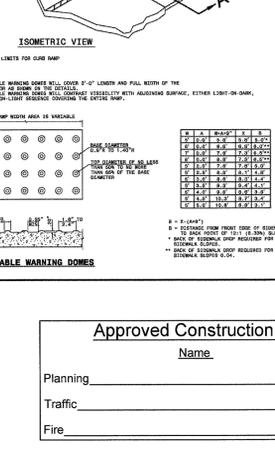
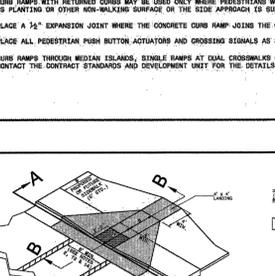
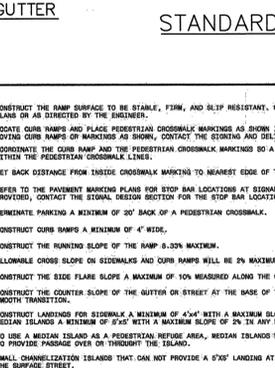
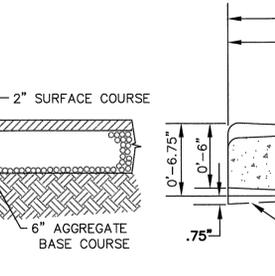
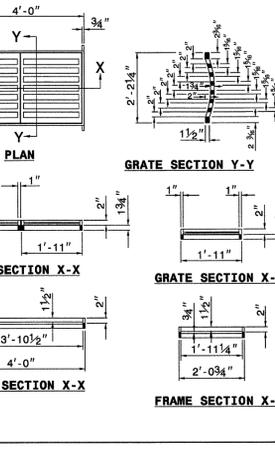
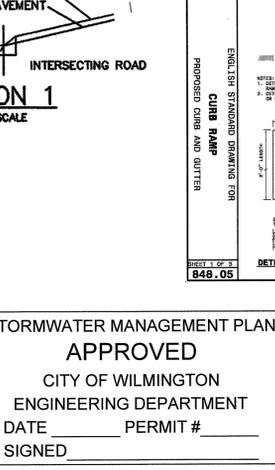
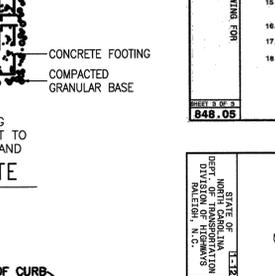
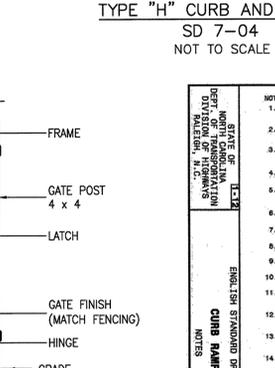
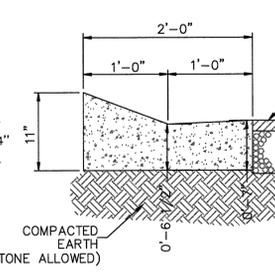
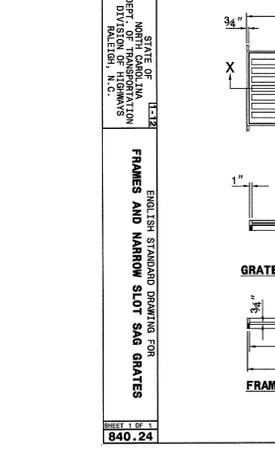
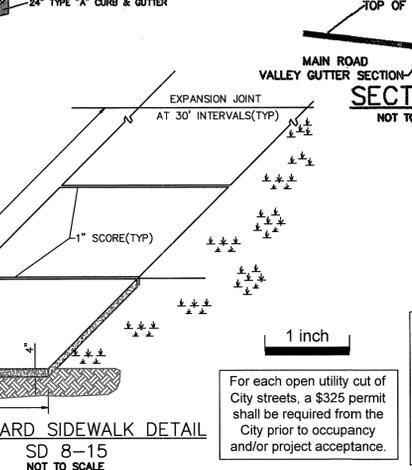
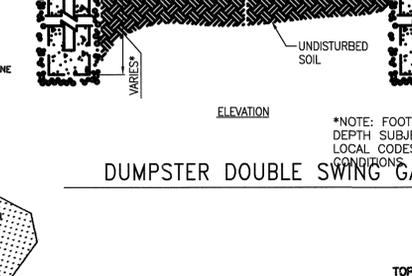
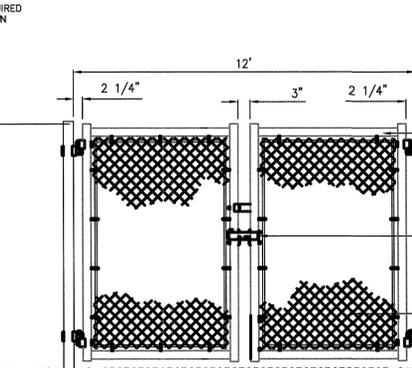
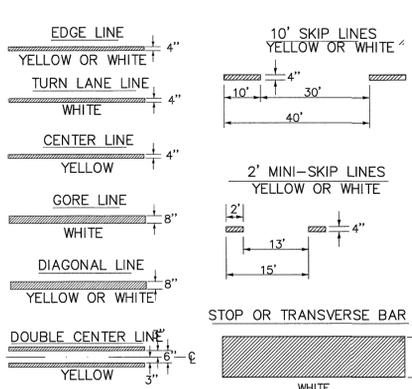
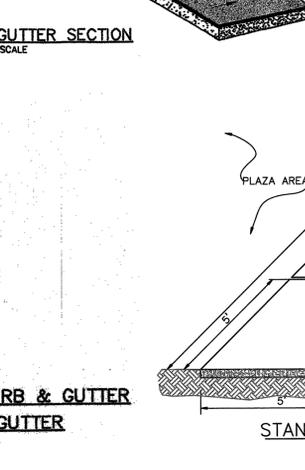
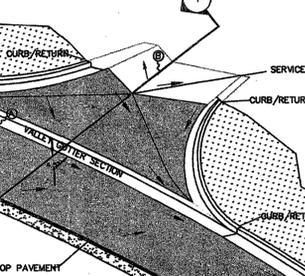
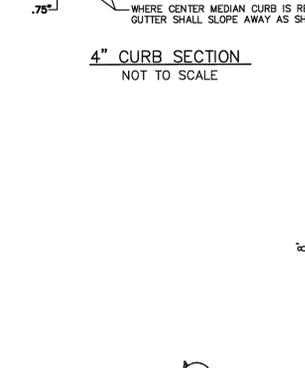
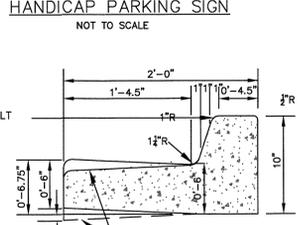
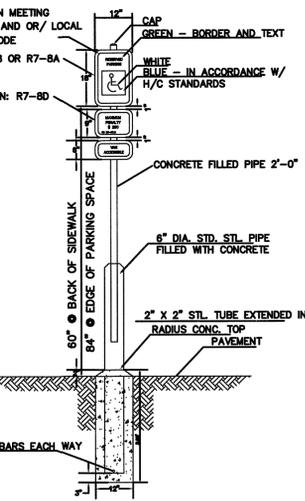
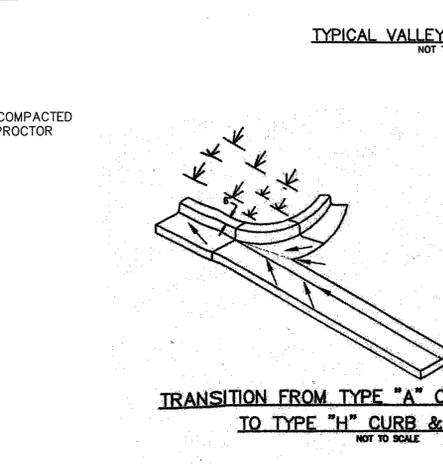
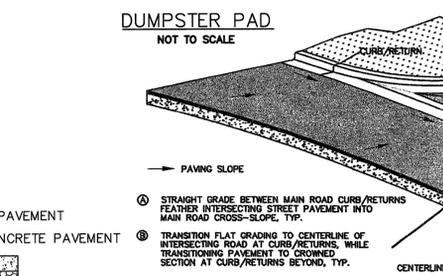
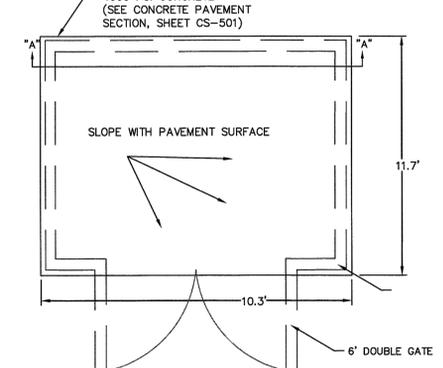
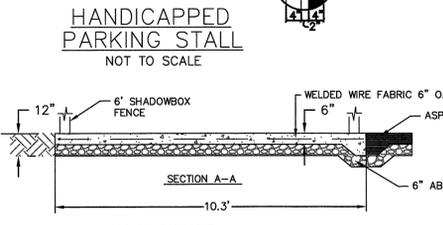
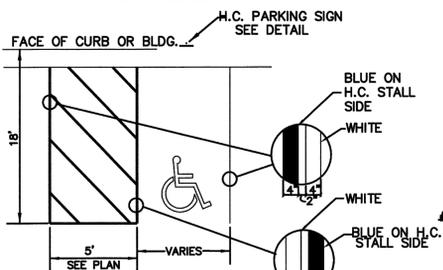
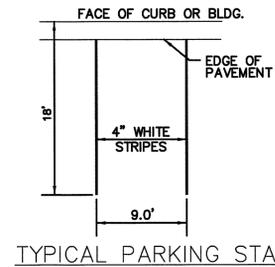
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF WILMINGTON, NORTH CAROLINA UNLESS OTHERWISE NOTED.
- ALL TREES, STUMPS, ROOT MAT, ETC. SHALL BE ENTIRELY REMOVED REGARDLESS OF DEPTH. BURIAL OF ORGANIC MATERIAL WITHIN THE PROJECT LIMITS IS NOT PERMITTED. OPEN BURNING OF DOWNED TREES AND STUMPS IS PERMITTED. HOWEVER, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. CHIPPED MATERIALS MUST BE REMOVED PRIOR TO THE PLACEMENT OF EMBANKMENT OR TOPSOIL.
- THE CONTRACTOR IS SOLELY RESPONSIBLE TO OBTAIN OFF-SITE SPOIL AREAS FOR DISPOSAL OF EXCESS AND/OR UNSUITABLE MATERIALS AS NECESSARY. OFF-SITE SPOIL AREAS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BY APPLICABLE REGULATORY AGENCIES AND PRIOR TO UTILIZATION BY THE CONTRACTOR. NO AREAS DESIGNATED AS WETLANDS WILL BE PERMITTED FOR USE AS A DISPOSAL SITE. THE CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE ENGINEER THAT NO WETLANDS WILL BE IMPACTED. THE ENGINEER WILL NOT CONSIDER ANY DELAYS OR MONETARY CLAIMS OF ANY NATURE RESULTING FROM THE CONTRACTOR'S FAILURE OR DIFFICULTY IN FINDING NECESSARY DISPOSAL SITES TO MEET THE TIME FRAMES REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, EROSION AND SEDIMENT CONTROL MEASURES, ETC. REQUIRED BY THE APPROPRIATE REGULATORY AGENCIES FOR UTILIZING OFF-SITE SPOIL AREAS. THE CONTRACTOR SHALL CERTIFY TO THE ENGINEER THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO UTILIZING THE OFF-SITE SPOIL AREAS. ALL COSTS FOR PROCURING AND UTILIZING THE OFF-SITE SPOIL AREAS ARE TO BE INCIDENTAL TO THE BASE BID.
- APPROVED COVERS TO PREVENT MATERIAL FROM LEAVING THE TRUCKS MUST BE INSTALLED OVER ALL LOADED TRUCKS HAULING BORROW EXCAVATED MATERIAL AND/OR FINE AGGREGATES TO OR FROM THE PROJECT SITES OVER STATE MAINTAINED ROADS. THE TRUCKS SHALL BE FULLY COVERED TO PREVENT MATERIAL FROM LEAVING THE TRUCK DURING HAULING. ANY MATERIALS DELIVERED, TRANSPORTED, OR REMOVED IN UNCOVERED TRUCKS WILL BE INCORPORATED INTO THE PROJECT OR REMOVED FROM THE SITE WITH NO ADDITIONAL PAYMENT TO THE CONTRACTOR FOR FURNISHING, REMOVING, OR PLACING THE MATERIALS INVOLVED.
- DRIVEWAYS ARE NOT TO BE LOCATED OVER WATER METERS OR SEWER CLEANOUTS. METERS WILL NOT BE SET IF WATER METER BOXES, SEWER CLEAN-OUTS, VALVE BOXES OR OTHER APPURTENANCES ARE DAMAGED OR IMPROPERLY POSITIONED.
- EXISTING PAVING, CONCRETE, AND OTHER UNSUITABLE MATERIALS SHALL NOT BE USED AS FILL AND SHALL BE DISPOSED OUTSIDE THE PROJECT LIMITS AT THE CONTRACTOR'S EXPENSE. CONTRACTOR IS RESPONSIBLE FOR PERMITTING AND FEES FOR DISPOSAL.

GENERAL NOTES

- IN ACCORDANCE WITH N.C.G.S. 136-44.14, ALL STREET CURBS BEING CONSTRUCTED OR RECONSTRUCTED SHALL PROVIDE WHEELCHAIR RAMPS FOR THE PHYSICALLY HANDICAPPED ON EACH SIDE OF ANY STREET OR ROAD, WHERE CURBS AND SIDEWALKS ARE PROVIDED AND AT OTHER MAJOR POINTS OF PEDESTRIAN FLOW.
- WHEELCHAIR RAMPS SHALL BE LOCATED AS INDICATED IN DETAIL DRAWINGS; HOWEVER, EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. MAY AFFECT PLACEMENT.
- CURB RAMPS SHALL HAVE DETECTABLE WARNINGS EXTENDING THE FULL WIDTH OF THE RAMP AND A MINIMUM OF 2'-FT. IN LENGTH.

ADDITIONAL NOTES

- STOP BARS SHALL BE USED WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER LEGAL REQUIREMENT.
- PARKING SHALL BE ELIMINATED A MINIMUM OF 20 FEET BACK OF THE PEDESTRIAN CROSSWALK.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THIS DOCUMENT IS AVAILABLE FROM THE SUPERINTENDENT OF DOCUMENTS, U.S. GOVERNMENT PRINTING OFFICE, WASHINGTON, D.C. 20402.
- CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
- THE BOTTOM OF DIAGONAL (CORNER TYPE) CURB RAMPS AT MARKED CROSSINGS SHALL HAVE 48-IN. MINIMUM CLEAR SPACE WITHIN THE MARKINGS.
- IF DIAGONAL CURB RAMPS HAVE FLARED SIDES, THEY SHALL HAVE AT LEAST A 24-IN. LONG SEGMENT OF STRAIGHT CURB LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING.



ENGINEER:
 McKim & Creed, Inc.
 243 N Front St.
 Wilmington, NC 28401
 (910)-343-1048

OWNER:
 Wilmington Housing Authority
 1524 S 16th St.
 Wilmington, NC 28401

DAWSON STREET LOFTS
 WILMINGTON, NORTH CAROLINA
 WILMINGTON HOUSING AUTHORITY



DECEMBER 03, 2014

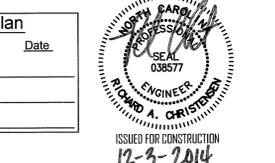
REVISION 1 - TRC REV #10/28/13
 REVISION 2 - TRC REV #2/02/21/14
 REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14
 REVISION 4 -

ISSUED FOR CONSTRUCTION

CS-501

STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



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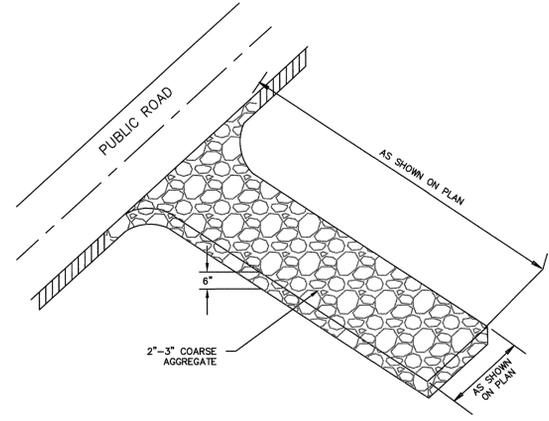
SEEDBED PREPARATION:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTRANCE AREA TO 6 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW*).
- CONTINUE TILLAGE UNTIL A WELL - PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- APPLY:
AGRICULTURAL LIMESTONE - 2 TONS/ACRE
FERTILIZER - 1000 LBS/ACRE (10-10-10)
SUPERPHOSPHATE - 500 LBS/ACRE (20%)
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

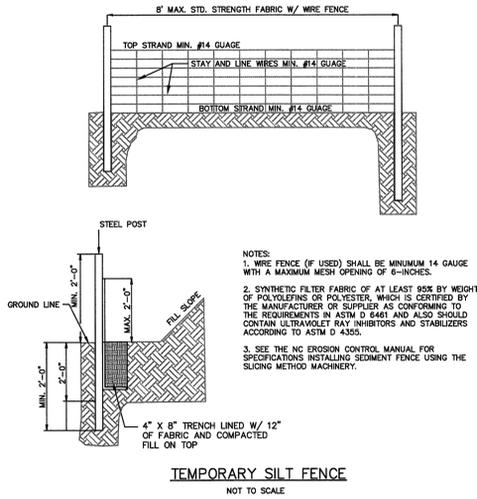
TEMPORARY SEEDING			
GRASS TYPE	AMOUNT/1000 S.F.	TIME OF SEEDING	INITIAL
RYE GRASS	1-2 LBS.	APRIL - JUNE	25 LBS. 10-10-10
BROWNTOP MILLET	1-2 LBS.	JUNE - AUGUST	25 LBS. 10-10-10

PERMANENT SEEDING			
GRASS TYPE	AMOUNT/1000 S.F.	TIME OF SEEDING	INITIAL
BERMUDA, COMMON	1-2 LBS.	APRIL - JUNE	25 LBS. 10-10-10
PERGUA, TALL (KENTUCKY 31)	5-7 LBS.	JUNE - AUGUST FEB. - OCT.	25 LBS. 10-10-10
SERGEEA LESPEDEZA (SLOPES)	1-2 LBS.	MARCH - APRIL	25 LBS. 10-10-10

GROUND STABILIZATION CRITERIA		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERMETERS AND HOW ZONES)

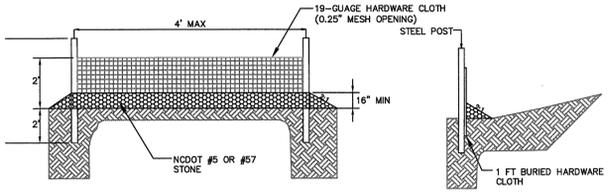


CONSTRUCTION ENTRANCE/EXIT
SD 13-03
NOT TO SCALE



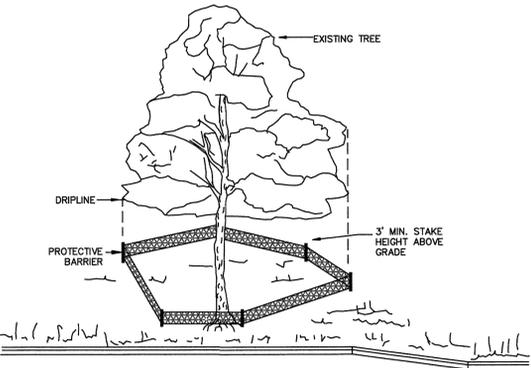
- NOTES:
1. WIRE FENCE (IF USED) SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
2. SYNTHETIC FILTER FABRIC OF AT LEAST 90% BY WEIGHT OF POLYPROPYLENE OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461 AND ALSO SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
3. SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SILING METHOD MACHINERY.

TEMPORARY SILT FENCE
NOT TO SCALE



- NOTES:
1. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
2. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 1-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
3. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.

GUIDELINES FOR HARDWARE CLOTH & GRAVEL INLET PROTECTION
SD 13-01
NOT TO SCALE



NOTE:
TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE. DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-08
NOT TO SCALE

TREE PROTECTION NOTES:

- NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS. [18-457(b)]
- PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. [18-458]
- LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS. [18-457(d)]
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS. [18-458]
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED. [18-458]
- REGULATED AND SIGNIFICANT TREES IN THE STREET YARD [18-456(c)] AND ANY TREES IN ANY REQUIRED BUFFERS [18-456(d)] ARE REQUIRED TO BE RETAINED.

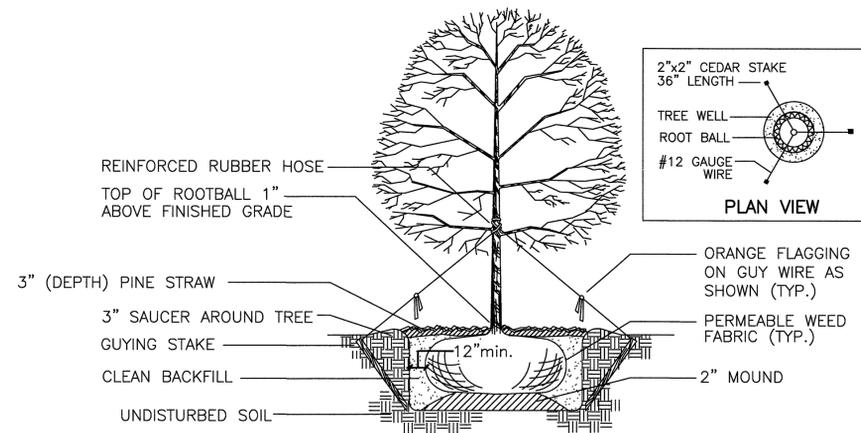
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

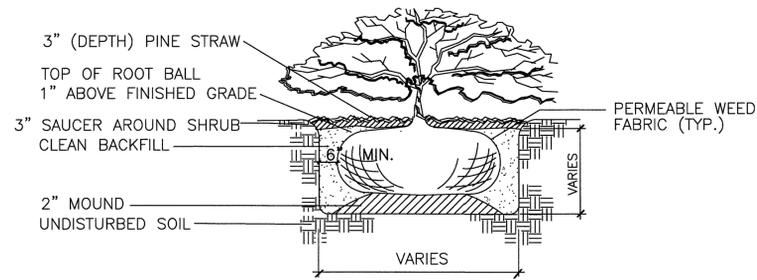
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____





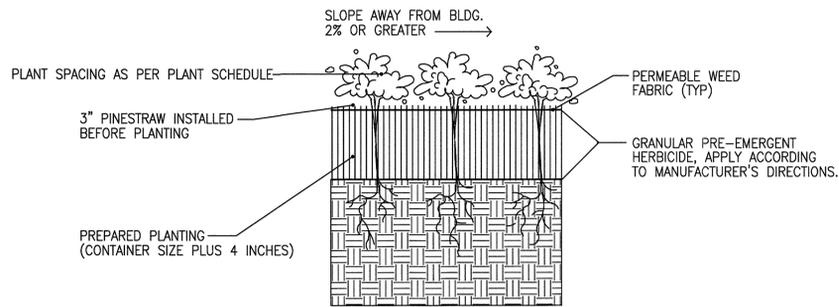
TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

PLANTING NOTES:

1. ALL TOPSOIL SHALL BE RETAINED AND REUSED IN PLANTING HOLES AFTER DIGGING HAS BEEN COMPLETED. USE ANY EXCESS SOIL FROM THE PLANTING PIT AS WELL TO FORM A SAUCER 2" TO 4" HIGH AROUND THE PLANT. SAUCERS SHALL BE THE SAME DIAMETER OR SLIGHTLY LARGER THAN THE ROOT BALL.
2. MULCHING SHALL BE COMPLETED WITHIN 48 HOURS AFTER PLANTING OF NEW PLANT MATERIAL. MULCH SHALL BE SPREAD TO A DEPTH OF 3" FOR INDIVIDUALLY PLANTED TREES AND SHRUBS AND SHOULD COVER THE ENTIRE SAUCER AREA OF EACH PLANT.
3. ALL PLANTS SHALL BE "WATERED IN" BY FLOODING THE BACKFILLED HOLE WITHIN THE SAME WORKING DAY UPON WHICH THEY WERE PLANTED. DURING AND IMMEDIATELY AFTER WATERING, ALL PLANTS SHALL BE ADJUSTED AS NECESSARY TO INSURE CORRECT DEPTH OF PLANTING, VERTICAL ALIGNMENT AND/OR TO COMPENSATE FOR SETTLING. SOIL SHALL BE FIRMED AROUND EACH PLANT AS FINAL ADJUSTMENTS ARE MADE.
4. PLANTS SHALL BE SET PLUMB AND HELD IN POSITION UNTIL SUFFICIENT SOIL HAS BEEN FIRMLY PLACED AROUND THE ROOTS OR BALL. PLANTS SHALL BE SET AT GROUND LEVEL OR NO MORE THAN 2" ABOVE THE EXISTING GRADE. THIS IS TO ENSURE ADEQUATE RECEPTION OF OXYGEN AND MOISTURE TO THE ROOTS OF THE PLANT.
5. CLEAR, REMOVE AND DISPOSE OF BRUSH, SNAGS, AND RUBBISH WITHIN 60' OF THE PLANTING HOLE. GRADE THE AREA TO MEET THE EXISTING LANDSCAPE UNLESS PLANTING ON A SLOPE.
6. PLANT ALL NEW PLANT MATERIAL AT ORIGINAL FIELD GROWN LEVEL. TAMP SOIL MIX BELOW ROOT BALL.
7. PLANTING HOLES ASSOCIATED WITH PROPOSED TREES SHOULD BE SLOPED (NOT COMPACTED) AND A MINIMUM OF 16-24 INCHES WIDER THAN THE DIAMETER OF THE ROOT BALL. TREES WILL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE. TREES SHALL ALSO BE INSTALLED 3-5 INCHES ABOVE GRADE ON SITES CONTAINING CLAY.



GROUNDCOVER/PERENNIAL PLANTING DETAIL
NO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name _____	Date _____
Planning _____	
Traffic _____	
Fire _____	

STORMWATER MANAGEMENT PLAN	
APPROVED	
CITY OF WILMINGTON	
ENGINEERING DEPARTMENT	
DATE _____	PERMIT # _____
SIGNED _____	



DAWSON STREET LOFTS
WILMINGTON, NORTH CAROLINA
WILMINGTON HOUSING AUTHORITY



PROJECT # - A-1304

LANDSCAPE DETAILS

DECEMBER 03, 2014

REVISION 1 - TRC REV #1 10/28/13

REVISION 2 - TRC REV #2 02/21/14

REVISION 3 - RESUB TO ACTIVE STATUS 12/03/14

REVISION 4 -

ISSUED FOR CONSTRUCTION

CL-501