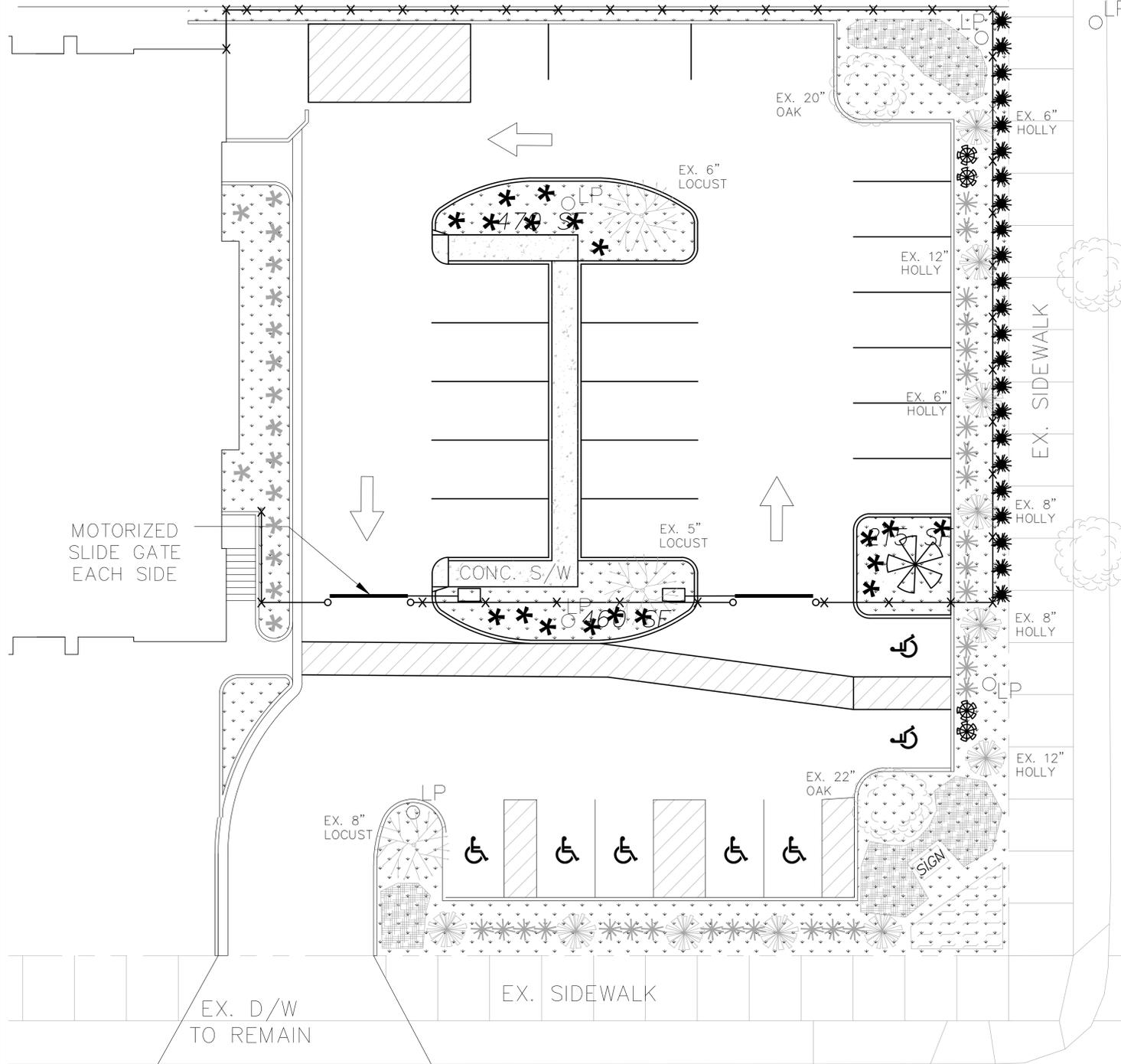


First Citizens Bank  
315 Market Street  
Use – Commercial  
Zoning – HD



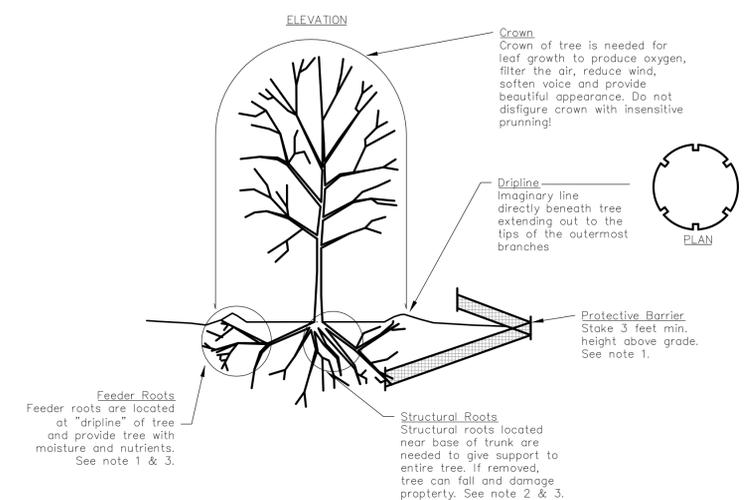
Market Street

MOTORIZED  
SLIDE GATE  
EACH SIDE

EX. D/W  
TO REMAIN

EX. SIDEWALK

Third Street

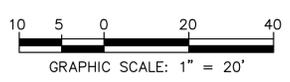


- TREE PROTECTION DURING CONSTRUCTION**
1. CLEARLY MARK THE TREE TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE DRIPLINE. DO NOT COMPACT SOILS BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE "FEEDING ROOTS" OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. THE PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
  2. NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS.
  3. AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

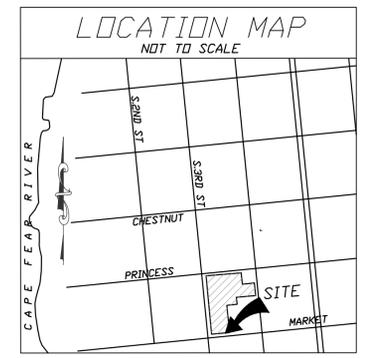
**TREE PROTECTION DETAIL**  
NOT TO SCALE

**LANDSCAPE LEGEND**

- \* EX. ENCORE AZALEA
- \* NEW ENCORE AZALEA  
AUTUMN MOONLIGHT OR AUTUMN LILY
- \* EX. JUNIPER HEDGE
- \* NEW PITTOSPORUM TOBIRA
- \* NEW LIGUSTRUM-JACK FROST
- \* MAGNOLIA-LITTLE GEM
- \* EX. LOCUST
- \* EX. LIVE OAK
- \* EX. HOLLY TREE, UNLESS NOTED,  
ALL ARE MULTI-TRUNK, AVERAGE 4"
- \* EX. AZALEA BED
- \* 4" MINIMUM MULCH NEW LANDSCAPE AREAS
- \* EX. LIRIOPE BED



REV. NO.	DESCRIPTION	DATE



**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

**LANDSCAPE NOTES:**

1. SOIL AMENDMENTS MUST BE ADDED TO AREAS WHERE NEW PLANTS WILL BE INSTALLED.
2. ALL SHRUBS MUST BE A MINIMUM 3 FEET IN HEIGHT, AND TREES MUST BE MINIMUM 8 FEET IN HEIGHT AT THE TIME OF INSTALLATION.
3. ALL PLANTINGS BEDS SHALL RECEIVE A MINIMUM OF 4" PINE BARK MULCH.
4. LANDSCAPE CONTRACTOR SHALL WARRANTY ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK OF THE LANDSCAPE PLAN.
5. THE OWNER IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED PLANT MATERIAL AND PLANTING AREAS IN GOOD HEALTH AND APPEARANCE. ANY DEAD, UNHEALTHY AND MISSING PLANTS MUST BE REPLACED WITHIN 10 DAYS WITH VEGETATION WHICH CONFORMS TO THE INITIAL PLANS AND STANDARDS.
6. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE.

- 19 STANDARD SPACES
- 7 ADA PARKING SPACES
- 2 AUTOMATIC ELECTRIC GATES

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

**24 N. THIRD STREET**  
**COBB ANNEX SECURITY FENCING**

WILMINGTON      NEW HANOVER COUNTY      NORTH CAROLINA

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**LANDSCAPE PLAN**

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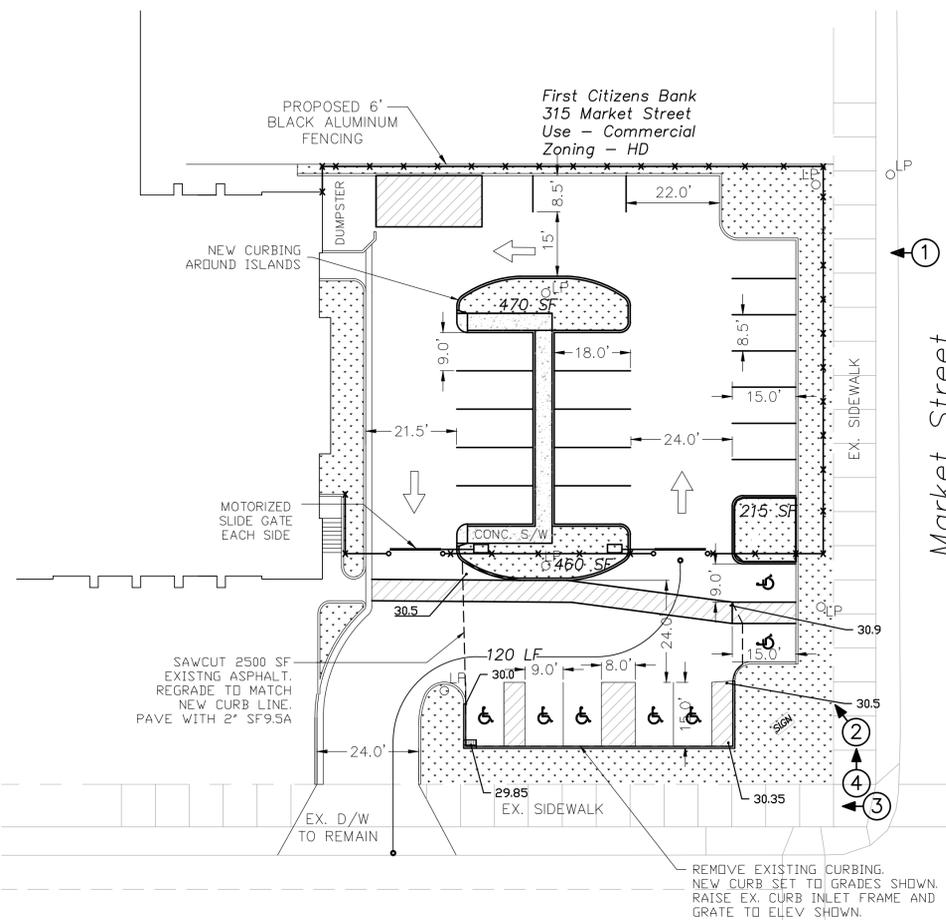
**RIGHT ANGLE**  
**ENGINEERING, P.C.**  
212 PRINCESS STREET  
WILMINGTON, NC 28401  
(910) 251-8544      FAX (910) 251-2208

DATE: 9-28-16  
Scale: AS SHOWN  
Drawn: NNC  
Checked: WSL  
Project No: NH0215  
Sheet No: **L1**

**NOTES:**

- THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE. FIRM # 370171317K, APRIL 3, 2006.
- THERE ARE NO WETLANDS ON THE SITE.
- THERE ARE EXISTING TREES ON THE SITE. ALL TO REMAIN.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USCFCCHHR OR ASSE.
- ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING.
- THE BELLSOUTH CONTACT IS STEVE DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
- ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
- ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
- AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY (CFPUA) DETAILS AND SPECIFICATIONS.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCHHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- CONTRACTOR TO EXCAVATE AND INSTALL CONDUIT FOR UNDERGROUND ELECTRIC SERVICE ACCORDING TO DUKE ENERGY SPECIFICATIONS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ADJUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
- DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
- TRASH DUMPSTER PICK-UP SHALL BE CONDUCTED DURING OFF-PEAK HOURS. TRUCK MOVEMENT SHALL BE PULL IN, PICK UP AND PULL OUT ONTO THIRD STREET.

1-800-632-4949



REMOVE EXISTING CURBING. NEW CURB SET TO GRADES SHOWN. RAISE EX. CURB INLET FRAME AND GRATE TO ELEV SHOWN.

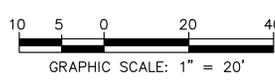
Third Street

HW Wells Insurance  
1 N. Third Street  
Use - Commercial  
Zoning - CBD

National Society  
Colonial Dames of  
America  
224 Market Street  
Use - Cultural  
Zoning - HD

WATER PROPOSED: 0 GPD  
SEWER PROPOSED: 0 GPD

SITE DATA TABLE	
PIN	R04817-031-001-000
ADDRESS	24 N. THIRD STREET WILMINGTON, NC 28401
ZONING	HD
ACREAGE	0.41
EX. BLDG	0
EX. PARKING & DRIVES - TO BE REMOVED	2500 SF = 0.06 AC
TOTAL PREVIOUSLY EX. IMPERVIOUS	14,000 SF = 0.32 AC (79%)
PROPOSED ADDED GREENSPACE	615 SF
BUILDING IMPERVIOUS	NA
PARKING IMPERVIOUS	13,025 SF = 0.30 AC
SIDEWALK IMPERVIOUS	360 SF = 0.0008 AC
TOTAL PROPOSED IMPERVIOUS	13,385 SF = 0.31 AC (76%)
EXISTING PARKING	27 SPACES
TOTAL PROP. PARKING ON SITE	26 SPACES
ADA PARKING REQUIRED / PROVIDED	7 SPACES / 7 SPACES
DISTURBED AREA	5000 SF = 0.11 AC
CAMA LAND USE DESIGNATION	DEVELOPED
USDA SOIL CLASSIFICATION - ENTIRE SITE	KUREB-URBAN LAND
FEMA FLOOD ZONE X	FEMA MAP PANEL 370171317K
CAPE FEAR RIVER BASIN	NORTHEAST CAPE FEAR RIVER, CLASS SC/SW



FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV. NO.	DESCRIPTION	DATE

**PHOTO KEY**

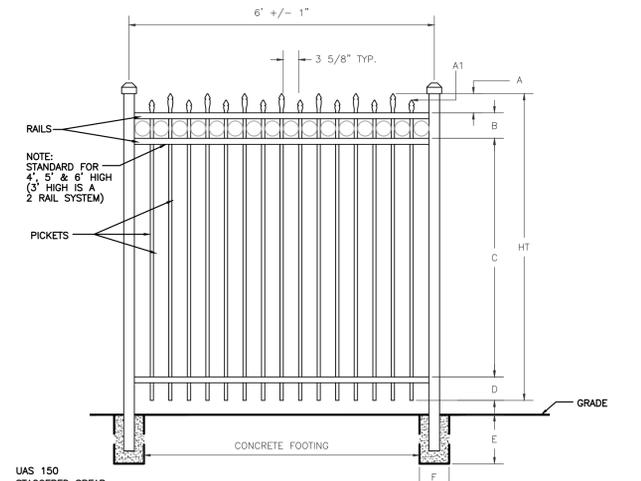
4" MINIMUM MULCH NEW LANDSCAPE AREAS

- 19 STANDARD SPACES
- 7 ADA PARKING SPACES
- 2 AUTOMATIC ELECTRIC SLIDE GATES



**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

Approved Construction Plan	
Name	Date
Planning	_____
Traffic	_____
Fire	_____



SPECIFICATIONS	
COMMERCIAL	
POSTS	2"x2"x.080 WALL 2"x2"x.125 WALL 2 1/2"x2 1/2"x.100 WALL 3"x3"x.125 WALL
HORIZONTAL RAILS	1 3/8" x 1 1/4" .088" .065"
SIDE WALLS	3/4"x3/4"x.055 WALL
PICKET SPACING	3 5/8"
AVAILABLE HEIGHTS	3, 3 1/2, 4, 5 & 6 FT.
AVAILABLE WIDTHS	6 & 8 FT.

DIMENSIONS							
HT	A	A1	B	C	D	E	F
3'	4 1/2"	1 1/2"	6"	20"	5 1/2"		PER LOCAL CODE
3 1/2'	4 1/2"	1 1/2"	6"	26"	5 1/2"		PER LOCAL CODE
4'	4 1/2"	1 1/2"	6"	32"	5 1/2"		PER LOCAL CODE
5'	4 1/2"	1 1/2"	6"	44"	5 1/2"		PER LOCAL CODE
6'	4 1/2"	1 1/2"	6"	56"	5 1/2"		PER LOCAL CODE

ALL DIMENSIONS ARE NOMINAL

24 N. THIRD STREET  
**COBB ANNEX SECURITY FENCING**  
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

**SITE PLAN**

**RIGHT ANGLE ENGINEERING, P.C.**  
212 PRINCESS STREET  
WILMINGTON, NC 28401  
(910) 251-8544 FAX (910) 251-2208

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