

a. Contact information for person listed in item 3 above:

Street Address: 220 OLD DAIRY ROAD

City: WILMINGTON State: NC Zip: 28405

Phone: (910) 492-5861 Fax: (910) 492-7367 Email: _____

Mailing Address (if different than physical address): P.O. Box 10279

City: WILMINGTON State: NC Zip: 28405

IV. PROJECT INFORMATION

1. In the space provided below, briefly summarize how the stormwater runoff will be treated.

OFF-SITE EXIST. WET DETENTION POND

2. Total Property Area: 2.26 square feet

3. Total Coastal Wetlands Area: 0 square feet

4. Total Surface Water Area: 0 square feet

5. Total Property Area (2) – Total Coastal Wetlands Area (3) – Total Surface Water Area (4) = Total Project Area: 2.26 square feet.

6. Existing Impervious Surface within Property Area: 0 square feet

7. Existing Impervious Surface to be Removed/Demolished: 0 square feet

8. Existing Impervious Surface to Remain: 0 square feet

9. Total Onsite (within property boundary) Newly Constructed Impervious Surface (in square feet):

Buildings/Lots	14620
Impervious Pavement	2215
Pervious Pavement (adj. total, with % credit applied)	
Impervious Sidewalks	5198
Pervious Sidewalks (adj. total, with % credit applied)	
Other (describe)	
Future Development	
Total Onsite Newly Constructed Impervious Surface	41933

10. Total Onsite Impervious Surface

(Existing Impervious Surface to remain + Onsite Newly Constructed Impervious Surface) = 41933 square feet

11. Project percent of impervious area: (Total Onsite Impervious Surface / Total Project Area) x100 = 42.6%

12. Total Offsite Newly Constructed Impervious Area (improvements made outside of property boundary, in square feet):

Impervious Pavement	
Pervious Pavement (adj. total, with % credit applied)	
Impervious Sidewalks	3788
Pervious Sidewalks (adj. total, with % credit applied)	
Other (describe)	
Total Offsite Newly Constructed Impervious Surface	3788

13. Total Newly Constructed Impervious Surface

(Total Onsite + Offsite Newly Constructed Impervious Surface) = 3788 square feet

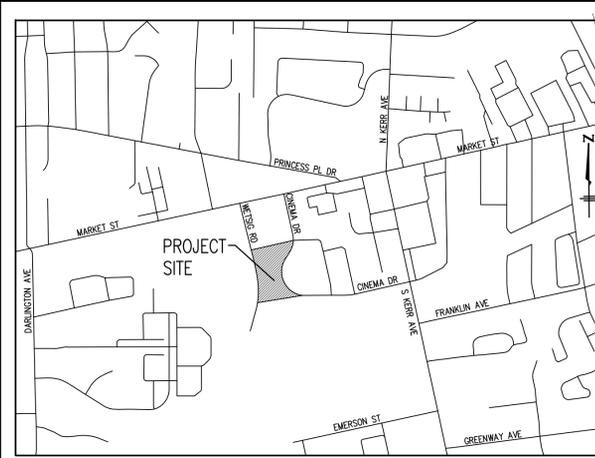
14. Complete the following information for each Stormwater BMP drainage area. If there are more than three drainage areas in the project, attach an additional sheet with the information for each area provided in the same format as below. Low Density projects may omit this section and skip to Section V.

Holk
SUBDIVISION

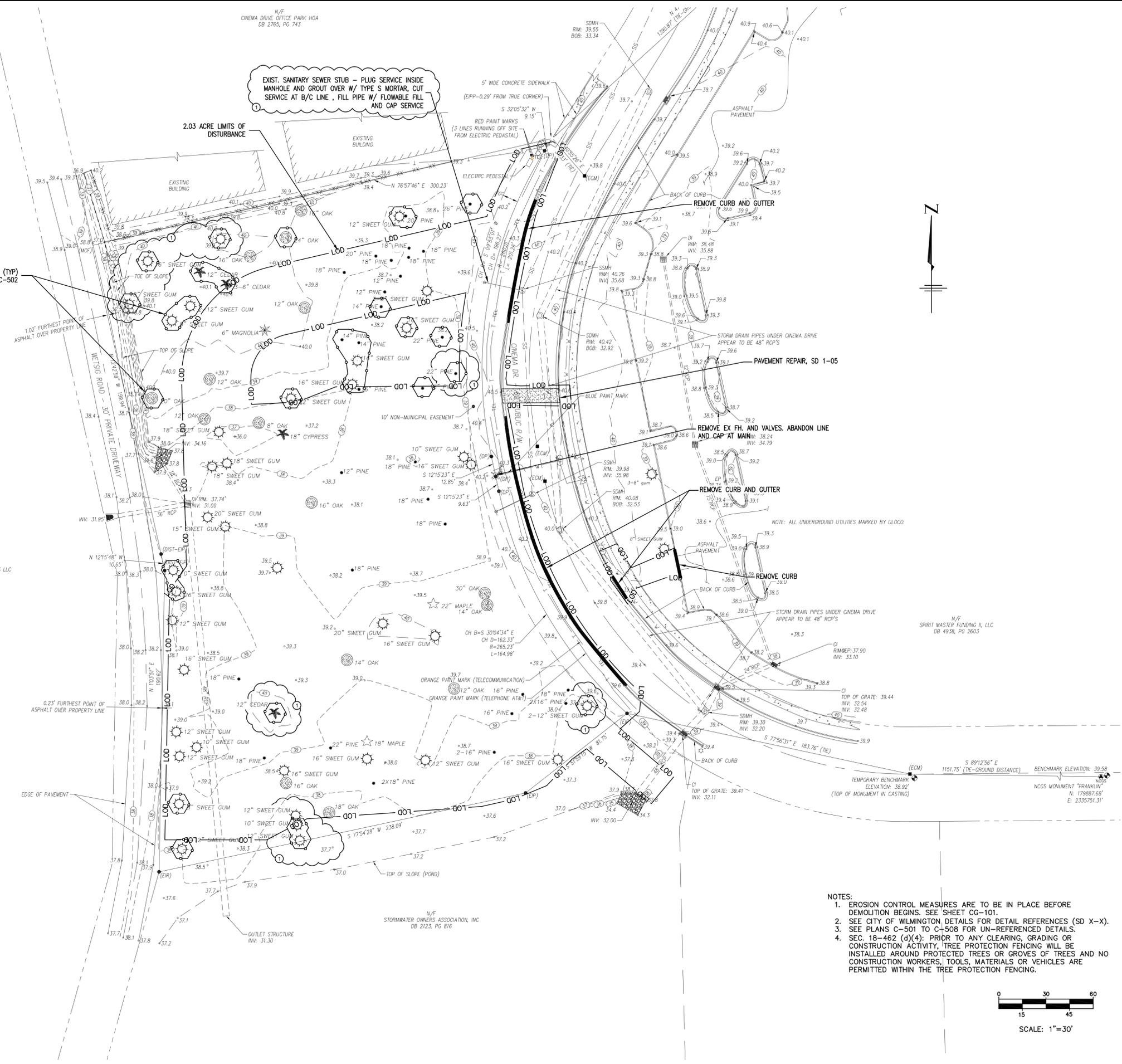
Basin Information	(Type of BMP) BMP #	(Type of BMP) BMP #	(Type of BMP) BMP #
Receiving Stream Name	BURNT MILL CRICK		
Receiving Stream Index Number	18-74-63-2		
Stream Classification	C SW		
Total Drainage Area (sf)	1423928	0	0
On-Site Drainage Area (sf)	1040600		
Off-Site Drainage Area (sf)	383328		
Total Impervious Area (sf)	936540	0	0
Buildings/Lots (sf)			
Impervious Pavement (sf)			
Pervious Pavement, % credit (sf)			
Impervious Sidewalks (sf)			
Pervious Sidewalks, % credit (sf)			
Other (sf)			
Future Development (sf)			
Existing Impervious to remain (sf)			
Offsite (sf)			
Percent Impervious Area (%)	90		

15. How was the off-site impervious area listed above determined? Provide documentation:

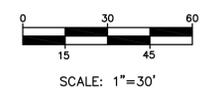
PERMIT 960321 INFORMATION



VICINITY MAP
NTS



- NOTES:
1. EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE DEMOLITION BEGINS. SEE SHEET CG-101.
 2. SEE CITY OF WILMINGTON DETAILS FOR DETAIL REFERENCES (SD X-X).
 3. SEE PLANS C-501 TO C-508 FOR UN-REFERENCED DETAILS.
 4. SEC. 18-482 (d)(4): PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.



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 Engineers and Scientists
 220 Old Dairy Road
 Wilmington, NC 28405
 Corporate License No. for Engineering Services C-6585



Mar 11 2014 4:27 PM

PROJECT TITLE
CITY OF WILMINGTON FIRE DEPARTMENT
FIRE STATION No. 3
 114 CINEMA DRIVE
 WILMINGTON, NC 28403

SHEET TITLE
EXISTING CONDITIONS AND DEMOLITION PLAN

MARK	DATE	DESCRIPTION
1	03/11/2014	REVISED PER TRC COMMENTS
	01/17/2014	ISSUED FOR BID

PROJECT NO: 2012169.00
 DATE: 1/17/2014
 SCALE:
 DRAWN BY: LML, KAG | PROJ MGR: LML

CD-101
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EROSION CONTROL MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF - PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. INSPECT SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT, AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN DESIGNATED DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. GRAVEL CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS DEPOSITED ON THE ASPHALT AND STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6 INCH DEPTH.
6. INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1 1/2" OR GREATER) RAINFALL EVENT. CLEAR THE WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

EROSION CONTROL NOTES

1. ANY CONSTRUCTION ACTIVITY BEYOND THE 1.9 ACRE LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE STATE EROSION CONTROL ORDINANCE AND IS SUBJECT TO FINES.
2. CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN ROAD RIGHT OF WAYS UNLESS OTHERWISE DESIGNATED TO REMAIN.
3. CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN THE LIMITS OF CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY UNSUITABLE SOILS.
5. CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. THE CONTRACTOR SHALL FURNISH ANY REQUIRED BORROW MATERIALS FROM A PROPERLY PERMITTED OFF-SITE FACILITY.
7. SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
 - i) ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
 - ii) ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
8. CONDITIONS - IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY:
 - i) EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.
 - ii) ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY THE GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE ARE STEEPER THAN 3:1, THE 7 DAY REQUIREMENT APPLIES.
 - iii) ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7 DAY GROUND COVER REQUIREMENT.
 - iv) SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7 DAY GROUND COVER REQUIREMENT.
 - v) ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE BY CASE BASIS.
 - vi) FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION DEFINED "HIGH QUALITY WATER ZONE" (15A NCAC 04A.0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACT.
 - vii) PORTIONS OF A SITE THAT ARE LOWER IN ELEVATION THAN ADJACENT DISCHARGE LOCATIONS AND ARE NOT EXPECTED TO DISCHARGE DURING CONSTRUCTION MAY BE EXEMPT FROM THE TEMPORARY GROUND COVER REQUIREMENTS IF IDENTIFIED ON THE APPROVED E&S PLAN OR ADDED BY THE PERMITTING AUTHORITY.
9. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE STATE ENGINEERING DEPARTMENT.
10. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
11. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UPON BY THE FIELD INSPECTOR, ENGINEER, AND OWNER.
12. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 CALENDAR DAYS, ALL DISTURBED AREAS MUST BE SEED, MULCHED, AND TACKED UNLESS WRITTEN APPROVAL IS GRANTED BY THE EROSION CONTROL OFFICER.

CONSTRUCTION SEQUENCE

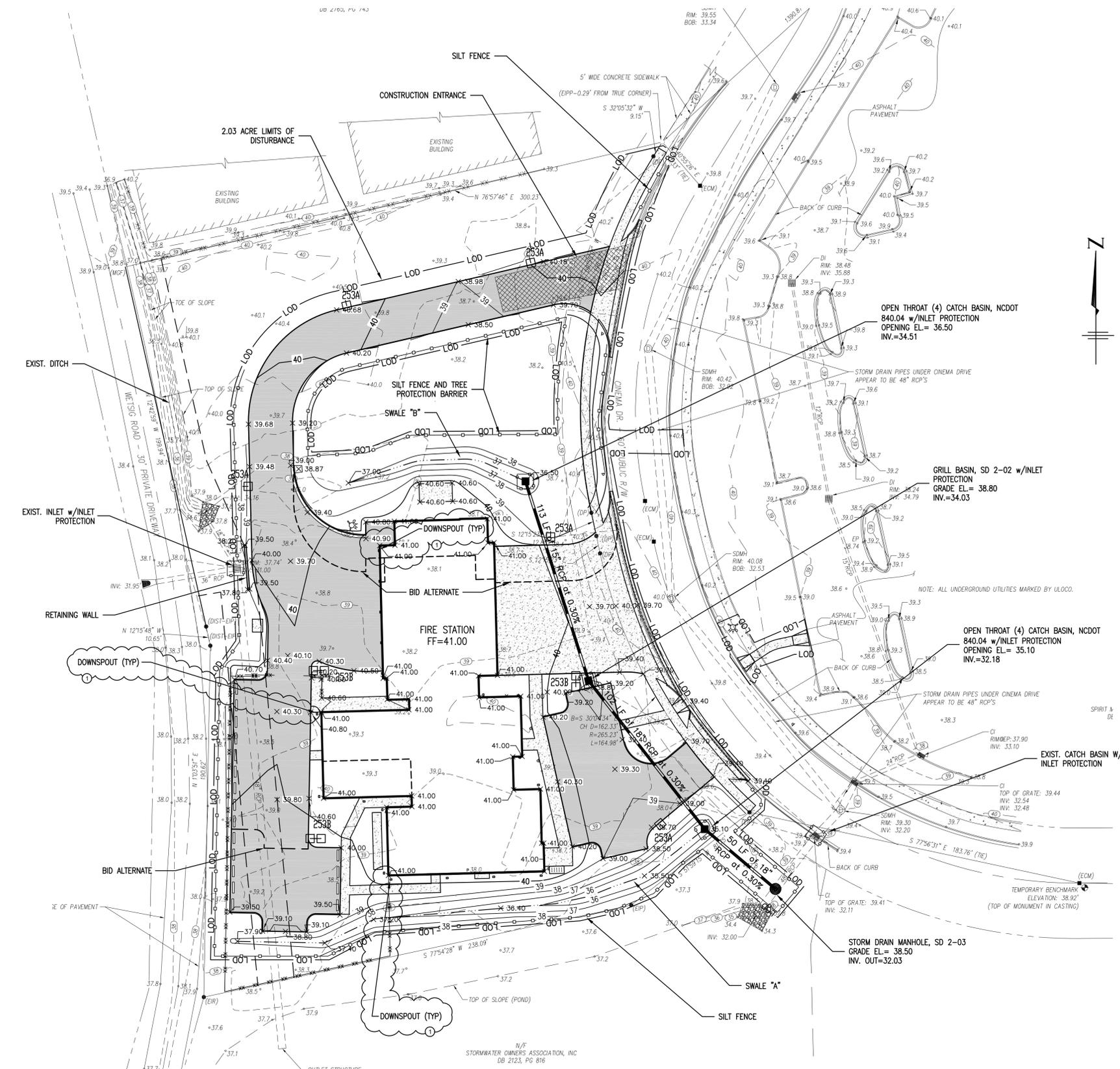
1. OBTAIN ALL NECESSARY PERMIT APPROVALS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. HOLD A PRE-CONSTRUCTION MEETING WITH THE EROSION CONTROL INSPECTOR.
3. INSTALL GRAVEL CONSTRUCTION ENTRANCE, INLET PROTECTION AND SILT FENCE, COMMENCE DEMOLITION, CLEARING AND ROUGH GRADING.
4. ROUGH GRADE SITE AND INSTALL UNDERGROUND UTILITIES.
5. INSTALL CURBING AND ROADWAY BASE AND BEGIN BUILDING CONSTRUCTION.
6. ONCE BUILDING EXTERIOR WORK IS NEAR COMPLETE, PAVE ROADWAYS AND PARKING AREAS AND POUR CONC. WALKS.
7. PROVIDE TEMPORARY PROTECTION MEASURES AND DEVICES AS REQUIRED UNTIL UNDERGROUND UTILITIES AND PAVEMENT IS COMPLETE AND FINAL GRADES ARE STABILIZED WITH TEMPORARY VEGETATIVE COVER.
8. STABILIZE (FERTILIZE, SEED, AND MULCH) ALL DISTURBED AREAS AS SOON AS FINAL GRADES ARE ESTABLISHED.
9. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED, OBTAIN NCDENR'S APPROVAL TO REMOVE TEMPORARY EROSION CONTROL MEASURES.

GRADING NOTES

1. ALL EXCAVATION, GRADING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON TECHNICAL STANDARDS.
2. INITIATE EROSION CONTROL SEQUENCE BEFORE BEGINNING CLEARING, GRUBBING AND GRADING OPERATIONS.
3. CLEAR AREAS TO BE GRADED OF ALL VEGETATION. PROTECT VEGETATION BEYOND GRADING LIMITS.
4. STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED AND STOCKPILE.
5. COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY.
6. ALL BANKS AND SWALE SIDE SLOPES SHALL BE GRADED WITH NO GREATER THAN 3:1 SLOPES.
7. ALL AREAS ARE TO BE GRADED SO THAT NO AREAS OF STANDING WATER OCCUR.
8. PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
9. OPERATOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTIONS INDICATED ON THE PLAN.

SEED SCHEDULE

1. FOLLOW RECOMMENDATIONS OF SOIL TEST OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER.
2. APPLY 4,000 LBS/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL.
3. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
4. REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.
5. RESEED AND MULCH AREAS WHERE SEEDING EMERGENCE IS POOR, OR WHEN EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.

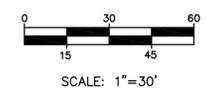


TEMPORARY SEEDING

GRASS TYPE	AMOUNT/1000 S.F.	TIME OF SEEDING	INITIAL
RYE GRAIN	1-2 LBS.	AUG 15 - DEC 31	25 LBS. 10-10-10
GERMAN MILLET	1-2 LBS.	MAY 1 - AUG 14	25 LBS. 10-10-10
RYE GRAIN AND ANNUAL LESPEDEZA	2-3 LBS. 1-1.5 LBS.	JAN 1 - APR 30	25 LBS. 10-10-10

PERMANENT SEEDING

GRASS TYPE	AMOUNT/1000 S.F.	TIME OF SEEDING	INITIAL
BERMUDA, COMMON	1-2 LBS.	APRIL THRU JUNE	25 LBS. 10-10-10
FESCUE, TALL (KENTUCKY 31)	5-7 LBS.	JUNE THRU AUG. FEB. THRU OCT.	25 LBS. 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS.	MARCH THRU APRIL	25 LBS. 10-10-10



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Professional Engineer Seal for William M. Janning, State of North Carolina, License No. 10000. Date: Mar 11 2014 4:27 PM.

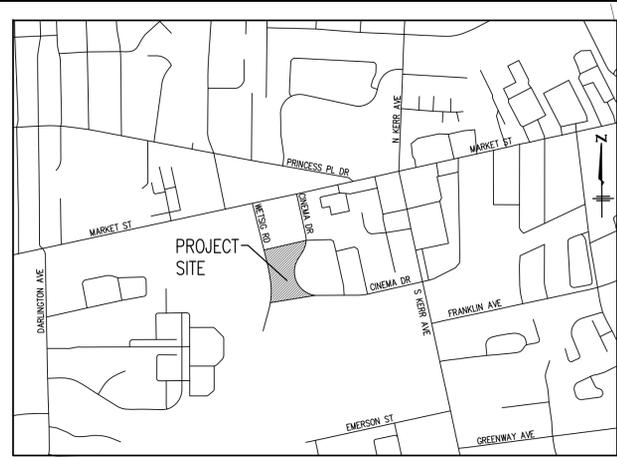
CITY OF WILMINGTON FIRE DEPARTMENT
FIRE STATION No. 3
 114 CINEMA DRIVE
 WILMINGTON, NC 28403

GRADING, DRAINAGE & EROSION CONTROL PLAN

ISSUE BLOCK	MARK	DATE	DESCRIPTION
	1	03/11/2014	REVISED PER TRC COMMENTS
		01/17/2014	ISSUED FOR BID

PROJECT NO: 2012169.00
 DATE: 1/17/2014
 SCALE:
 DRAWN BY: LML, KAG | PROJ MGR: LML

CG-101
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VICINITY MAP
NTS

GENERAL NOTES

1. THE CITY HAS MADE ALL POSSIBLE ATTEMPTS TO LOCATE EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION BY OBSERVATION, ELECTRONIC DEVICES, HAND DIGGING AND PERSONAL CONTACT WITH THE UTILITY COMPANIES. NOTIFY THE CITY OF ANY CONFLICTS. ANY DAMAGE TO UTILITIES INCURRED DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR IS RESPONSIBLE FOR FINES OR LOST SERVICE REVENUE. CONTACT "CAROLINA ONE CALL" (1-800-632-4949) AND AFFECTED UTILITY OWNERS.
2. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE.
3. ALL MATERIALS AND CONSTRUCTION PRACTICES ARE TO IN ACCORDANCE WITH THE CURRENT CITY OF WILMINGTON DETAILS AND SPECIFICATIONS.
4. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
5. MUCKING: CONTRACTOR SHALL COORDINATE WITH CITY REPRESENTATIVES AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
7. MAINTAIN EROSION AND SEDIMENT CONTROL PROCEDURES DURING THE ENTIRE CONSTRUCTION PERIOD. CONTROL DEBRIS AND LOOSE SOIL ON ADJACENT STREETS THROUGH DAILY CLEANING.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE SCONECTION/RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH UTILITY OWNER.
9. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE CITY PRIOR TO INSTALLATION.
10. ALL PAVEMENT BASE AND SUBGRADE SHALL CONFORM TO NCDOT STANDARDS INCLUDING WORKMANSHIP, MATERIALS AND EQUIPMENT AND IN ACCORDANCE WITH THE SPECIFICATIONS. SITE DETAILS WITH REFERENCES SD X-XX SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATION MANUAL. APPROPRIATE BARRICADES, SIGNS, LIGHTS OR OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH NCDOT, ILM, AND MUTCD STANDARDS.
11. TOPSOIL SHALL BE STOCKPILED SEPARATE FROM EXCAVATED MATERIAL ON SITE AND READY FOR REUSE.
12. EXISTING TOPOGRAPHY, STRUCTURES, UTILITIES AND SITE FEATURES ARE GENERALLY SHOWN SCREENED AND/OR LIGHT LINES. NEW FINISH GRADE, STRUCTURES, UTILITIES AND SITE FEATURES ARE GENERALLY SHOWN AS HEAVY LINES.
13. ALL RADII ARE TO EDGE OF PAVEMENT.
14. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.
15. ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND NCDOT STANDARDS.
16. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
17. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
18. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
19. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET (CINEMA DRIVE). CONTACT 341.7888 FOR ADDITIONAL DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
20. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
21. CONTACT THE CITY TRAFFIC ENGINEER AT 341.7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
22. STABLE, PERMANENT VEGETATIVE COVER MUST BE EVIDENT IN ORDER TO PASS THE FINAL INSPECTION FOR C/O.

GEOTECHNICAL NOTES

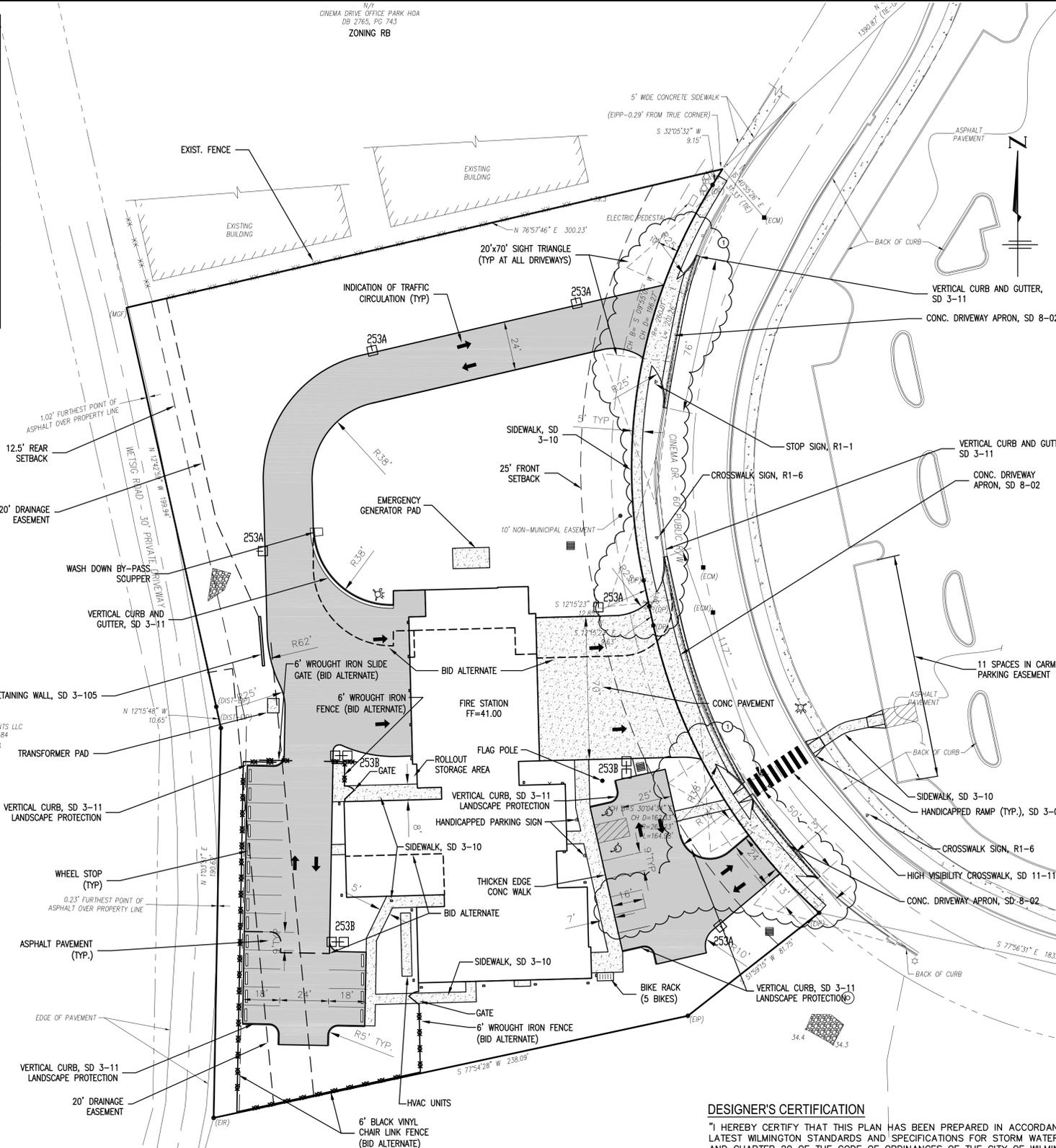
1. GEOTECHNICAL SUBSURFACE CONDITIONS OF THIS PROJECT CAN BE FOUND IN THE GEOTECHNICAL REPORT PREPARED BY CATLIN ENGINEERS AND SCIENTISTS DATED AUGUST 2013.
2. INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT IS LIMITED, BASED ON DATA OBTAINED FROM BORING LOGS AND LABORATORY TESTING THAT SHOW SUBSURFACE CONDITIONS ONLY AT THE SPECIFIC LOCATION AND TIME INVESTIGATED AND ONLY TO THE DEPTH PENETRATED. SUBSURFACE CONDITIONS AND GROUNDWATER LEVELS AT OTHER LOCATIONS OR DEPTHS MAY DIFFER FROM CONDITIONS OCCURRING AT INVESTIGATED LOCATIONS. THE PASSAGE OF TIME MAY ALSO RESULT IN CHANGED CONDITIONS AT THESE LOCATIONS. IF, DURING CONSTRUCTION, SUBSURFACE CONDITIONS ARE FOUND TO VARY FROM THOSE DESCRIBED IN THE GEOTECHNICAL REPORT, GEOTECHNICAL RECOMMENDATIONS SHOULD BE RE-EVALUATED.
3. THE GEOTECHNICAL REPORT INCLUDES BOTH FACTUAL AND INTERPRETED INFORMATION. FACTUAL INFORMATION IS DEFINED AS OBJECTIVE DATA BASED ON DIRECT OBSERVATIONS, SUCH AS BORING LOGS AND LABORATORY TESTING RESULTS. INTERPRETED INFORMATION OR GEOTECHNICAL ENGINEERING INTERPRETATION IS BASED ON THE ENGINEERING JUDGMENT, CORRELATION OR EXTRAPOLATION FROM FACTUAL INFORMATION. NO WARRANTIES, EXPLICIT OR IMPLIED, ARE PROVIDED FOR INTERPRETED INFORMATION.

NOTES

1. SEE CITY OF WILMINGTON DETAILS FOR DETAIL REFERENCES (SD X-X).
2. SEE FHWA MUTCD FOR SIGN REFERENCES (R1-X).
3. SEE PLANS C-501 TO C-503 FOR UN-REFERENCED DETAILS.

SURVEY NOTES

1. EXISTING TOPOGRAPHIC SURVEY DATA SHOWN WAS SURVEYED BY ATLANTIC COAST SURVEY, PLLC, WILMINGTON, N.C. HORIZONTAL REFERENCE DATUM NAD 83. VERTICAL DATUM NAVD 88.



SITE DATA

AREA = 2.26 ACRES
 PIN # R04914-005-021-000
 ZONING = RB (REGIONAL BUSINESS)
 PRINCIPAL USAGE = FIRE STATION
 CAMA LAND USE CLASSIFICATION = URBAN
 PROPOSED BUILDING AREA = 14,620 SF
 ALTERNATE PROPOSED BUILDING AREA = 12,411 SF
 TYPE OF CONSTRUCTION: II-B
 BUILDING HEIGHT = 26'

BUILDING SET BACK REQUIREMENTS
 FRONT YARD 25' 55' PROPOSED
 REAR YARD 12.5' 62' PROPOSED
 SIDE YARD NONE 32' PROPOSED

OFF STREET PARKING REQUIREMENTS
 MIN. SPACE SIZE = 8.5' WIDE x 18' LONG
NUMBER OF SPACES REQUIRED
 PUBLIC MEETING ROOM
 1 SPACE PER 4 SEATS
 (72 SEATS / 4) = 18 SPACES
 FIRE STATION CREW
 1 SPACE PER 2 PERSONS
 (36 / 2) = 18 SPACES

TOTAL BICYCLE PARKING = 5

TOTAL PARKING SPACES REQUIRED = 36

SPACES PROVIDED: 23 - 9x18' SPACES
 11 - EXISTING SHARED SPACES
 2 - HANDICAPPED SPACES
 36 TOTAL SPACES

COVERAGE
 BUILDING ROOF LINE 12,411 SF
 ALTERNATE BUILDING ROOF LINE 2,209 SF
 TOTAL 14,620 SF = 14.85%
 CONC. 6,569 SF
 ALTERNATE CONC. 1,347 SF
 TOTAL 7,916 SF

ASPHALT AND CURB 18,533 SF
 ALTERNATE ASPHALT AND CURB 3,582 SF
 TOTAL 22,115 SF

TOTAL IMPERVIOUS AREA 44,651 SF = 45.36%

ALLOWABLE IMPERVIOUS PER NCDENR PERMIT SW960321 = 90%

WATER SYSTEM OWNER = CAPE FEAR PUBLIC UTILITY AUTHORITY
 CURRENT WATER USE = 0 GPD
 PROPOSED WATER USE = 1,200 GPD

SANITARY SEWER OWNER = CAPE FEAR PUBLIC UTILITY AUTHORITY
 CURRENT SEWER USE = 0 GPD
 PROPOSED SEWER USE = 1,200 GPD

ROLL OUTS WILL BE USED FOR SOLID WASTE

NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT AREA
 NO HISTORIC OR ARCHAEOLOGICAL SITES HAVE BEEN IDENTIFIED WITHIN THE PROJECT AREA

PROJECT SITE'S USGS SOIL TYPES = (Se) SEAGATE FINE SAND

THEATER
 N/F
 SPIRIT MASTER FUNDING II, LLC
 DB 49.35, PG 2603
 ZONING RB

DESIGNER'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE LATEST WILMINGTON STANDARDS AND SPECIFICATIONS FOR STORM WATER MANAGEMENT AND CHAPTER 20 OF THE CODE OF ORDINANCES OF THE CITY OF WILMINGTON."

SIGNATURE: GALEN M. JAMISON, PE / PROJECT ENGINEER

DATE: 01/17/2014 REGISTRATION NUMBER: 037531

OWNER'S/DEVELOPER'S CERTIFICATION

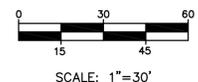
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THE PLAN AND THAT THE APPLICABLE STORMWATER MANAGEMENT CONDITIONS AND REQUIREMENTS OF THE CITY OF WILMINGTON, THE STATE OF NORTH CAROLINA AND THE FEDERAL GOVERNMENT AND ITS AGENCIES ARE HEREBY MADE PART OF THIS PLAN."

SIGNATURE: PRINTED NAME AND TITLE:

DATE:

WILMINGTON NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



SCALE: 1"=30'

BECKER MORGAN GROUP
 ARCHITECTURE PLANNING
 Wilmington, NC
 3205 Randall Parkway, Suite 211
 Wilmington, NC 28403
 910.341.7600
 Salisbury, MD
 312 West Main St. Suite 300
 Salisbury, MD 21801
 410.546.9100
 Dover, DE
 309 S Governors Ave
 Dover, DE 19904
 302.734.7950
 www.beckermorgan.com

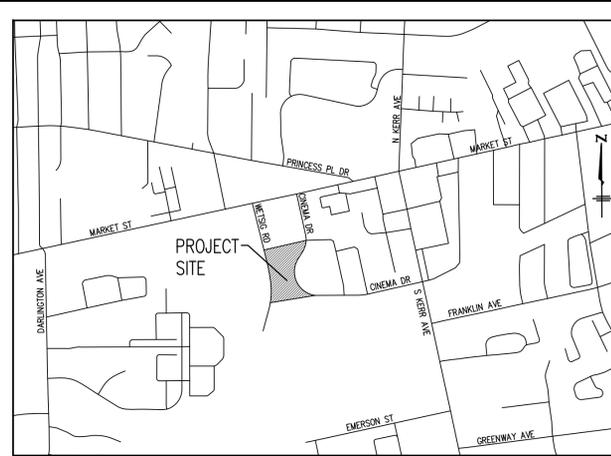
CATLIN
 Engineers and Scientists
 220 Old Dairy Road
 Wilmington, NC 28405
 Corporate License No. for Engineering Services C-6585

Professional Engineer Seal for GALEN M. JAMISON, PE, No. 037531, State of North Carolina.
 Mar 11 2014 4:29 PM

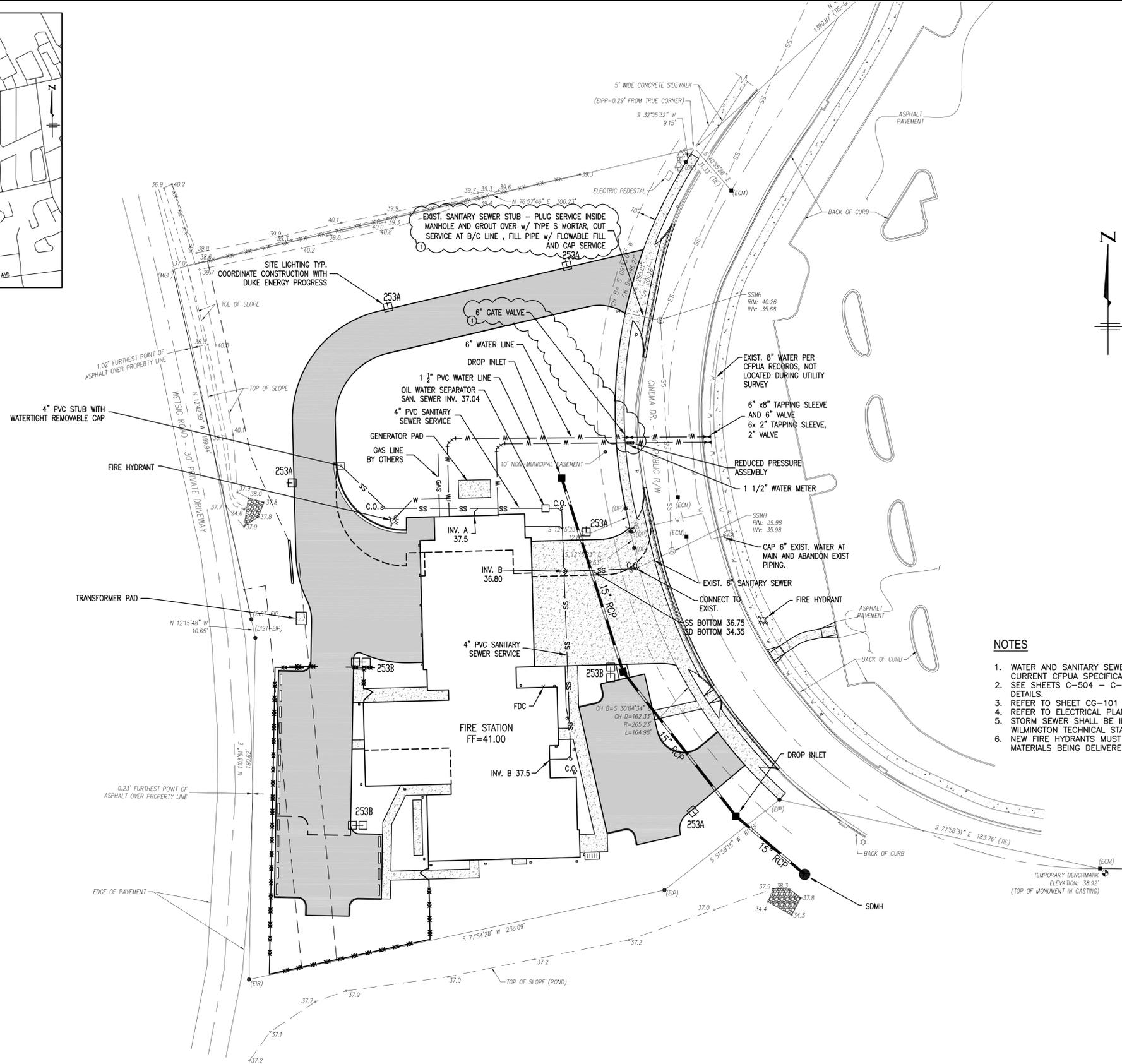
PROJECT TITLE: FIRE STATION No. 3
 114 CINEMA DRIVE
 WILMINGTON, NC 28403

SHEET TITLE: SITE PLAN

MARK	DATE	DESCRIPTION
1	03/11/2014	REVISED PER TRC COMMENTS
	01/17/2014	ISSUED FOR BID
PROJECT NO: 2012169.00		
DATE: 1/17/2014		
SCALE:		
DRAWN BY: LML, KAG PROJ MGR: LML		
CS-101		
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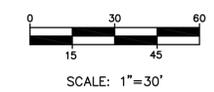


VICINITY MAP
NTS



NOTES

1. WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE CURRENT CFPWA SPECIFICATIONS AND DETAILS.
2. SEE SHEETS C-504 - C-508 FOR WATER AND SANITARY SEWER DETAILS.
3. REFER TO SHEET CG-101 FOR STORM DRAIN INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
5. STORM SEWER SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATION MANUAL.
6. NEW FIRE HYDRANTS MUST BE IN SERVICES PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.



BECKER MORGAN GROUP
 ARCHITECTURE PLANNING
 Wilmington, NC
 3205 Randall Parkway, Suite 211
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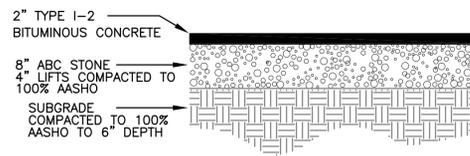
Mar 11 2014 4:29 PM

PROJECT TITLE
CITY OF WILMINGTON FIRE DEPARTMENT
FIRE STATION No. 3
 114 CINEMA DRIVE
 WILMINGTON, NC 28403

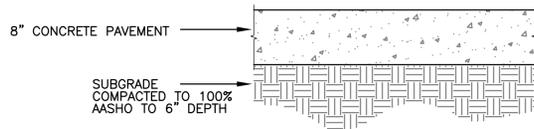
SHEET TITLE
UTILITY PLAN

ISSUE BLOCK	
MARK	DESCRIPTION
1	03/11/2014 REVISED PER TRC COMMENTS
	01/17/2014 ISSUED FOR BID
PROJECT NO: 2012169.00	
DATE: 1/17/2014	
SCALE:	
DRAWN BY: LML, KAG PROJ MGR: LML	

CU-101
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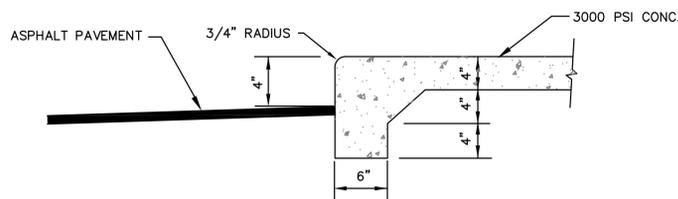


ASPHALT PAVEMENT SECTION
NOT TO SCALE

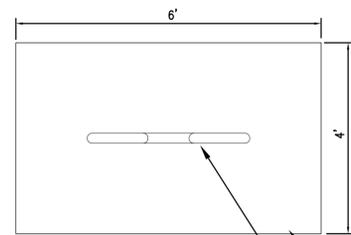


CONCRETE PAVEMENT SECTION
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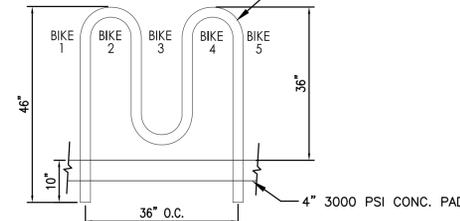
NOTE:
1. ALL CONCRETE PAVEMENT SHALL BE CONSTRUCTION IN ACCORDANCE WITH NCDOT SPECIFICATIONS USING 650 PSI (FLEXURAL) CONCRETE, CLASS PAVEMENT.
2. CONTRACTOR TO SUBMIT CONCRETE JOINT PLAN AND DETAILS.



THICKENED EDGE SIDE WALK
NOT TO SCALE

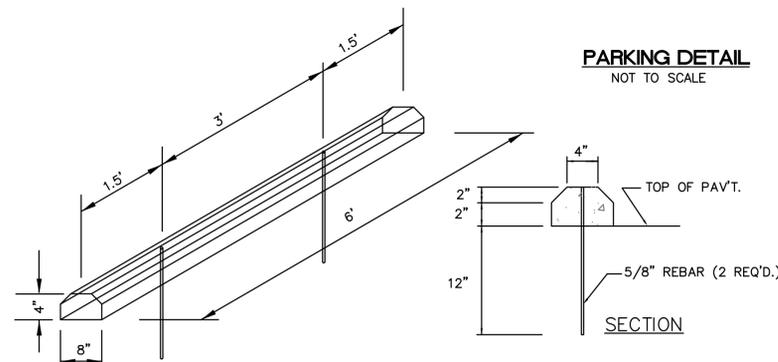


PLAN VIEW

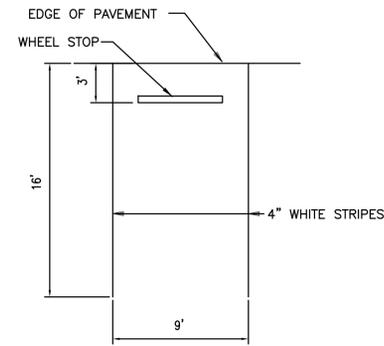


FRONT VIEW

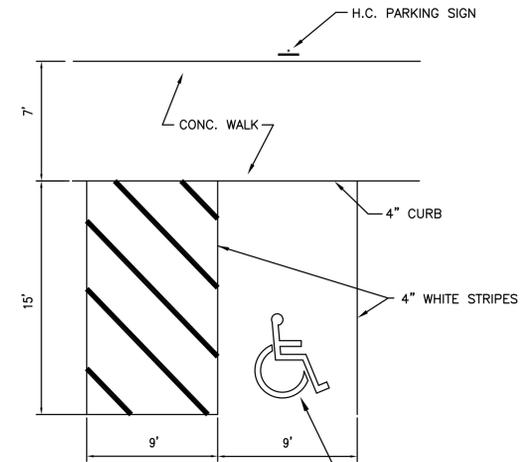
BIKE RAKE DETAIL
NOT TO SCALE



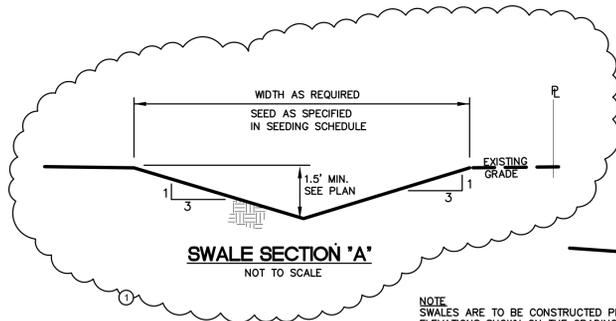
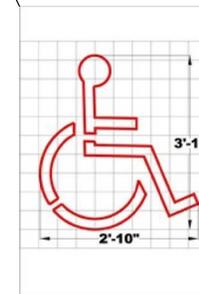
WHEEL STOP DETAIL
NOT TO SCALE



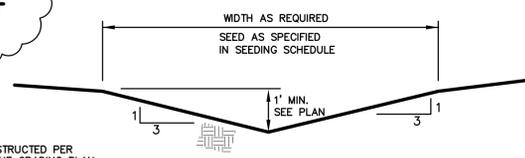
PARKING STALL



HANDICAPPED PARKING STALL

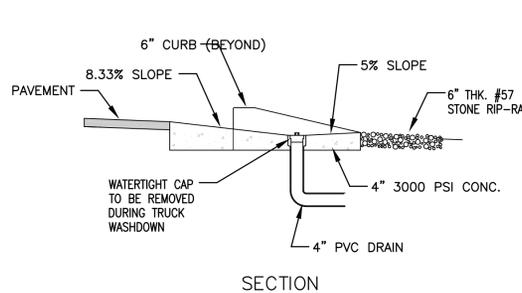


SWALE SECTION 'A'
NOT TO SCALE



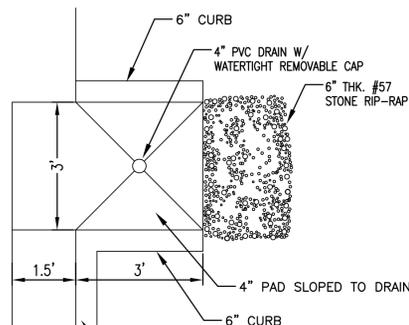
SWALE SECTION 'B'
NOT TO SCALE

NOTE:
SWALES ARE TO BE CONSTRUCTED PER ELEVATIONS SHOWN ON THE GRADING PLAN CG-101

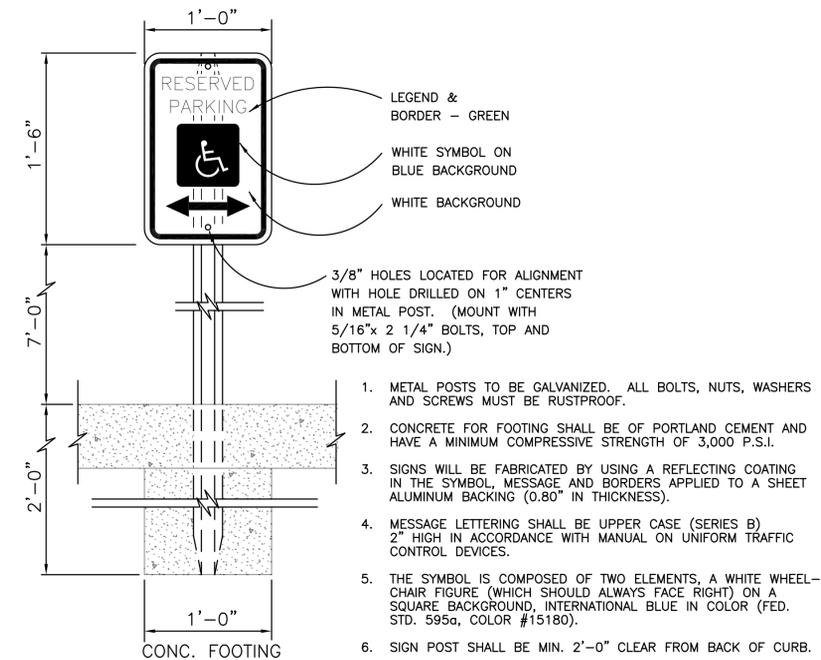


SECTION

WASH DOWN BY-PASS
NOT TO SCALE



PLAN VIEW



TYPE R7-8 SIGN FOR THE PHYSICALLY HANDICAPPED
NOT TO SCALE



Mar 11 2014 4:26 PM

MARK	DATE	DESCRIPTION

PROJECT NO:	2012169.00
DATE:	1/17/2014
SCALE:	
DRAWN BY:	LML, KAG PROJ MGR: LML



Howard T. Capps & Associates, Inc.
Land Planning Landscape Architecture

4108 Breewood Drive, Suite 102
Wilmington, North Carolina, 28412
Phone: (810) 785-7700



PROJECT TITLE



FIRE STATION No. 3
114 CINEMA DRIVE
WILMINGTON, NC 28403

SHEET TITLE

LANDSCAPE PLAN

ISSUE BLOCK

MARK	DATE	DESCRIPTION
3/10/14	Revised per TRC Comments	

PROJECT NO: 2012169.00

DATE: 1/17/2014

SCALE:

DRAWN BY: RHC PROJ MGR: HTC

L1

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KEY NO.	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	HT.	REMARKS
LARGE SHADE TREE							
1	2	QUERCUS VIRGINIANA	LIVE OAK	MB	2 1/2"-3"	10'-12'	
2	9	PRUNUS SERRULATA	YOSHINO CHERRY	MB	2 1/2"-3"	10'-12'	
SMALL SHADE TREE							
3	6	LAGERSTROEMIA INDICA	CREPE MYRTLE	MB	2 1/2"	8'-10'	VAR. MUSKAGEE
4	2	ACER PALMATUM	JAPANESE MAPLE	25 GAL.	2 1/2"	8'-0"	VAR. BLOODGOOD
SHRUBS / GROUND COVER							
5	20	OPHIOPOGON JAPONICUS	MONDO GRASS	1 GAL.			1' O.C.
6	59	ALEX VOMITORIA NANA	DWARF YALPON	3 GAL.			4' O.C.
7	58	JUNPERUS DAURICA PARSONI	PARSONS JUNPER	3 GAL.			5' O.C.
8	21	PITTIOSPORUM TOBIRA	PITTIOSPORUM	7 GAL.			8' O.C.
9	35	PITTIOSPORUM TOBIRA NANA	WHEELER'S DWARF	3 GAL.			3' O.C.
10	42	HEMEROCALLIS HYBRIDA	DAYLILY	1 GAL.			3' O.C. STELLA D'ORE
11	10	HEMEROCALLIS HYBRIDA	DAYLILY	1 GAL.			3' O.C. HYPERBOL
12	99	MULLENBERGIA CAPILLARIS	PINK MOULY GRASS	3 GAL.			2' O.C.
13	17	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	1 GAL.			2' O.C.
14	6	PANICUM VIRGATUM	CLOUD NINE TALL SWITCHGRASS	3 GAL.			3' O.C.
15	52	PENNESETUM ALOPECUROIDES "CASSIAN"	DWARF MOUNTAIN GRASS	3 GAL.			3' O.C.
16	7	PENNESETUM ALOPECUROIDES "FOXTROT"	GIANT FOUNTAIN GRASS	3 GAL.			3' O.C.
17	38	OSMANTHUS X FORTUNII	FORTUNE TEA OLIVE	10 GAL.			8' O.C.
18	14	PYRACANTHA COCCINEA	SCARLET FIRETHORN	7 GAL.			8' O.C.

NOTE:
The key number refers to the Plant List. Where there is only one number, it is the key number and the Quantity is one. Where there are two numbers connected by a dash, the first is the key number and the second is the quantity required for the planting bed indicated.
B&B = Ball and Burlap
WB = Wire Basket
Cont. = Container grown

All plant bed areas shall be covered in a minimum of 3" of clean long leaf pine needle mulch.
THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND FLAGGING ALL UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH ANY EXCAVATION WORK. IF ANY DAMAGE IS DONE TO EXISTING OR NEW UTILITIES, ALL NECESSARY REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO COST TO THE OWNER.

CALL: 1-800-632-4848 TO LOCATE UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
GAS LINES ARE LOCATED ON SITE. CONTRACTOR TO VERIFY WITH OWNER OR OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH ANY EXCAVATION.

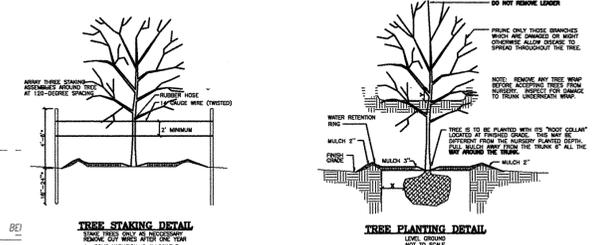
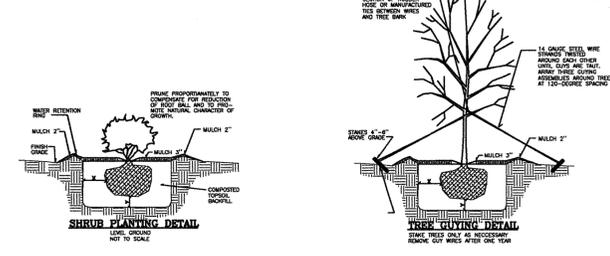
NOTE:
THE PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR. IN THE EVENT THERE IS A DIFFERENCE IN QUANTITY BETWEEN PLANT QUANTITIES IN THE PLANT LIST AND PLANT QUANTITIES ON THE PLAN, THE CONTRACTOR SHALL USE THE QUANTITY SHOWN ON THE PLAN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUANTITY DIFFERENCE.

SOD AREAS AS NOTED ON DRAWING WITH EMERALD ZOYSIA. SEE CIVIL DRAWING SHEET CG-101 FOR PERMANENT SEEDING OF DISTURBED AREAS NOT IDENTIFIED ON SHEET L-1 AS SOD AREA. SEE CIVIL DRAWING FOR LOCATION AND DETAIL OF TREE PROTECTION FENCING.

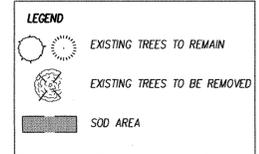
SEC. 18-462 (a)(4): PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES, AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

FOUNDATION PLANTING

FACADE LENGTH	BLDG. HEIGHT	MULTIPLYER	REQUIRED	PROVIDED
A 107'	10.75'	12%	138	878
B 64'	10.75'	12%	83	844
C 43'	10.75'	12%	56	1,155



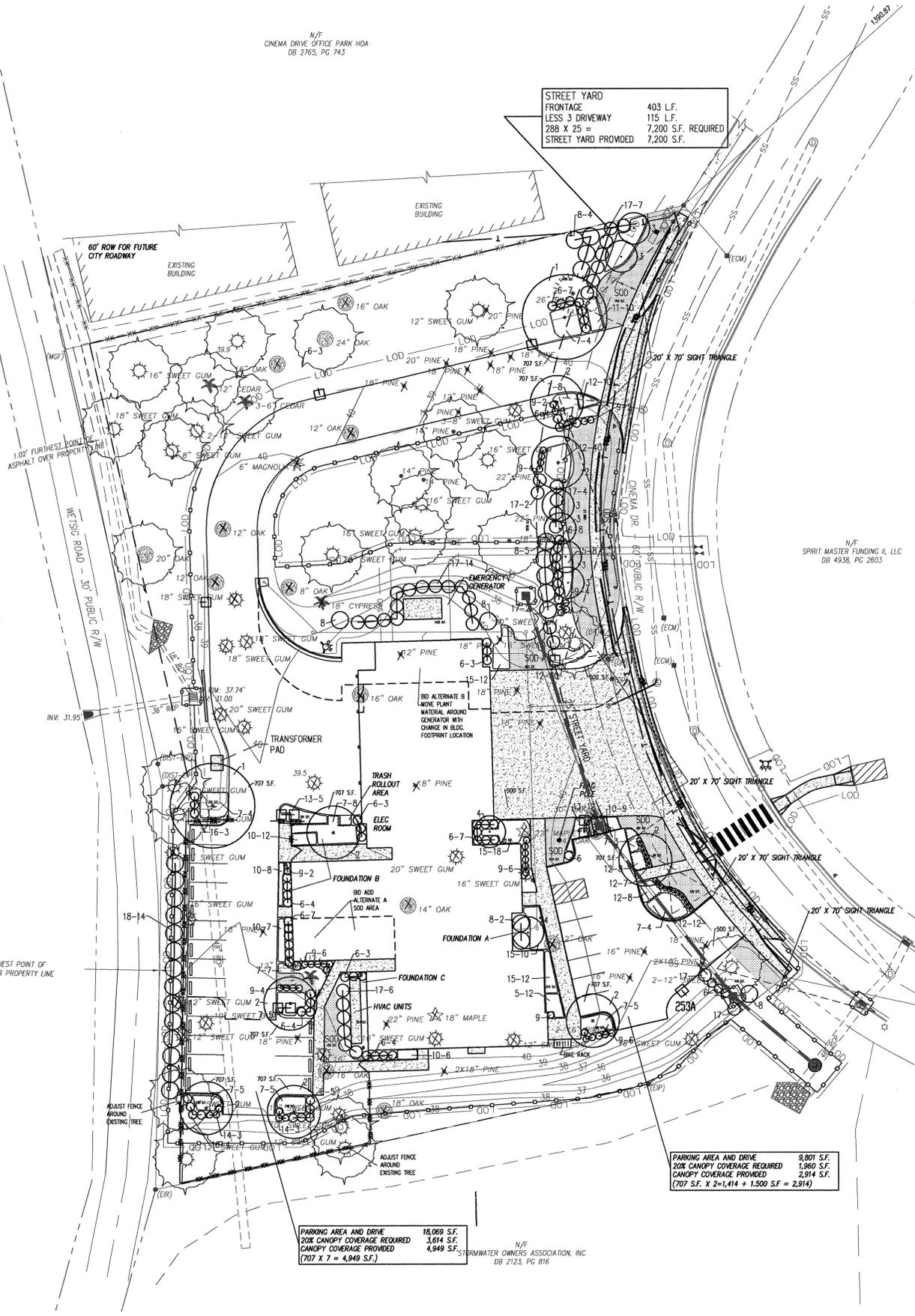
DATE	PLANTING	HOLES	SIZE
W	5'-12"	6"	3"
T	12'-36"	12"	6"
30" AND UP	1/20"	12"	



TREES TO BE REMOVED

TREE SIZE & TYPE	S	R	A	REASON
18" PINE	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
12" PINE	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
20" PINE	*	*	*	IN DRIVEWAY
12" PINE	*	*	*	IN DRIVEWAY
3-8" SWEET GUM	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
12" OAK	*	*	*	IN DRIVEWAY
6" MAGNOLIA	*	*	*	IN DRIVEWAY
12" OAK	*	*	*	IN DRIVEWAY
12" OAK	*	*	*	IN DRIVEWAY
18" SWEET GUM	*	*	*	IN DRIVEWAY
18" SWEET GUM	*	*	*	IN DRIVEWAY
18" SWEET GUM	*	*	*	IN DRIVEWAY
20" SWEET GUM	*	*	*	IN DRIVEWAY
15" SWEET GUM	*	*	*	IN DRIVEWAY
ND SIZE SWEET GUM	*	*	*	IN DRIVEWAY BACK OF BLDG.
16" OAK	*	*	*	IN BUILDING FOOTPRINT
12" PINE	*	*	*	IN BUILDING FOOTPRINT
18" PINE	*	*	*	IN BUILDING FOOTPRINT
18" PINE	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
20" SWEET GUM	*	*	*	IN BUILDING FOOTPRINT
14" OAK	*	*	*	IN BUILDING FOOTPRINT
22" PINE	*	*	*	IN BUILDING FOOTPRINT
18" MAPLE	*	*	*	IN BUILDING FOOTPRINT
16" SWEET GUM	*	*	*	IN BUILDING FOOTPRINT
12" SWEET GUM	*	*	*	IN BUILDING FOOTPRINT
2-16" PINE	*	*	*	IN DRIVEWAY
12" OAK	*	*	*	IN BUILDING FOOTPRINT
16" PINE	*	*	*	IN DRIVEWAY
16" PINE	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
2-16" PINE	*	*	*	IN DRIVEWAY
16" SWEET GUM	*	*	*	IN BUILDING FOOTPRINT
16" SWEET GUM	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
10" SWEET GUM	*	*	*	IN DRIVEWAY
12" SWEET GUM	*	*	*	IN DRIVEWAY
18" PINE	*	*	*	IN DRIVEWAY
16" SWEET GUM	*	*	*	IN BUILDING FOOTPRINT
12" CEDAR	*	*	*	IN BUILDING FOOTPRINT
22" MAPLE	*	*	*	BUILDING FOUNDATION
18" PINE	*	*	*	BUILDING FOUNDATION
20" PINE	*	*	*	LIGHTNING DAMAGE
16" OAK	*	*	*	LARGE ROTTEN SPOT
16" OAK	*	*	*	LARGE CAVITY IN BASE
14" OAK	*	*	*	REMOVE RIGHT SIDE OF TREE
8" OAK NEAR DRIVE	*	*	*	REMOVE / TREE ON DIRT BALL
18" CYPRESS	*	*	*	REMOVE DUE TO GRADING
12" SWEET GUM	*	*	*	CAVITY AT BASE OF TREE
12" SWEET GUM	*	*	*	CAVITY / INCLUDED BARK
12" SWEET GUM	*	*	*	BARK MISSING / DECAY
16" GUM	*	*	*	LEANING TOWARD PARKING LOT
30" OAK	*	*	*	REMOVE / TO CLOSE TO DRIVEWAY
10" SWEET GUM	*	*	*	REMOVE / OPEN FOR 16" SWEET GUM
18" OAK	*	*	*	SITE GRADING
2 X 18" PINE	*	*	*	SITE GRADING

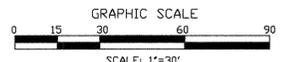
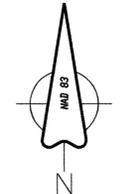
S = SIGNIFICANT TREE
R = REGULATED TREE
A = REMOVED BASED ON CITY ARBORIST COMMENT



STREET YARD
FRONTAGE 403 L.F.
LESS 3 DRIVEWAY 115 L.F.
288 X 25 = 7,200 S.F. REQUIRED
STREET YARD PROVIDED 7,200 S.F.

PARKING AREA AND DRIVE
20% CANOPY COVERAGE REQUIRED 1,960 S.F.
CANOPY COVERAGE PROVIDED 2,914 S.F.
(707 X 7 = 4,949 S.F.)

PARKING AREA AND DRIVE
20% CANOPY COVERAGE REQUIRED 3,614 S.F.
CANOPY COVERAGE PROVIDED 4,949 S.F.
(707 X 7 = 4,949 S.F.)



SCALE: 1"=30'

N/F
ARTILLERY INVESTMENTS LLC
DB 5698, PG 2384

N/F
SPIRIT MASTER FUNDING II, LLC
DB 4938, PG 2803

N/F
SEAWATER OWNERS ASSOCIATION, INC
DB 2123, PG 816