



**SITE DATA**  
 PROJECT NAME: CAROLINA COLLISION OF WILMINGTON  
 SITE ADDRESS: 4400 OLEANDER DRIVE  
 PARCEL ID for RB ZONED TRACTS: R06106-003-003-000  
 R06106-008-020-000  
 R06106-003-021-000  
 PARCEL ID for R15 ZONED TRACTS: R06106-003-021-000  
 PROPERTY OWNER: CAROLINAS COLLISION OF WILMINGTON, LLC

CURRENT ZONING: RB & R-15  
 PROPOSED ZONING: RB & R-15  
 PROPOSED USE: AUTOMOTIVE CARE  
 TOTAL SITE AREA: 1.858 AC + 0.285 AC + 0.565 (TOTAL 2.708 AC)

EXISTING BUILDING AREA: 10,620 SF  
 PROPOSED BUILDING AREA: 15,849 SF  
 TOTAL BUILDING AREA: 26,469 SF  
 PROPOSED BUILDING HEIGHT: 22 FEET  
 NUMBER OF BUILDINGS: 2  
 LOT COVERAGE: 22.4%  
 CAMA LAND USE: URBAN

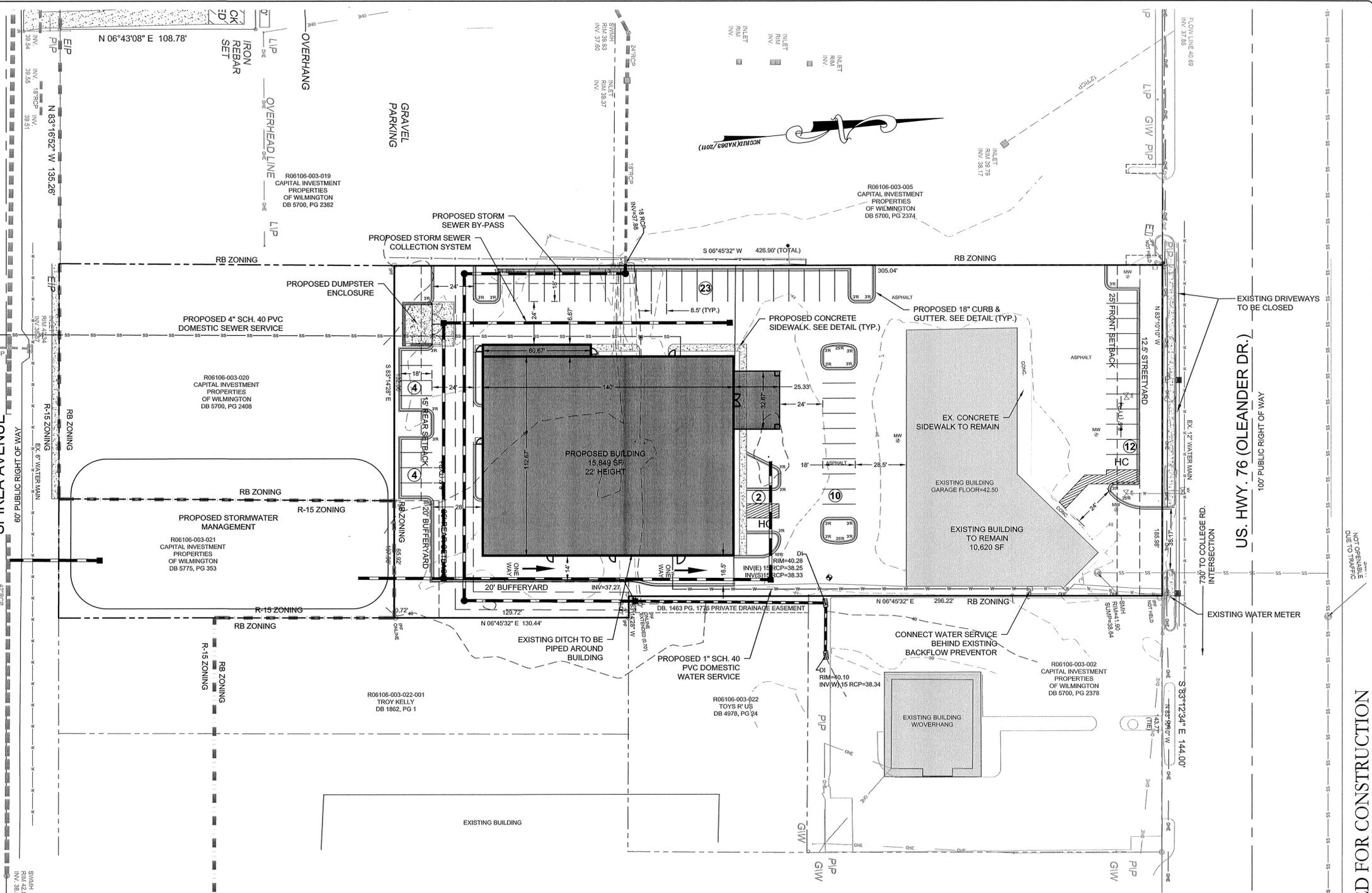
**DIMENSIONAL REQUIREMENTS**  
 - RB - REGIONAL BUSINESS  
 - MINIMUM LOT AREA: 1-ACRE  
 - MINIMUM LOT WIDTH: 100'  
 - MAXIMUM LOT COVERAGE: 40%  
 - MINIMUM FRONT BLDG SETBACK: 25'  
 - MINIMUM REAR SETBACK: 15'  
 - MINIMUM REAR SETBACK (AGAINST R-15): 25'  
 - MINIMUM SIDE SETBACK: 0'  
 - MAXIMUM BUILDING HEIGHT: 35'

**PARKING**  
 MINIMUM REQUIRED (1 SPACE/600 SF GROSS FLOOR AREA): 44 SPACES  
 MAXIMUM ALLOWED (1 SPACE/400 SF GROSS FLOOR AREA): 66 SPACES  
 TOTAL PROVIDED: 55 SPACES

**IMPERVIOUS COVERAGE**  
 EXISTING: 42,858 SF  
 PROPOSED: 31,066 SF  
 TOTAL: 73,924 SF

**HVAC NOTE:**  
 HVAC WILL BE LOCATED ON THE GROUND AND SCREENED.

**FLOOD NOTE:**  
 THIS TRACT LIES WITHIN DESIGNATED FLOOD ZONE X, ACCORDING TO FEMA FIRM COMMUNITY-PANEL NUMBER 3720313600J, BEARING AN EFFECTIVE DATE OF APRIL 3, 2006. ZONE "X" INCLUDES AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOODPLAIN.



- GENERAL NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
  - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
  - GENERAL CONTRACTOR TO COORDINATE THE SIDEWALK CLOSURE AND PEDESTRIAN ACCESS PLAN WITH SKIPPER FUNDERBURG, [Skipper.Funderburg@wilmingtonnc.gov](mailto:Skipper.Funderburg@wilmingtonnc.gov), PRIOR TO ANY SIDEWALK CLOSURES.
  - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.
  - ALL HVAC EQUIPMENT WILL BE LOCATED ON THE ROOF.
  - ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ADJUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
  - THE CITY SHALL BE NOTIFIED IMMEDIATELY OF ANY TRAFFIC SIGNAL FACILITIES DAMAGED DURING CONSTRUCTION.
  - DAMAGED FACILITIES SHALL BE REPLACED, AT CONTRACTOR/DEVELOPER EXPENSE.

- FIRE & LIFE SAFETY NOTES:**
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS AND PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED ON SITE.
  - HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
  - TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
  - CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
  - UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WFD - DIVISION OF FIRE & LIFE SAFETY AT 910-343-0698 FOR ADDITIONAL INFORMATION.
  - CONSTRUCTION TYPE - IIIA BUSINESS OCCUPANCY (SPRINKLED).
  - ANY FDC MUST BE WITHIN 15' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
  - LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

- CITY OF WILMINGTON SITE PLAN NOTES:**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
  - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING, OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
  - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
  - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  - ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
  - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
  - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
  - CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
  - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
  - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
  - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
  - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
  - WATER AND SEWER SERVICES SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.

- CITY OF WILMINGTON SITE PLAN NOTES (CONT):**
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910.341.3910 FOR INFORMATION.
  - IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 919-343-3910 FOR INFORMATION.
  - ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR OR ASSE.
  - CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
  - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - UNDERGROUND FIRE LINES(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910.341.0698.
  - NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
  - CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 811 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

**UTILITIES:**

PROJECTED AVERAGE DAILY FLOW ESTIMATED THROUGH NCAC 2T RULES.  
 BUSINESS = 25 GAL/EMPLOYEE/HIFT  
 PROPOSED BUILDING = (15 EMPLOYEES) \* 25 GPD = 375 GPD  
 TOTAL = 375 GPD

**LEGEND:**

- OVERHEAD ELECTRIC
- WETLAND DELINEATION
- RIGHT OF WAY/BOUNDARY
- TRANSMISSION POWER ROW
- BOUNDARY LINE
- PROPOSED SETBACKS
- PROPOSED BUFFERS/EASEMENTS
- BUILDING HATCH
- CONCRETE PAVEMENT
- SIDEWALK
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLAN: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON NORTH CAROLINA**  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE  
 SCALE: 1"=30'

**PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION**

**REVISIONS:**

CLIENT INFORMATION:  
 CAROLINAS COLLISION OF WILMINGTON, LLC  
 4900 LEIGH DRIVE  
 RALEIGH, NC 27616

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**SITE & UTILITY PLAN**

4400 OLEANDER DRIVE  
 NEW HANOVER COUNTY  
 WILMINGTON, NORTH CAROLINA

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 PRELIMINARY LAYOUT: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_

**DRAWING INFORMATION:**  
 DATE: \_\_\_\_\_  
 DESIGNED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_

**SEALED**  
 NORTH CAROLINA  
 PROFESSIONAL ENGINEER  
 SEAL  
 03159  
 ROBERT P. BALLARD

**C-2.0**

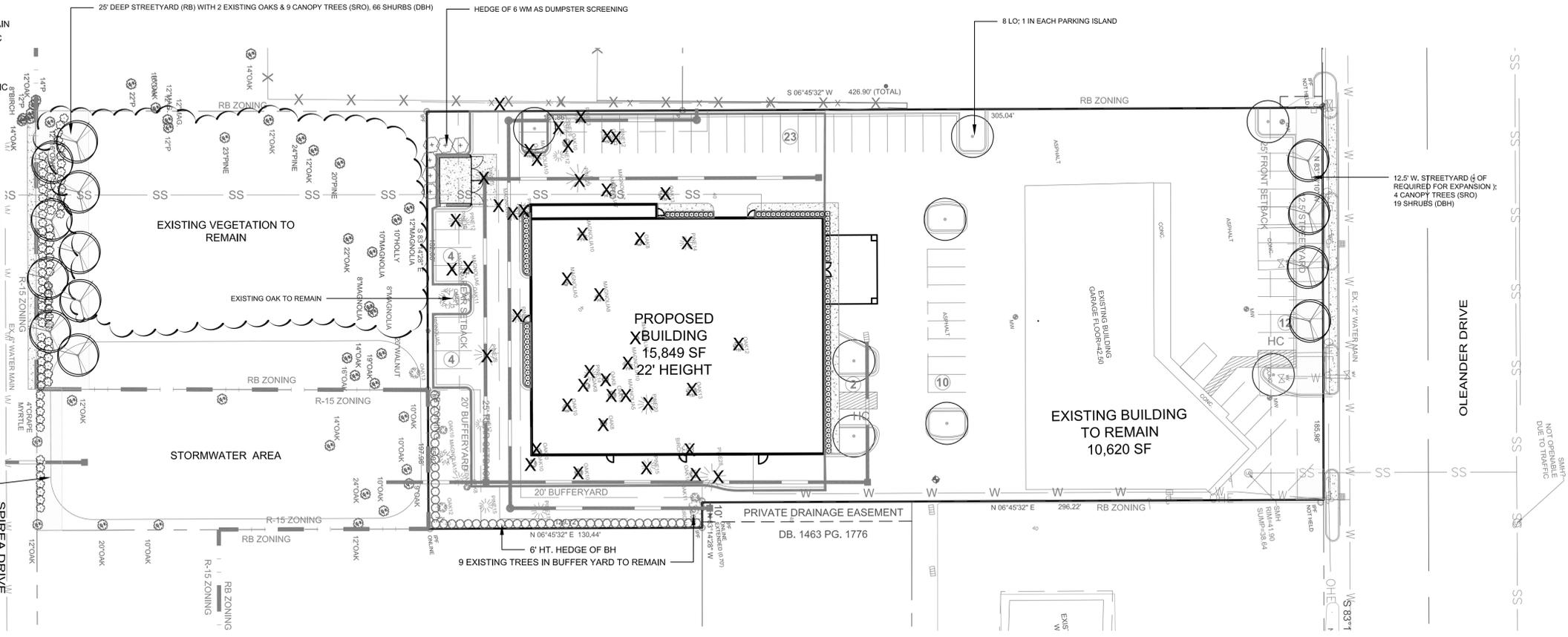
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**LEGEND**

- = EXISTING PROPERTY LINE
- W-W = EXISTING WATER MAIN
- SS = EXISTING FIRE HYDRANT
- SS = EXISTING SANITARY SEWER MAIN
- = EXISTING OVERHEAD ELECTRIC
- WET = WETLAND AREA AREA
- LBM = EX. UNDERGROUND ELECTRIC
- FO-FO-FO = EX. UNDERGROUND FIBER OPTIC
- FO-FO-FO = PROPOSED SANITARY SEWER
- FO-FO-FO = PROPOSED WATER SERVICE
- FO-FO-FO = PROPOSED STORM SEWER
- FO-FO-FO = PROPOSED DROP INLET
- X = EX. TREE TO BE REMOVED

**PLANT SCHEDULE**

TREES	COMMON NAME	SIZE	QTY
	SOUTHERN RED OAK	45 GAL - 10'-12" H	13
	SOUTHERN LIVE OAK	30 GAL	8
SHRUBS	COMMON NAME	CONT	QTY
	SOFT TOUCH HOLLY (2' X 3')	3 GAL	92
	DWARF BURFORD HOLLY	3 GAL	78
	BURFORD HOLLY	15 GAL	49
	WAX MYRTLE	25 GAL - 8' X 4'	6



**SITE INFORMATION**

PARCEL ID for RB ZONED TRACTS: R06106-003-003-000, R06106-006-020-000, R06106-003-021-000

PARCEL ID for R15 ZONED TRACTS: R06106-003-021-000

CURRENT ZONING: RB & R-15  
 PROPOSED ZONING: RB & R-15  
 PROPOSED USE: AUTOMOTIVE CARE  
 TOTAL SITE AREA: 1.858 AC + 0.285 AC + 0.565 (TOTAL 2.708 AC)

EXISTING BUILDING AREA: 10,620 SF  
 PROPOSED BUILDING AREA: 15,849 SF  
 TOTAL BUILDING AREA: 26,469 SF  
 PROPOSED BUILDING HEIGHT: 22 FEET

**DIMENSIONAL REQUIREMENTS**

- RB - REGIONAL BUSINESS
- MINIMUM LOT AREA: 1-ACRE
- MINIMUM LOT WIDTH: 100'
- MAXIMUM LOT COVERAGE: 40%
- MINIMUM FRONT BLDG SETBACK: 25'
- MINIMUM REAR SETBACK: 15'
- MINIMUM REAR SETBACK (AGAINST R-15): 25'
- MINIMUM SIDE SETBACK: 0'
- MAXIMUM BUILDING HEIGHT: 35'+

**PARKING**

MINIMUM REQUIRED (1 SPACE/600 SF GROSS FLOOR AREA): 44 SPACES  
 MAXIMUM ALLOWED (1 SPACE/400 SF GROSS FLOOR AREA): 66 SPACES  
 TOTAL PROVIDED: 55 SPACES

**IMPERVIOUS COVERAGE**

EXISTING: 42,858 SF  
 PROPOSED: 31,086 SF  
 TOTAL: 73,924 SF

**LANDSCAPE CALCULATIONS:**

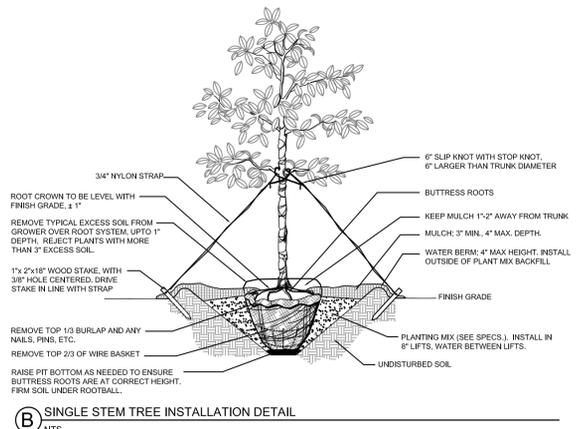
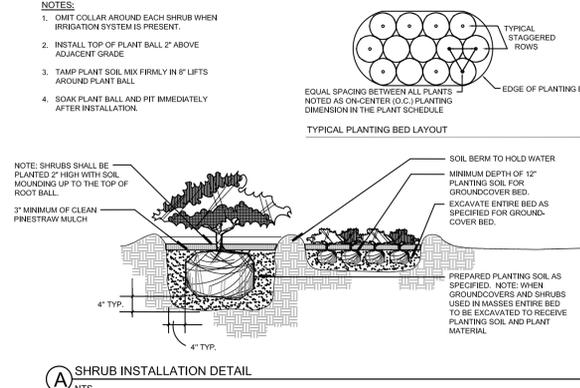
TRACT	REQUIREMENTS	REQ'D	PROV
OLEANDER DRIVE PRIMARY STREETYARD (185.98 LF - 35 LF OF DRIVEWAYS) * 25' * 0.5(EXPANSION)	1 CANOPY / 600 SF (3.15 MULTIPLIER) 6 SHRUBS / 600 SF	1,887.25 SF 19	1,887.25 SF 19
SPIREA DRIVE SECONDARY STREETYARD - R15 ZONE (67.05 LF FRONTAGE R15 - 0 LF OF DRIVEWAYS = 67.05) * 12	1 CANOPY / 600 SF (1.34 MULTIPLIER) 6 SHRUBS / 600 SF	804.6 SF 12	804.6 SF 12
SPIREA DRIVE SECONDARY STREETYARD - RB ZONE (263.32 LF FRONTAGE RB - 0 LF OF DRIVEWAYS = 263.32) * 25	1 CANOPY / 600 SF (10.97 MULTIPLIER) 6 SHRUBS / 600 SF	6,583 SF 66	6,583 SF 66
PARKING AREA INTERIOR (31,066 SF * 20% SHADING)	LARGE SHADE / CANOPY TREES @ 707 SF	6,213 SF 9	13,433 SF 8 NEW, 1 EX
PARKING AREA PERIMETER - N/A			
FOUNDATION PLANTINGS (EXPANSION BUILDING 425 LF * 22 FT HGT * 0.12)		1122 SF	1133 SF
BUFFERYARDS - 20' WIDE			
OVERALL SITE (2.708 AC * 15 TREES / AC)		41	41

MITIGATION - T.B.D., SEE TREE REMOVAL THIS SHEET

**Protected Tree Mitigation Calculations**

Tree Type	Cal Inches	Quantity	Location	Classification	Remediation
Pine	12	2	Parking	Regulated	4
Pine	13	1	Parking	Regulated	4
Pine	14	2	Building	Regulated	5
Pine	15	2	Parking	Regulated	5
Pine	16	2	Parking	Regulated	5
Pine	20	1	Building	Regulated	7
Pine	26	1	Parking	Significant	17
Pine	28	1	Parking	Significant	19
Pine	29	1	Parking	Significant	19
					<b>85</b>
Birch	12	1	Building	Regulated	4
					<b>4</b>
Magnolia	5	2	Parking	Regulated	2
Magnolia	5	3	Building	Regulated	2
Magnolia	6	1	Parking	Regulated	2
Magnolia	7	2	Parking	Regulated	2
Magnolia	8	2	Building	Significant	5
Magnolia	10	1	Parking	Significant	7
Magnolia	10	2	Building	Significant	7
					<b>26</b>
Oak	8	4	Building	Regulated	3
Oak	9	1	Stormwater	Regulated	3
Oak	10	5	Stormwater	Regulated	3
Oak	10	4	Parking	Regulated	3
Oak	10	3	Building	Regulated	3
Oak	11	2	Parking	Regulated	4
Oak	12	1	Building	Regulated	4
Oak	12	2	Stormwater	Regulated	4
Oak	13	1	Stormwater	Regulated	4
Oak	13	1	Parking	Regulated	4
Oak	13	1	Building	Regulated	4
Oak	14	2	Stormwater	Regulated	5
Oak	16	1	Stormwater	Regulated	5
Oak	19	1	Stormwater	Regulated	6
Oak	20	1	Stormwater	Regulated	7
Oak	24	1	Stormwater	Significant	16
					<b>79</b>
					<b>195</b>

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
  - ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
  - NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
  - ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
  - ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
  - PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
  - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
  - THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
  - IF IRRIGATION IS NEEDED, IT SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
  - THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED. ALL MATERIAL INCLUDING SOD AND SEEDING AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
  - CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
  - ALL DISTURBED AREAS SHALL BE SEEDED.



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

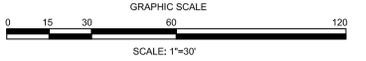
Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_



**REVISIONS:**


CLIENT INFORMATION:  
**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

LANDSCAPE PLAN  
 TRC SUBMITTAL  
 4400 OLEANDER DRIVE  
 CITY OF WILMINGTON  
 NORTH CAROLINA

PROJECT STATUS:  
 CONCEPTUAL LAYOUT:  
 FINAL DESIGN:  
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:  
 DATE: \_\_\_\_\_  
 SCALE: 1"=30'  
 DESIGNED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_

SEAL

**L-1.0**

PEJ JOB#: 16296.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION