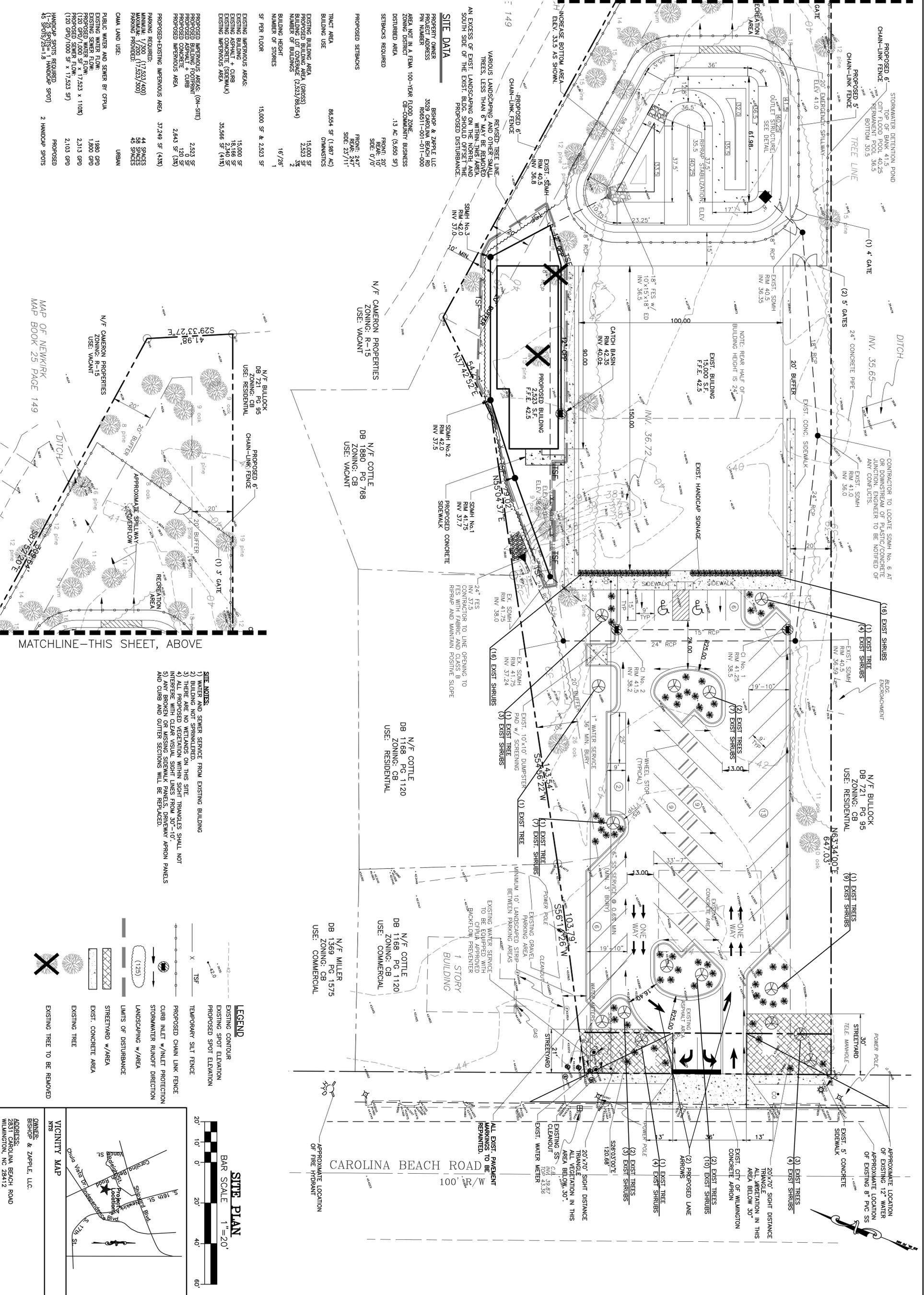


MATCHLINE—THIS SHEET, BELOW



SITE DATA

PROPERTY OWNER: BISHOP & ZAPPE LLC
 PROJECT ADDRESS: 2831 CAROLINA BEACH ROAD
 PIN NUMBER: 08311-001-911-400

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE
 ZONING DISTRICT: CB-COMMUNITY BUSINESS
 DISTURBED AREA: .13 AC (5,650 SF)
 SETBACKS REQUIRED: FRONT: 20' REAR: 10' SIDE: 0/0'

PROPOSED SETBACKS: FRONT: 24/7' SIDE: 23/11'

TRACT AREA: 86,554 SF (1,987 AC)
 BUILDING USE: COMMERCIALS

EXISTING BUILDING AREA (GROSS): 15,000 SF
 PROPOSED BUILDING AREA (GROSS): 2,523 SF
 NUMBER OF BUILDINGS: 2
 BUILDING HEIGHT: 16/26'
 NUMBER OF STORIES: 1
 SF PER FLOOR: 15,000 SF & 2,523 SF

EXISTING IMPERVIOUS AREAS:
 EXISTING ASPHALT + CURB: 18,166 SF
 EXISTING CONCRETE (SIDEWALK): 2,940 SF
 EXISTING IMPERVIOUS AREA: 35,566 SF (41%)

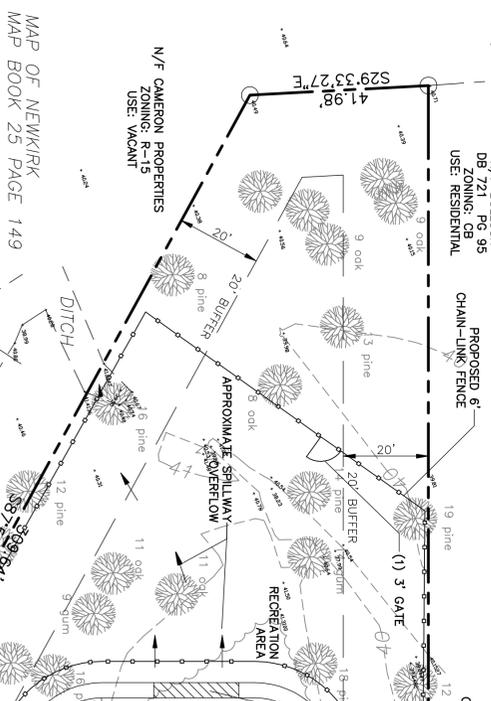
PROPOSED IMPERVIOUS AREAS (ON-SITE):
 PROPOSED BUILDING FOOTPRINT: 2,523 SF
 PROPOSED ASPHALT + CURB: 120 SF
 PROPOSED CONCRETE: 2,643 SF (2%)
 PROPOSED IMPERVIOUS AREA: 5,286 SF (6%)

PARKING REQUIRED: 37,249 SF (43%)
 MINIMUM: 1/200 (17,523/400)
 MAXIMUM: 1/200 (17,523/400)
 PARKING PROVIDED: 44 SPACES
 45 SPACES

CAMA LAND USE: URBAN

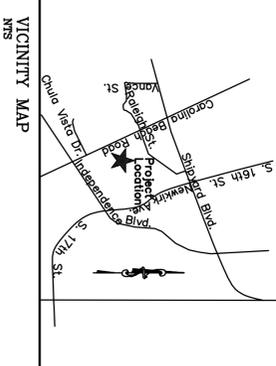
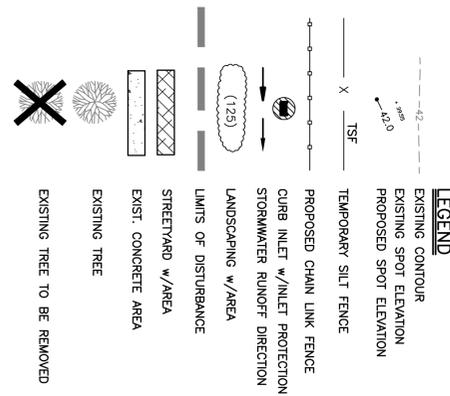
PUBLIC WATER AND SEWER BY CFPUA
 EXISTING WATER FLOW: 1,880 GPD
 EXISTING SEWER FLOW: 1,800 GPD
 PROPOSED WATER FLOW: 2,313 GPD
 PROPOSED SEWER FLOW: 2,103 GPD
 (120 GPD/1,000 SF x 17,523 SF)
 (120 GPD/1,000 SF x 17,523 SF)

HANDICAP SPOTS REQUIRED: 2 HANDICAP SPOTS
 (1-25 SPOTS=1 HANDICAP SPOT)
 (15 SPOTS/25=1.8



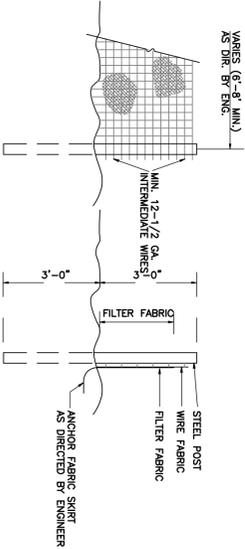
MATCHLINE—THIS SHEET, ABOVE

- SITE NOTES:**
- 1) WATER AND SEWER SERVICE FROM EXISTING BUILDING
 - 2) BUILDING NOT SPRINKLERED.
 - 3) THERE ARE NO WETLANDS ON THIS SITE.
 - 4) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' AND CURE AND GUTTER SECTIONS WILL BE REPLACED.



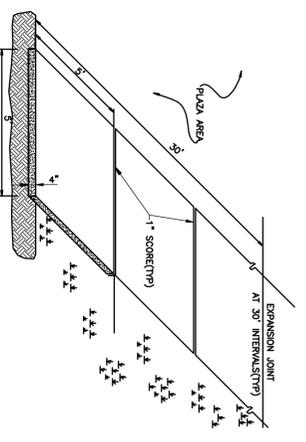
OWNER: BISHOP & ZAPPE, LLC.
 ADDRESS: 2831 CAROLINA BEACH ROAD WILMINGTON, NC 28412

<p>TRIPP ENGINEERING, P.C. 419 Chestnut Street Wilmington, North Carolina 28401 Phone 910-763-5100 Fax 910-763-5631</p>	<p>SITE, GRADING, DRAINAGE, EROSION CONTROL, STORMWATER MANAGEMENT AND UTILITY PLAN CAROLINA GYMNASTICS ACADEMY EXPANSION WILMINGTON, NORTH CAROLINA</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>By</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	By			
		No.	Description	By				
<p>DATE: 05-09-13 DESIGN: PGT DRAWN: EJM</p>	<p>C1 SHEET 1 OF 2 13004</p>							

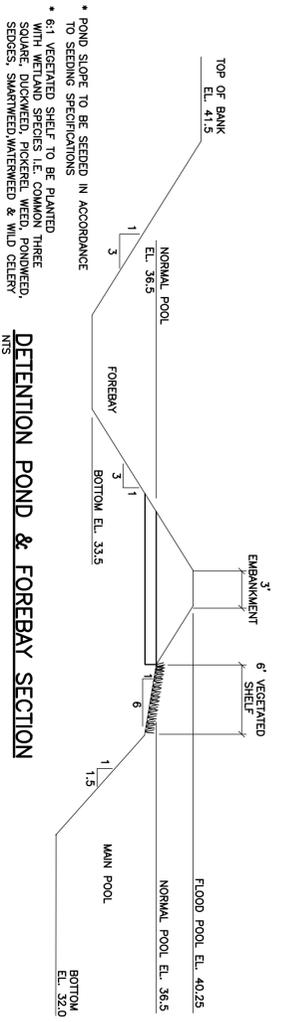


- NOTES:
1. FENCE FABRIC SHALL BE A MIN. OF 22" IN WIDTH AND SPACING.
 2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH.
 3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

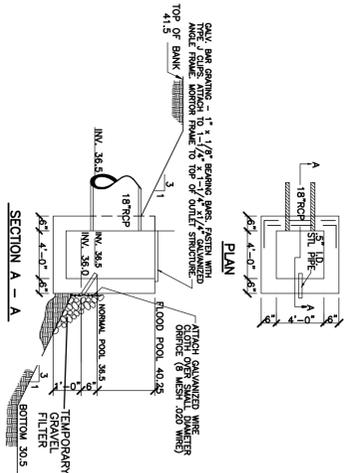
TEMPORARY SILT FENCE



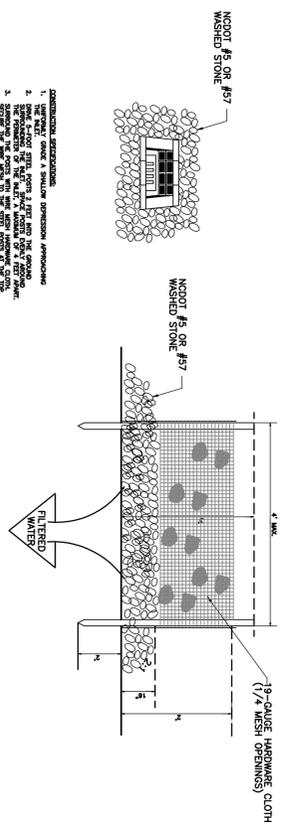
STANDARD SIDEWALK DETAIL
SD 8-15
NOT TO SCALE



DETENTION POND & FOREBAY SECTION

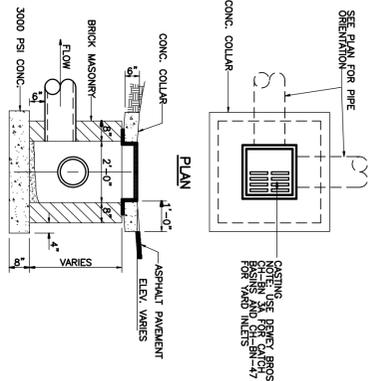


DETENTION POND OUTLET STRUCTURE

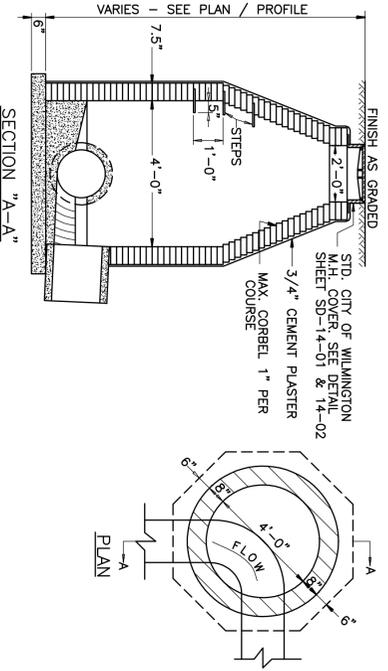


- INSTALLATION REQUIREMENTS:
1. HARDWARE CLOTH SHALL BE INSTALLED OVER THE ENTIRE SURFACE OF THE SLOPE.
 2. HARDWARE CLOTH SHALL BE INSTALLED OVER THE ENTIRE SURFACE OF THE SLOPE.
 3. HARDWARE CLOTH SHALL BE INSTALLED OVER THE ENTIRE SURFACE OF THE SLOPE.
 4. HARDWARE CLOTH SHALL BE INSTALLED OVER THE ENTIRE SURFACE OF THE SLOPE.
 5. HARDWARE CLOTH SHALL BE INSTALLED OVER THE ENTIRE SURFACE OF THE SLOPE.

HARDWARE CLOTH AND GRAVEL INLET PROTECTION



DROP INLET DETAIL



GUIDELINES FOR STORM DRAIN MANHOLE
SD 2-03
NOT TO SCALE

SITE AREA DESCRIPTION	STABILIZATION PERIOD	STABILIZATION METHODS
SHALLOW SLOPES, HIGH QUALITY WATERS (H2O)	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR STEEPER	14 DAYS	7 DAYS FOR SLOPES IN LENGTH AND 2:1, 14 DAYS ARE ALLOWED.
ALL OTHER AREAS	14 DAYS	NONE (EXCEPT FOR HIGH ZONES)

NPDES GROUND STABILIZATION CRITERIA

- MAINTENANCE PLAN**
1. OPERATION FOLLOWING EVERY RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
 2. ALL PILES OF DEBRIS AND CONSTRUCTION EXCESSES SHALL BE REMOVED TO THE NEAREST STREET OR TO A DUMPSTER. DEBRIS SHALL BE MAINTAINED IN A CONDITION TO PREVENT WIND OR SEWAGE FROM LEAVING THE SITE. IMMEDIATELY REMOVE OPERABLE MATERIAL, WASHED OR TRACKED SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION BLOCK AND GRAVEL INLET ROCK DOWNDRAFT AND ROCK PIPE INLET PROTECTION. DEBRIS WILL BE REMOVED FROM THE SEDIMENT POND AND LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER SEDIMENT TO BE REMOVED FROM THE SEDIMENT POND AND LONGER DRAINS AS DESIGNED. ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 3. DIVERSION DRICHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
 4. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP WHEN IT BECOMES HALF FILLED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
 5. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP WHEN IT BECOMES HALF FILLED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
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 7. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP WHEN IT BECOMES HALF FILLED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
 8. ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO THE DESIGN SPECIFICATIONS. ALL SEEDING AREAS WILL BE STABILIZED WITHIN 14 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS. THE PILES, TANKS, HOSES AND FLOCCULANT SYSTEMS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PILES, TANKS, HOSES AND FLOCCULANT SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TOWARD DISCHARGES DAILY.

FALL-WINTER PERMANENT GRASSING DETAIL

SEEDING MIXTURE	DATE (Month/Day)
SEEDS	20
SEEDING DATES	10/15 - 11/15

SPRING-SUMMER PERMANENT GRASSING DETAIL

SEEDING MIXTURE	DATE (Month/Day)
SEEDS	20
SEEDING DATES	4/15 - 6/15

- SEEDING NOTES:**
1. SEEDS TO BE PLANTED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 2. SEEDS TO BE PLANTED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 3. SEEDS TO BE PLANTED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
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 8. SEEDS TO BE PLANTED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 9. SEEDS TO BE PLANTED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

WILMINGTON
Public Services & Engineering Division
APPROVED DRAINAGE PLAN
Permit # _____
Date: _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required to occupy the City prior to occupancy and/or project acceptance.

REVISED	By	Description	Date

DETAILS AND NOTES
CAROLINA GYMNASTICS ACADEMY EXPANSION
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631