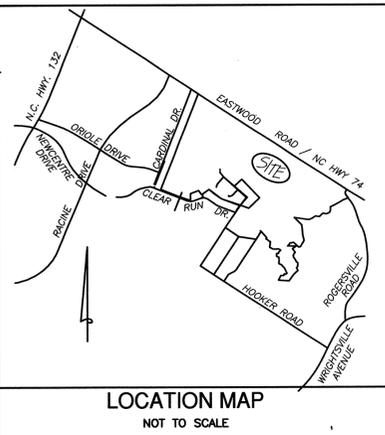
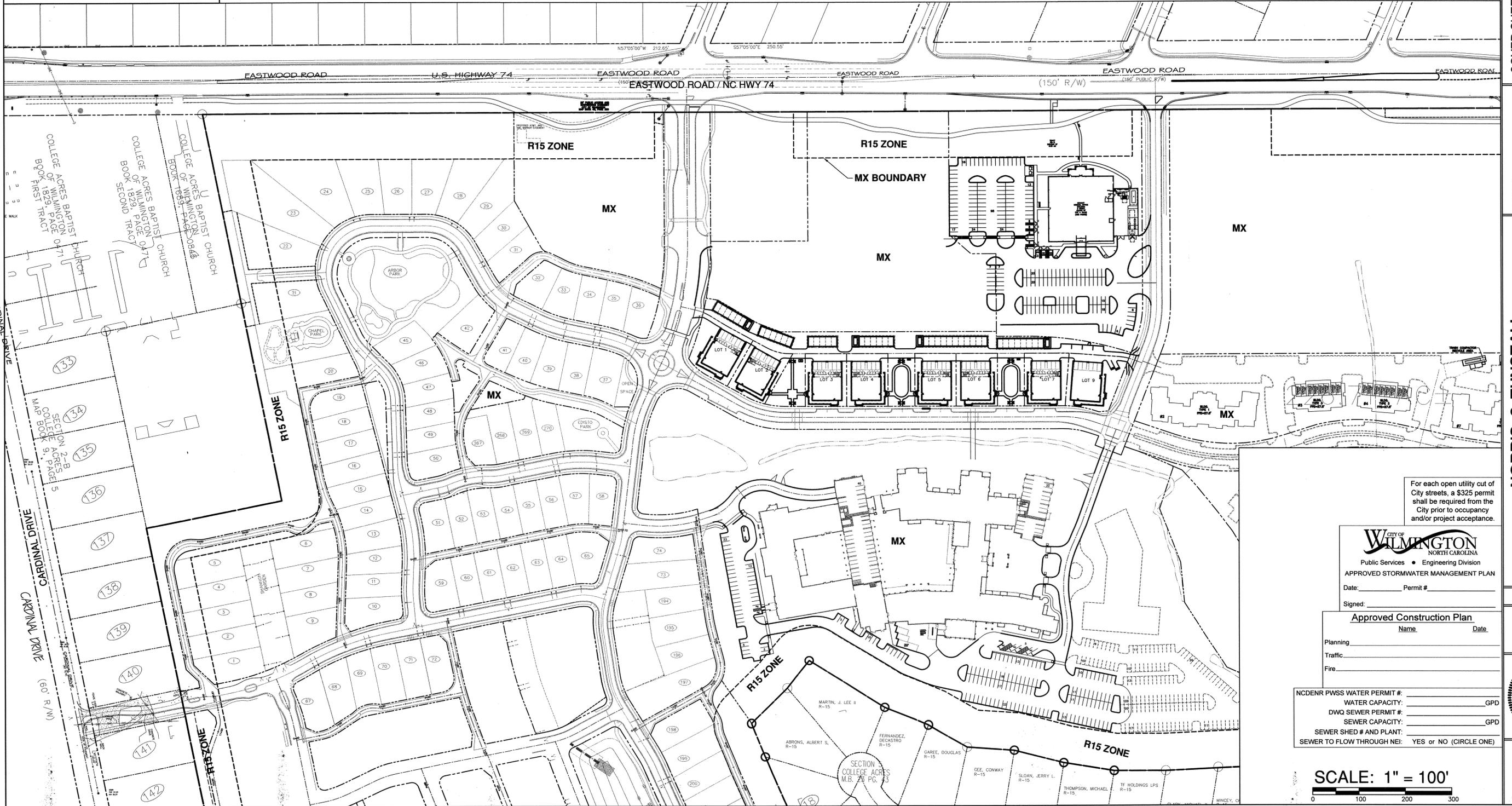


CAROLINA BAY AT AUTUMN HALL, PHI OLD GARDEN ROAD MANSION FLATS REVISION MX DEVELOPMENT



REV	DATE	SYMBOL	DESCRIPTION	BY
4.13.16	4.13.16		DELETED BUILDING TYPES & REV. NUMBER	
6/13/12	6/13/12		REV. GRADES, REV. SITE DATA, ADDED LOT NUMBERS	

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COVER SHEET
CAROLINA BAY AT AUTUMN HALL, PHI
OLD GARDEN ROAD MANSION FLATS REVISION
AUTUMN HALL TOWN CENTER
WILMINGTON, NORTH CAROLINA 28403

OWNER:
CAROLINA BAY OF WILMINGTON, LLC
BILL SCHOTT/TELKOTTE
DIRECTOR OF CONSTRUCTION
2334 S. 41ST STREET
WILMINGTON, NC 28403
910.815.3122

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
1127 FLORAL PARKWAY
SUITE 300 & 400
WILMINGTON, NC, 28403
PHONE (910) 343-9653
FAX (910) 343-9604
license #C-5641

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

NC DENR PWSS WATER PERMIT # _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT # _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 100'
0 100 200 300

16033
DES. JST
CHK. JPN
DRWN. NKS
DATE 4/13/16



CO

BUILDING DATA

MANSION FLAT CONDOMINIUM	STORIES	AREA	QUANTITY	HEIGHT	CONSTRUCTION TYPE	NO. OF UNITS	BEDROOMS PER UNIT	ROOF AREA SF/BUILDING	PARKING PER BUILDING	APPROX. BLDG. DIMS AT WIDEST POINT
TYPE 2	3	13,459 SF	8	39'	VB-SPRINKLED	6	2	6,671 SF	6	95' X 73'
TOTAL		107,672 SF	8			48	96	53,368 SF	48	

GARAGE	AREA	PARKING	HEIGHT	APPROX. BLDG. DIMS	CONSTRUCTION TYPE	GENERATOR
G1	1,748 SF	6	-	23' X 76'	-	352 SF
G2	1,748 SF	6		23' X 76'		NO
G3	1,449 SF	5		23' X 63'		NO
G4	1,748 SF	6		23' X 76'		352 SF
G5	3,197 SF	11		23' X 139'		352 SF
G6	2,323 SF	8		23' X 101'		352 SF
TOTAL	12,213 SF	42				1,408 SF

LEGEND

	PROPERTY LINE/DISTURBED AREA LIMITS
	DISTURBED AREA LIMITS
	TEMPORARY SILT FENCE
	PROPOSED STORMDRAIN PIPE
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER
	PROPOSED FINISH GRADE SPOT ELEVATION
	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
	DROP INLET WITH INLET PROTECTION (DI)
	CURB INLET WITH INLET PROTECTION (CI)
	PROPOSED FIRE HYDRANT
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING TREE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE SAVED AND PROTECTED
	ASPHALT
	NEW CONCRETE/SIDEWALK
	OPEN SPACE/COMMON SPACE
	FOUNDATION PLANTING AREA

PARCEL ID, MAP ID, ADDRESS, ACREAGE, OWNER

R05000-004-120-000
314707.69.8332.000
5511 OLD GARDEN RD.
COMMON AREA
1.13 ACRES
CAROLINA BAY/GARDEN FLATS HOA INC.

R05000-004-111-000
314707.69.7426.000
5503 OLD GARDEN RD.
LOT 1
0.28 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-112-000
314707.69.7397.000
5509 OLD GARDEN RD.
LOT 2
0.24 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-113-000
314707.69.9311.000
5519 OLD GARDEN RD.
LOT 3
0.23 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-114-000
314707.69.9286.000
5525 OLD GARDEN RD.
LOT 4
0.22 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-115-000
314707.79.0262.000
5533 OLD GARDEN RD.
LOT 5
0.22 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-116-000
314707.79.1138.000
5537 OLD GARDEN RD.
LOT 6
0.23 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-117-000
314707.79.2152.000
5543 OLD GARDEN RD.
LOT 7
0.23 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-118-000
314707.79.3028.000
5549 OLD GARDEN RD.
LOT 8
0.23 ACRES
CAROLINA BAY PROPERTIES OF WILM. LLC

R05000-004-119-000
314707.79.4012.000
5553 OLD GARDEN RD.
LOT 9
0.30 ACRES
CAROLINA BAY/GARDEN FLATS HOA, INC

CAROLINA BAY AT AUTUMN HALL

USE: CONDOMINIUMS
SITE AREA TOTAL: 3.31 ACRES (146,592 SF)
ZONING: MX
BUILDING SETBACKS MX: 20' MIN. FROM MX BOUNDARY AND MAJOR THOROUGHFARES
(REQUIRED) INTERIOR: NO MINIMUM, WITHIN 10' OF INTERNAL STREET R/W PREFERRED.
20' MIN. BETWEEN BUILDINGS

BUILDING SETBACKS MX: 390'± MIN. FROM MX BOUNDARY NORTH (PROPOSED)
CAMA LAND USE: WATERSHED RESOURCE PROTECTION
DISTURBED AREA: 3.42 ACRES
BUILDING SIZE: REFER TO CHART PROVIDED
BUILDING LOT COVERAGE: 44.73%

PARKING REQUIREMENT MAXIMUM, NO MINIMUM REQUIREMENT IN MX ZONE
PARKING REQUIRED:
RESIDENTIAL: 2.5 SPACES PER UNIT MAX. 2.0 SPACES MIN. (2 BEDROOM)
RESIDENTIAL: 48 UNITS X 2.5 = 120 SPACES MAX.
48 UNITS X 2.0 = 96 SPACES MIN.

PARKING PROVIDED: 96 SPACES
HC PARKING REQUIRED: 4 SPACES PROVIDED: 8 SPACES
BICYCLE PARKING REQUIRED: 5 SPACES PROVIDED: 15 SPACES

IMPERVIOUS AREA:
CONDOS TOTAL: 53,368 SF (ROOF AREA)
GARAGES AND GENERATOR PAD TOTAL: 13,621 SF
ASPHALT, CONCRETE, CURB & GUTTER: 25,000 SF
SIDEWALK: 2,851 SF
TOTAL: 94,840 SF
% SITE IMPERVIOUS AREA: 64.70%

LANDSCAPING: (SEE LANDSCAPE PLAN)
15 TREES PER DISTURBED ACRE
LANDSCAPING REQUIREMENTS FOR MX ZONE ARE PER O&I REGULATIONS
INTERIOR LANDSCAPING REQUIRED: 12% = 3,120 SF
(26,000 SF ASPHALT, CONCRETE CURB AND GUTTER)
INTERIOR LANDSCAPING PROVIDED: 3,200 SF

FOUNDATION PLANTING REQUIREMENTS:
B1: 73 X 39 X .12 = 342 SF
95 X 39 X .12 = 445 SF
B2: 73 X 39 X .12 = 342 SF
B3: 73 X 39 X .12 = 342 SF
B4: 73 X 39 X .12 = 342 SF
B5: 73 X 39 X .12 = 342 SF
B6: 73 X 39 X .12 = 342 SF
B7: 73 X 39 X .12 = 342 SF
B8: 73 X 39 X .12 = 342 SF
95 X 39 X .12 = 445 SF

COMMON SPACE REQUIRED (10% FOR MX): 20,605 SF TOTAL
COMMON SPACE PROVIDED: 20,605 SF TOTAL

OPEN SPACE REQUIRED (25% FOR MX): 21,942 SF PROVIDED
OPEN SPACE PROVIDED: 21,942 SF PROVIDED

TRASH REMOVAL SHALL BE BY HANDCART

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

NC DENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

REV	DATE	DESCRIPTION	BY
4.13.16			

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SITE DATA PLAN
CAROLINA BAY AT AUTUMN HALL, PHI
OLD GARDEN ROAD MANSION FLATS REVISION
AUTUMN HALL TOWN CENTER
WILMINGTON, NORTH CAROLINA 28403

OWNER:
CAROLINA BAY OF WILMINGTON, LLC
BILL SCHOFTELKOTTE
DIRECTOR OF CONSTRUCTION
2334 S. 41ST STREET
WILMINGTON, NC 28403
910 815-3122

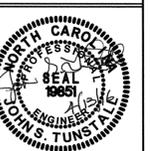
NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.

1127 FLORAL PARKWAY
SUITE 300 & 400
WILMINGTON, NC, 28403
PHONE (910) 343-9653
FAX (910) 343-9604
license #C-3641

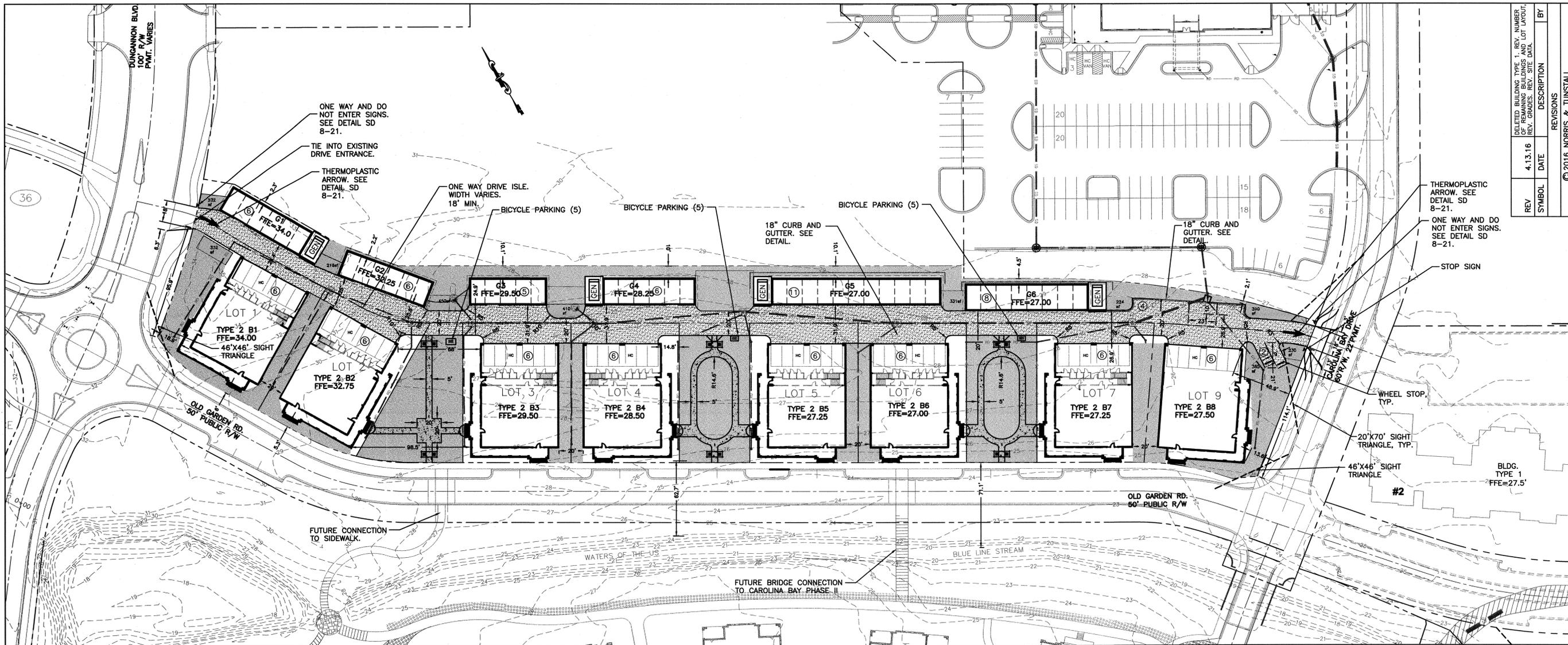
16033

DES. JST
CKD. JPN
DRWN. NKS

DATE 4/13/16



C1

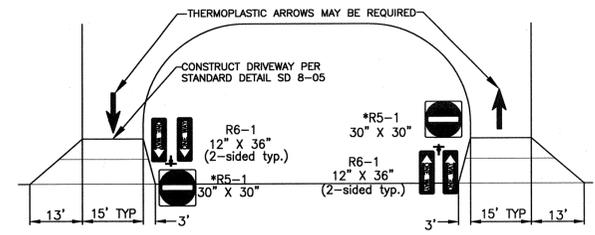


SCALE: 1" = 40'

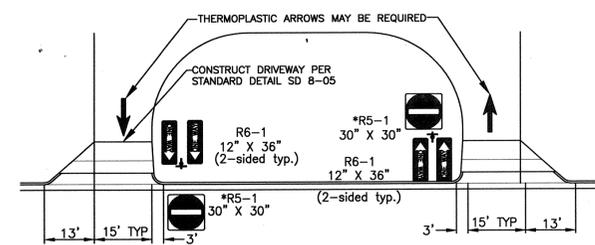
LEGEND

	ASPHALT
	NEW CONCRETE/SIDEWALK
	OPEN SPACE/Common SPACE
	FOUNDATION PLANTING AREA

NOTE: TRASH REMOVAL SHALL BE BY HANDCART



*SEE ENLARGEMENT BELOW RIGHT
STANDARD ONE-WAY DRIVEWAY PAIR (no curb on street)



*SEE ENLARGEMENT BELOW RIGHT
STANDARD ONE-WAY DRIVEWAY PAIR (curb on street)

STANDARD ONE-WAY DRIVEWAY
SD 8-21



REV	SYMBOL	DATE	DESCRIPTION	BY
4.13.16				

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LAYOUT PLAN
 CAROLINA BAY AT AUTUMN HALL, PHI
 OLD GARDEN ROAD MANSION FLATS REVISION
 AUTUMN HALL TOWN CENTER
 WILMINGTON, NORTH CAROLINA 28403

OWNER:
 CAROLINA BAY OF WILMINGTON, LLC
 BILL SCHOTTELKOTTE
 DIRECTOR OF CONSTRUCTION
 2324 S. 41ST STREET
 WILMINGTON, NC 28403
 910.619.5122

NORRIS & TUNSTALL
 CONSULTING ENGINEERS, INC.
 902 MARKET STREET
 WILMINGTON, NC, 28401
 PHONE (910) 343-9653
 FAX (910) 343-9604
 license #C-3641



Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

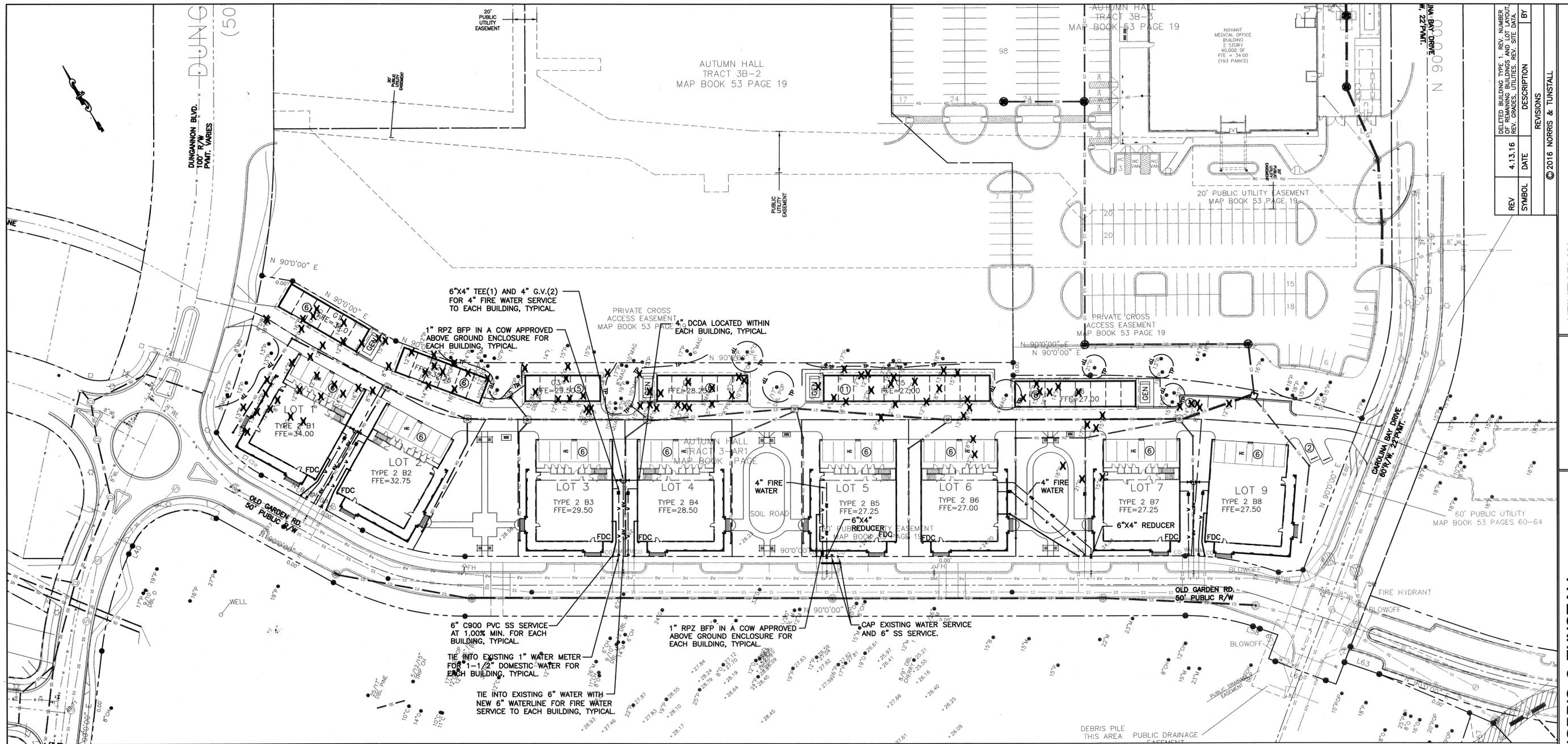
NC DENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

16033
 DES. JST
 CIP. JPN
 DRWL. NKS
 DATE 4/13/16



C3



REV	DATE	DESCRIPTION	BY
4.13.16		DELETED BUILDING TYPE 1, REV. NUMBER OF REMAINING BUILDINGS AND LOT LAYOUT, REV. GRADES, UTILITIES, REV. SITE DATA.	

UTILITY PLAN
 CAROLINA BAY AT AUTUMN HALL, PHI
 OLD GARDEN ROAD MANSION FLATS REVISION
 AUTUMN HALL TOWN CENTER
 WILMINGTON, NORTH CAROLINA 28403

OWNER:
 CAROLINA BAY OF WILMINGTON, LLC
 BILL SCHEFFELKOTTE
 DIRECTOR OF CONSTRUCTION
 2334 S. 41ST STREET
 WILMINGTON, NC 28403
 910 815-3122

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
 902 MARKET STREET
 WILMINGTON, NC, 28401
 PHONE (910) 343-9653
 FAX (910) 343-9604
 licence #0-3641

SCALE: 1" = 40'

UTILITY NOTES FOR FIRE HYDRANTS:

- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
- BUILDING CONSTRUCTION TYPE: VB SPRINKLED

WATER USAGE: 48 TWO BEDROOM UNITS AT 240 GPD PER UNIT=11,520 GPD
 SEWER USAGE: 48 TWO BEDROOM UNITS AT 240 GPD PER UNIT=11,520 GPD
 (NCDENR 15A NCAL 2T RULES)
 BUILDING TYPE: VB-SPRINKLED

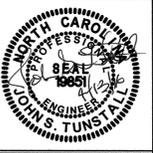
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

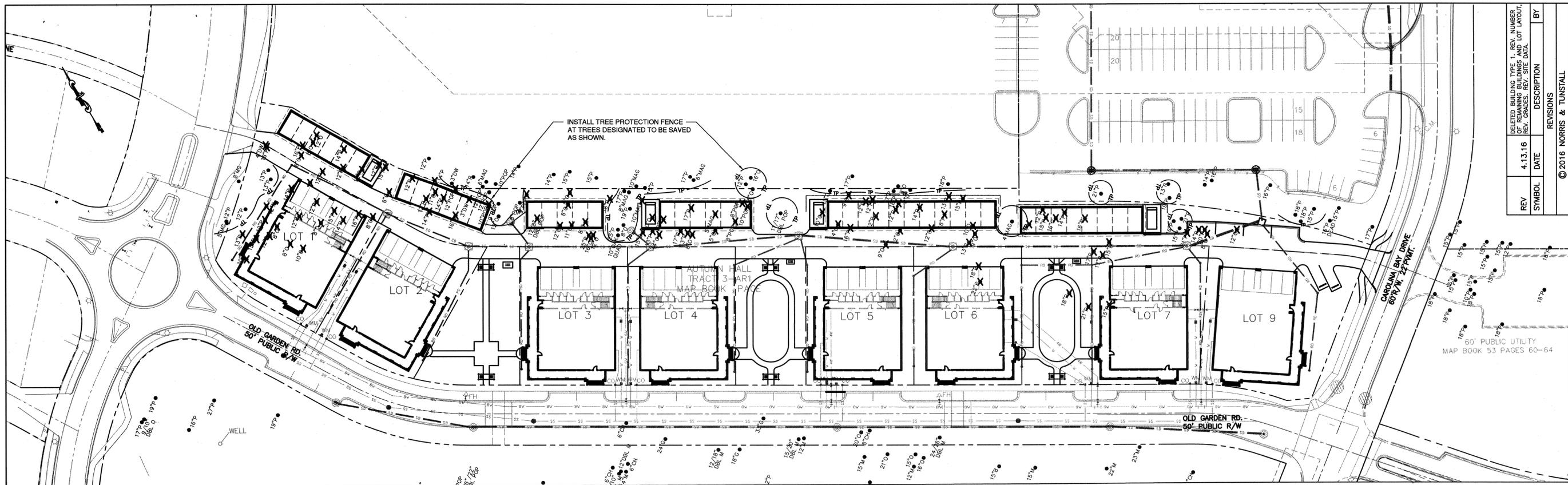
Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

NCDENR PWSS WATER PERMIT # _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT # _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

16033
 DES. JST
 CKD. JPN
 DRWN. NKS
 DATE 4/13/16



C4

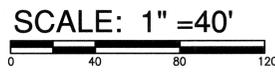


REV	SYMBOL	DATE	DESCRIPTION	BY
4.13.16			DELETED BUILDING TYPE 1, REV. NUMBER OF REMAINING BUILDINGS AND LOT LAYOUT, REV. GRADES, REV. SITE DATA.	

TREE PLAN
 CAROLINA BAY AT AUTUMN HALL, PHI
 OLD GARDEN ROAD MANSION FLATS REVISION
 AUTUMN HALL TOWN CENTER
 WILMINGTON, NORTH CAROLINA 28403

OWNER:
 CAROLINA BAY OF WILMINGTON, LLC
 BILL SCHEITTELKOTTE
 DIRECTOR OF CONSTRUCTION
 2334 S. 41ST STREET
 WILMINGTON, NC 28403
 910.815.3122

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
 902 MARKET STREET
 WILMINGTON, NC, 28401
 PHONE (910) 343-9653
 FAX (910) 343-9604
 license #C-3641



LEGEND

22" P ●	EXISTING TREE
22" P ✕	EXISTING TREE TO BE REMOVED
22" P ○	EXISTING TREE TO BE SAVED AND PROTECTED

TREE REMOVAL TABLE (MAY 2012)

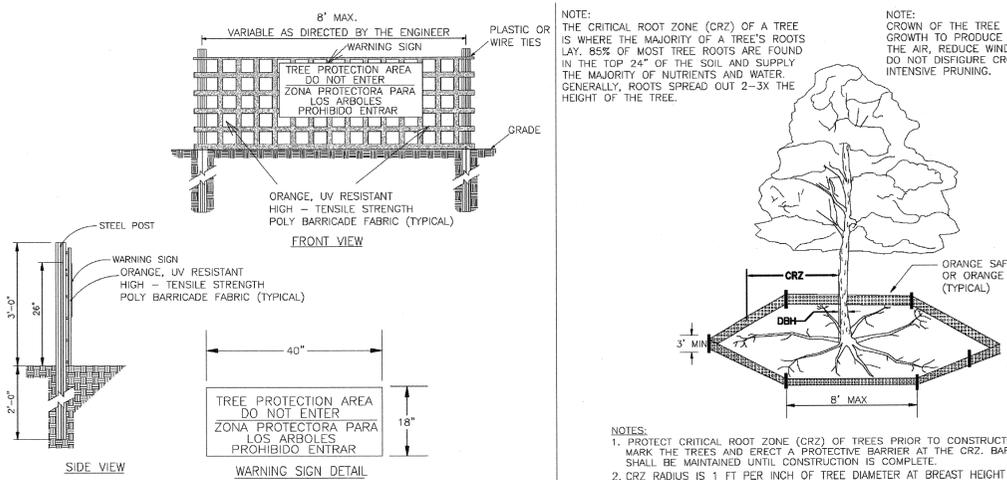
SIGNIFICANT PINES	REGULATED PINES	REGULATED OAKS	REGULATED DOGWOODS	REGULATED POPLARS	REGULATED MAGNOLIAS	SIGNIFICANT MAGNOLIAS
25" (1)	12" (16)	8" (12)	4" (1)	8" (3)	5" (1)	10" (1)
	13" (7)	9" (3)		9" (1)		
	14" (8)	10" (5)		10" (2)		
	15" (6)	11" (2)		12" (2)		
	16" (4)	12" (6)				
	17" (4)	14" (2)				
	18" (6)	15" (2)				
	19" (1)	16" (3)				
	20" (1)					
	21" (2)					
	22" (1)					

15 TREES REQUIRED PER ACRE DISTURBED

TREE REMOVAL TABLE (APRIL 2016)

REGULATED PINES
18" (1)

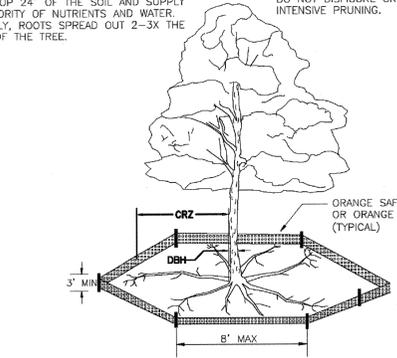
- NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE PROPOSED PROPERTY/DISTURBED AREA LINE SHOWN ON THE PLANS.
- PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
- ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- EXISTING TREES AND EXISTING VEGETATION WITHIN THE PROJECT AREA SHALL BE SAVED TO THE GREATEST EXTENT POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING TREE PROTECTION FENCING AROUND THE EXISTING TREES BEING SAVED PRIOR TO BEGINNING ANY CONSTRUCTION WORK. THE CONTRACTOR SHALL SAWCUT ANY PERIMETER TREE ROOTS THAT CONFLICT WITH GRADING OPERATIONS. EXISTING TREES WILL BE REMOVED FROM THE SITE AS REQUIRED FOR CONSTRUCTION OF PONDS, ROADWAYS, ROAD IMPROVEMENTS, AND UTILITY INSTALLATION. ALL THE EXISTING VEGETATION AND TREES WILL REMAIN OUTSIDE THE DISTURBED AREA/CONSTRUCTION LIMITS.



- NOTES:**
- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 - TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

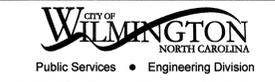
NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.



- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS; ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

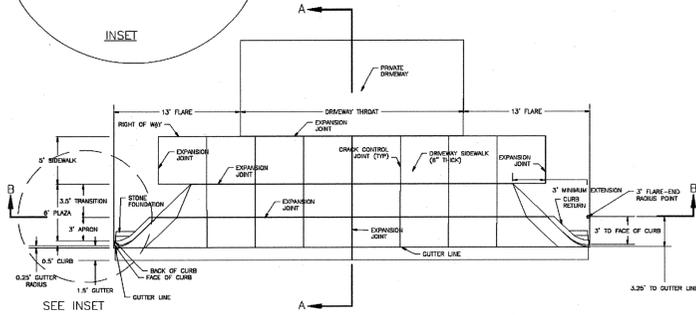
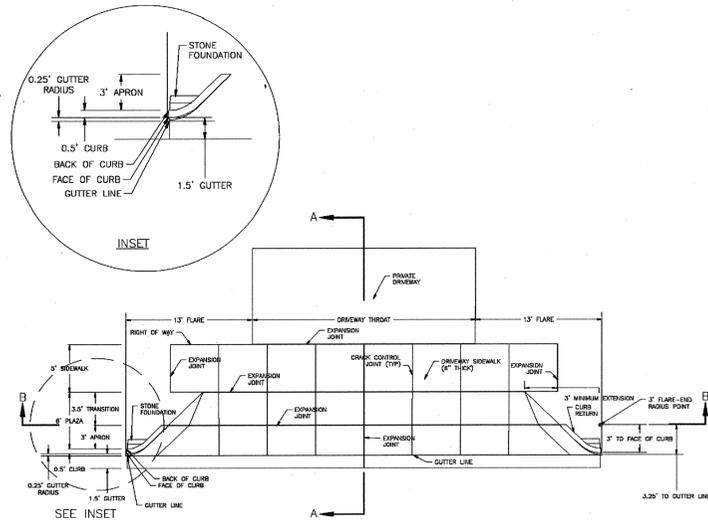
16033
 DES. JST
 CRD. JPN
 DRWN. NKS

DATE 4/13/16

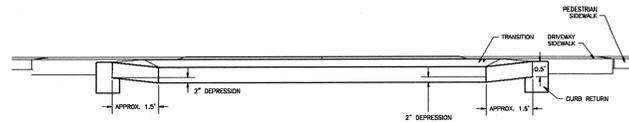


C5

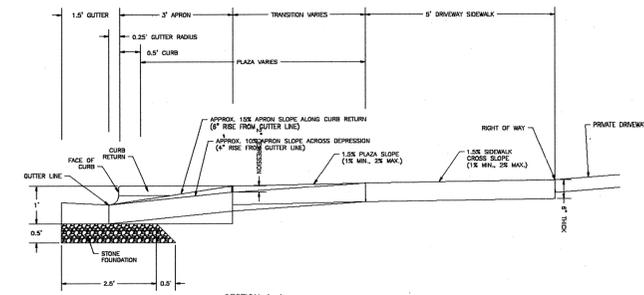
TREE PROTECTION DETAILS



NOTES:
EXPANSION JOINTS: 1/2" WIDE, FULL-DEPTH, 30' MAX. SPACING
CONTROL JOINTS: 1" DEPTH, 5' MAX. SPACING

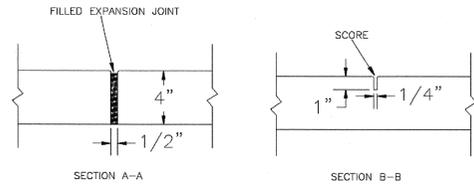
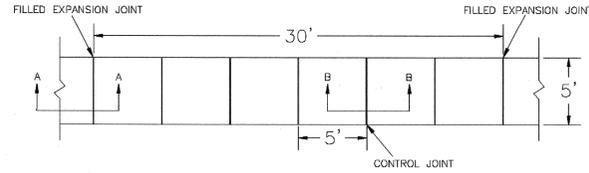


SECTION B-B



SECTION A-A

STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL



- NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%, MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD SIDEWALK DETAIL

REV	SYMBOL	DATE	DESCRIPTION	BY
4.13.16			DELETED BUILDING TYPE 1, REV. NUMBER OF REMAINING BUILDINGS AND LOT LAYOUT, REV. GRADES, REV. SITE DATA.	

REVISIONS
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NOTES AND DETAILS
CAROLINA BAY AT AUTUMN HALL, PHI
OLD GARDEN ROAD MANSION FLATS REVISION
AUTUMN HALL TOWN CENTER
WILMINGTON, NORTH CAROLINA 28403

OWNER:
CAROLINA BAY OF WILMINGTON, LLC
BILLSCHÖETTELKOTTE
DIRECTOR OF CONSTRUCTION
2334 S. 41ST STREET
WILMINGTON, NC 28403
910.815.3122

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
902 MARKET STREET
WILMINGTON, NC, 28401
PHONE (910) 343-9653
FAX (910) 343-9604
license #C-3641

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

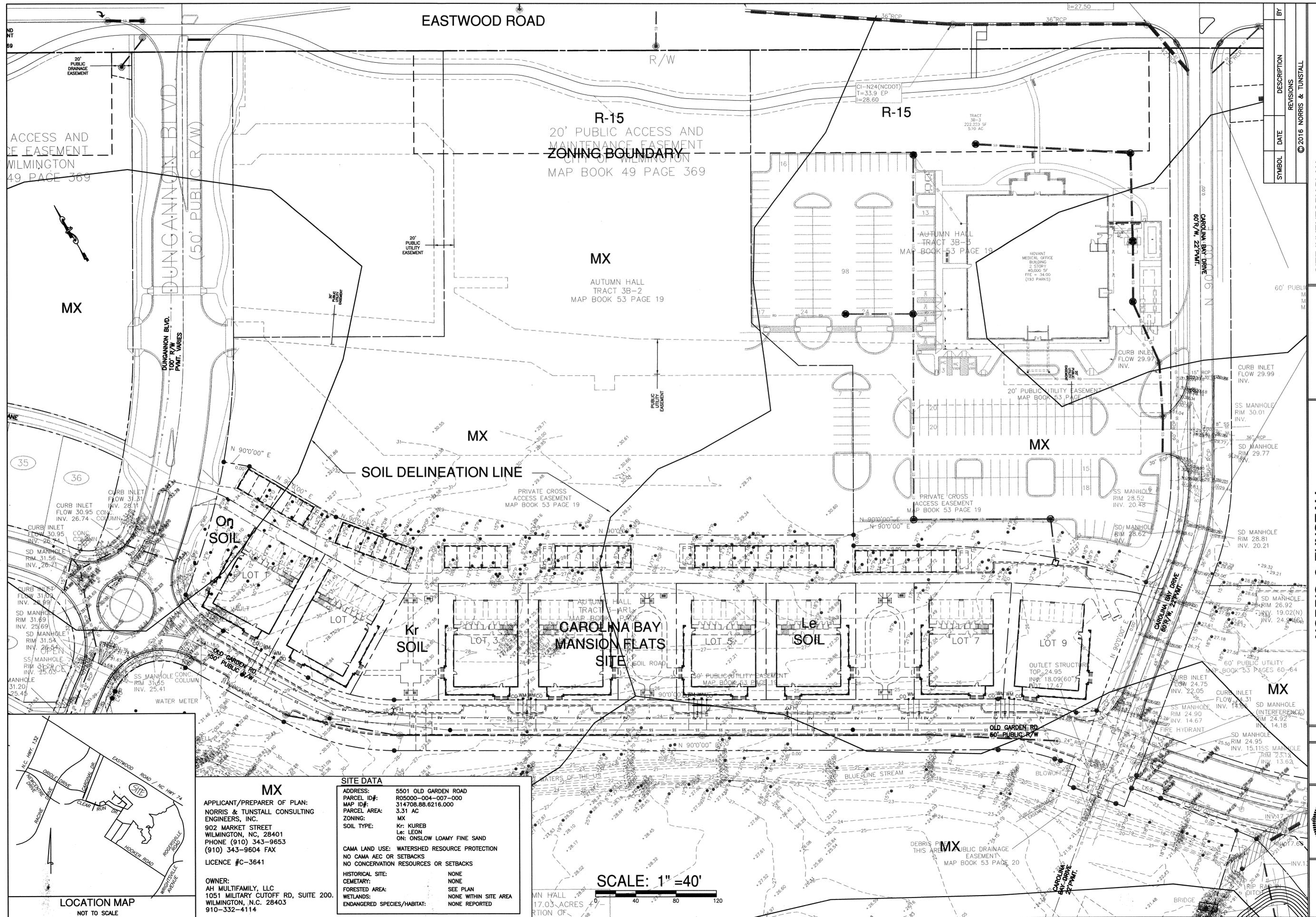
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

DES.	JST
CHKD.	JPN
DRWN.	NKS
DATE	4/13/16

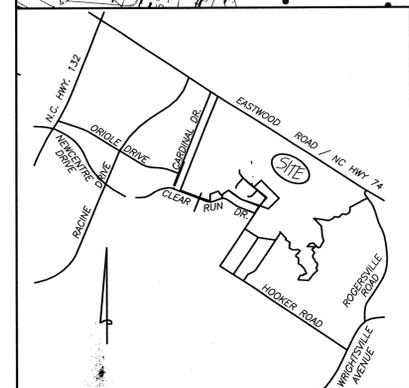


C7



ACCESS AND EASEMENT WILMINGTON 49 PAGE 369

35 36



MX
 APPLICANT/PREPARER OF PLAN:
 NORRIS & TUNSTALL CONSULTING ENGINEERS, INC.
 902 MARKET STREET
 WILMINGTON, NC, 28401
 PHONE (910) 343-9653
 (910) 343-9604 FAX
 LICENCE #C-3641

OWNER:
 AH MULTIFAMILY, LLC
 1051 MILITARY CUTOFF RD, SUITE 200.
 WILMINGTON, N.C. 28403
 910-332-4114

SITE DATA
 ADDRESS: 5501 OLD GARDEN ROAD
 PARCEL ID#: R05000-004-007-000
 MAP ID#: 314708.88.6216.000
 PARCEL AREA: 3.31 AC
 ZONING: MX
 SOIL TYPE: Kr: KUREB
 Le: LEON
 ON: ONSLOW LOAMY FINE SAND

CAMA LAND USE: WATERSHED RESOURCE PROTECTION
 NO CAMA AEC OR SETBACKS
 NO CONSERVATION RESOURCES OR SETBACKS

HISTORICAL SITE: NONE
 CEMETARY: NONE
 FORESTED AREA: SEE PLAN
 WETLANDS: NONE WITHIN SITE AREA
 ENDANGERED SPECIES/HABITAT: NONE REPORTED

SCALE: 1" = 40'

BY	DESCRIPTION	DATE	SYMBOL
	REVISIONS		

SITE INVENTORY PLAN
 CAROLINA BAY AT AUTUMN HALL, PHI
 OLD GARDEN ROAD MANSION FLATS REVISION
 AUTUMN HALL TOWN CENTER
 WILMINGTON, NORTH CAROLINA 28403

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16033

DES. JST
 CKD. JPN
 DRWN. NKS
 DATE 4/13/16



1.1