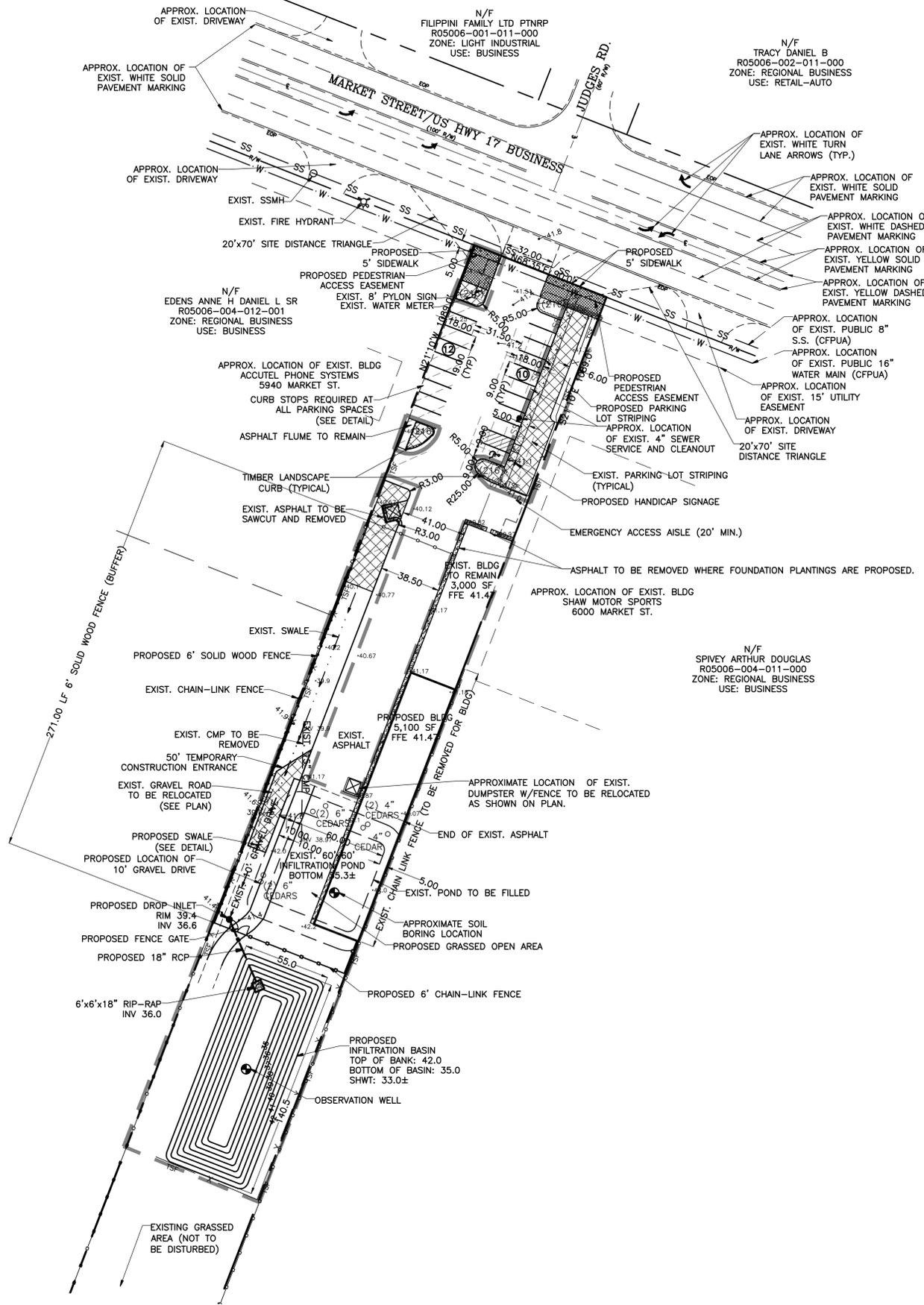


- NOTES:**
- 1) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
 - 2) TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - 3) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - 4) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - 5) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - 6) ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - 7) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - 8) INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 - 9) CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - 10) PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
 - 11) NO CONSTRUCTION WORKERS, TOOLS MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - 12) ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 - 13) SITE LIGHTING WILL NOT SHINE ONTO ADJACENT RESIDENTIALLY ZONED OR USED PROPERTIES.
 - 14) NO WETLANDS EXIST ON SITE.
 - 15) ALL ROOF DRAINS WILL BE DIRECTED TO THE STORMWATER COLLECTION SYSTEM.
 - 16) NO TREES LOCATED WITHIN THE LIMITS OF DISTURBANCE.
 - 17) DUMPSTER SCREENING TO BE 6' IN HEIGHT ALONG FRONT SIDE OF LOT AND 8' IN HEIGHT ALONG THE SIDE OR REAR PROPERTY LINE.

N/F
CIRCLE PROPERTIES LLC
R05006-004-013-000
ZONE: REGIONAL BUSINESS
USE: MOBILE HOME PARK



SITE DATA:

PROPERTY OWNER: LEWIS PROPERTIES OF WILMINGTON, LLC
 PROJECT ADDRESS: 5942 MARKET ST.
 PIN NUMBER: R05006-004-012-000
 LATITUDE & LONGITUDE: N34°15'05" W77°51'15"
 AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.
 ZONING DISTRICT: RB-REGIONAL BUSINESS

DISTURBED AREA .95 AC
 CAMA LAND USE: URBAN

REQUIRED BUILDING SETBACKS FRONT: 25'
 REAR: 15'
 SIDE: 0'

PROPOSED BUILDING SETBACKS FRONT: 165'
 REAR: 653'
 SIDE: 0'/60'

TRACT AREA 98,009 SF (2.24 AC)
 BUILDING USE SHOOTING RANGE

EXISTING BUILDING AREA 3,000 SF
 PROPOSED BUILDING AREA (GROSS) 5,100 SF
 BUILDING LOT COVERAGE (8,100/98,009) 8.3%
 NUMBER OF BUILDINGS 1
 NUMBER OF UNITS 1
 BUILDING HEIGHT 18'
 NUMBER OF STORIES 1

EXISTING IMPERVIOUS AREAS:
 EXISTING BUILDING 3,000 SF
 EXISTING GRAVEL ROAD 4,555 SF
 EXISTING ASPHALT 22,025 SF
 EXISTING ASPHALT TO BE REMOVED 4,705 SF
 EXISTING ASPHALT TO REMAIN 17,320 SF
 EXISTING IMPERVIOUS AREAS 24,875 SF (25.4%)

PROPOSED IMPERVIOUS AREAS: (ON-SITE)
 PROPOSED BUILDING FOOTPRINT 5,100 SF
 PROPOSED ASPHALT + CURB 0 SF
 PROPOSED CONCRETE (SIDEWALK/DUMPSTER) 1,115 SF
 FUTURE ON-SITE IMPERVIOUS 450 SF
 PROPOSED IMPERVIOUS AREA 6,665 SF (6.8%)
 PROPOSED + EXISTING IMPERVIOUS AREA 31,540 SF (32.2%)

PARKING REQUIRED:
 (PRIVATE RECREATION)
 MINIMUM: 1/400 (8,100/400) 21 SPACES
 MAXIMUM: 1/400 (8,100/200) 41 SPACES

PARKING PROVIDED: 22 SPACES
 HANDICAP SPOTS REQUIRED PROPOSED
 (1-25 SPOTS= 1 HANDICAP SPOT)
 24 SPOTS/25=96 1 HANDICAP SPOT

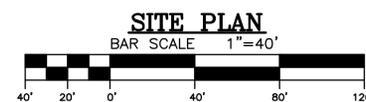
PUBLIC WATER AND SEWER BY CFPWA
 EXISTING WATER FLOW: 330 GPD
 EXISTING SEWER FLOW: 300 GPD
 PROPOSED WATER FLOW:
 (100 GPD/1,000 SF x 8,100 x 110%) 891 GPD
 PROPOSED SEWER FLOW:
 (100 GPD/1,000 SF x 8,100 SF) 810 GPD

*NOTE: NO INCREASE IN EXISTING WATER OR SEWER SERVICE PIPE SIZE TO BUILDING.

TOTAL ASPHALT+CURB 17,915 SF
 20% INTERIOR SHADING REQUIRED 3,583 SF
 INTERIOR SHADING PROVIDED 4,242 SF

LEGEND

- +1.23--- EXIST. SPOT ELEVATION
- 31.2--- PROPOSED SPOT ELEVATION
- PROPERTY LINE (BOUNDARY)
- RIGHT OF WAY
- LIMITS OF DISTURBANCE
- x --- TEMPORARY SILT FENCE
- EXIST. CHAIN LINK FENCE
- PROPOSED 6' SOLID WOOD FENCE
- PROPOSED RUN-OFF ARROWS
- EXIST. CONCRETE AREA
- PROPOSED CONCRETE AREA
- DEMO
- STREETYARD
- FOUNDATION PLANTINGS



Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

City of WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REVISIONS		
No./Date	Description	By



TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-6100
 Fax 910-763-6631
 © 2012 TRIPP ENGINEERING, P.C.

BULLZEYE SHOOTING SPORTS
 WILMINGTON, NORTH CAROLINA

DATE 02-05-13
 DESIGN PGT
 DRAWN EJW

- NOTES:
- CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
 - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
 - NO CONSTRUCTION WORKERS, TOOLS MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 - NO WETLANDS EXIST ON SITE.
 - ALL ROOF DRAINS WILL BE DIRECTED TO THE STORMWATER COLLECTION SYSTEM.
 - DUMPSTER SCREENING TO BE 6' IN HEIGHT ALONG FRONT SIDE OF LOT AND 8' IN HEIGHT ALONG THE SIDE OR REAR PROPERTY LINE.

N/F
CIRCLE PROPERTIES LLC
R05006-004-013-000
ZONE: REGIONAL BUSINESS
USE: MOBILE HOME PARK

TOTAL ASPHALT+CURB 17,320 SF
20% INTERIOR SHADING REQUIRED 3,464 SF
INTERIOR SHADING PROVIDED 4,242 SF
(6 INTERIOR ISLAND TREES @707 SF EA.)

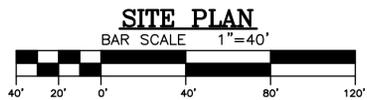
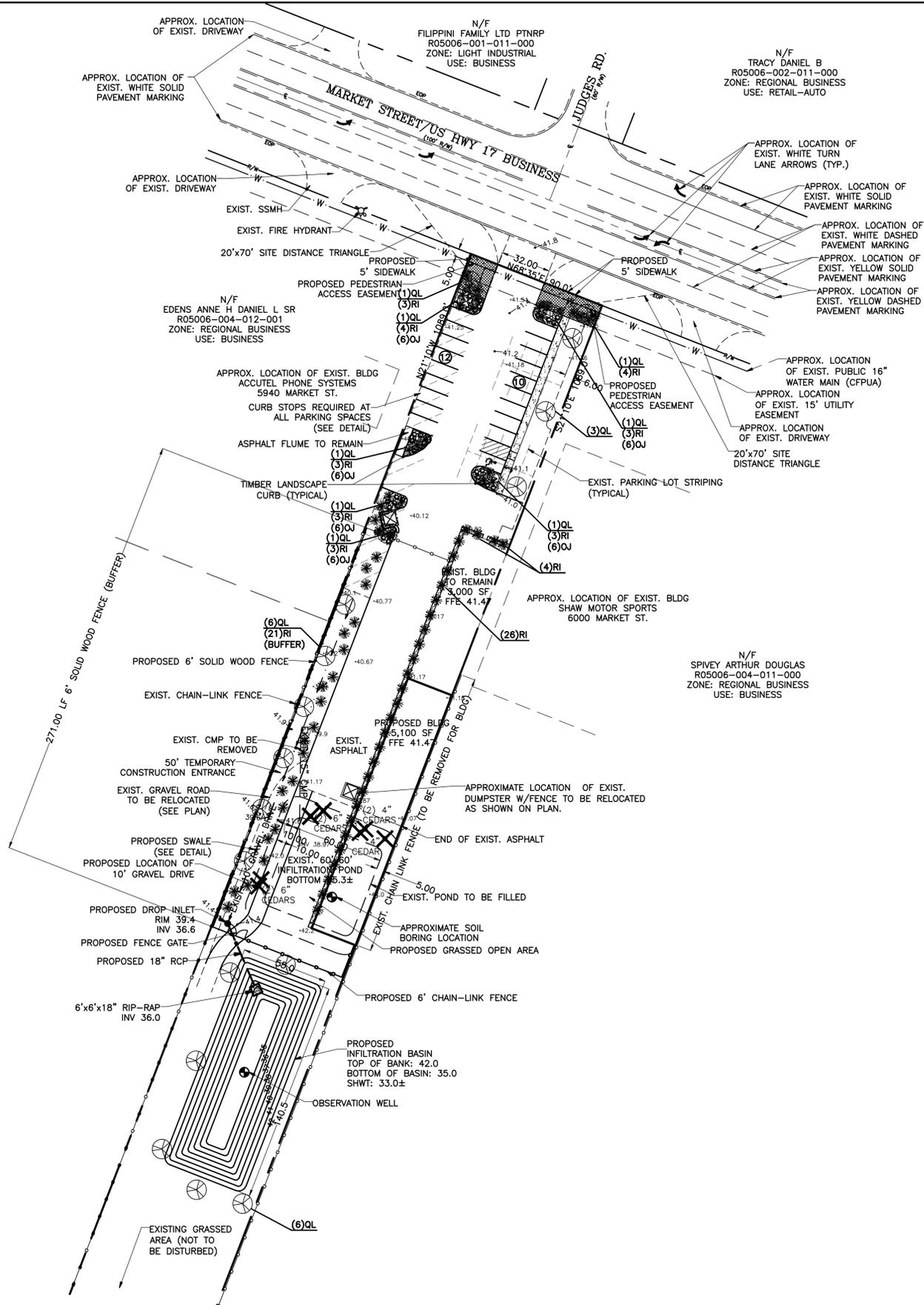
PROPOSED PLANT LIST						
KEY NO.	TYPE	COMMON NAME	SCIENTIFIC NAME	MIN. SIZE	PLANTING REMARKS	
QL 23	LARGE SHADE TREE	LAUREL OAK	QUERCUS LAURIFOLIA	2" CAL.	AS SHOWN	
RI 56	SHRUB	INDIAN HAWTHORNE	RAPHIOLEPIS INDICA	1 GAL.	AS SHOWN	
OJ 36	GROUND COVER	MONDO GRASS	OPHIPOGON JAPONICUS	1 GAL.	AS SHOWN	
RI 21	SHRUB	INDIAN HAWTHORNE	RAPHIOLEPIS INDICA	3' HEIGHT	LOCATED IN BUFFERYARD	

	REQUIRED	PROPOSED
STREETYARD (MARKET): 90-35.43*25/2= 682 SF	2 TREE(S) 7 SHRUB(S)	2 TREE(S) 7 SHRUB(S)
DISTURBED AREA: .95 Ac. (15 TREES PER DISTURBED ACRE)	15 TREES	15 TREES
FOUNDATION PLANTINGS: (NORTH) 30x18x12%	65 SF	74 SF (SEE PLAN)
FOUNDATION PLANTINGS: (WEST) 270x18x12%	583 SF	675 SF (SEE PLAN)

City of WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



LEGEND

	EXIST. SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPERTY LINE (BOUNDARY)
	RIGHT OF WAY
	LIMITS OF DISTURBANCE
	TEMPORARY SILT FENCE
	PROPOSED RUN-OFF ARROWS
	EXIST. CONCRETE AREA
	PROPOSED CONCRETE AREA
	DEMO
	EXIST. TREES
	TREES TO BE REMOVED

SITE DATA:

PROPERTY OWNER: LEWIS PROPERTIES OF WILMINGTON, LLC
PROJECT ADDRESS: 5942 MARKET ST.
PIN NUMBER: R05006-004-012-000
LATITUDE & LONGITUDE: N34°15'05" W77°51'15"
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.
ZONING DISTRICT: RB-REGIONAL BUSINESS

DISTURBED AREA .95 AC
CAMA LAND USE: URBAN

REQUIRED BUILDING SETBACKS FRONT: 25'
REAR: 15'
SIDE: 0'

PROPOSED BUILDING SETBACKS FRONT: 165'
REAR: 653'
SIDE: 0'/60'

TRACT AREA 98,009 SF (2.24 AC)
BUILDING USE SHOOTING RANGE

EXISTING BUILDING AREA 3,000 SF
PROPOSED BUILDING AREA (GROSS) 5,100 SF
BUILDING LOT COVERAGE (8,100/98,009) 8.3%
NUMBER OF BUILDINGS 1
NUMBER OF UNITS 1
BUILDING HEIGHT 18'
NUMBER OF STORIES 1

EXISTING IMPERVIOUS AREAS:
EXISTING BUILDING 3,000 SF
EXISTING GRAVEL ROAD 4,555 SF
EXISTING ASPHALT 22,025 SF
EXISTING ASPHALT TO BE REMOVED 4,705 SF
EXISTING ASPHALT TO REMAIN 17,320 SF
EXISTING IMPERVIOUS AREAS 24,875 SF (25.4%)

PROPOSED IMPERVIOUS AREAS: (ON-SITE)
PROPOSED BUILDING FOOTPRINT 5,100 SF
PROPOSED ASPHALT + CURB 0 SF
PROPOSED CONCRETE (SIDEWALK/DUMPSTER) 1,115 SF
FUTURE ON-SITE IMPERVIOUS 450 SF
PROPOSED IMPERVIOUS AREA 6,665 SF (6.8%)
PROPOSED + EXISTING IMPERVIOUS AREA 31,540 SF (32.2%)

PARKING REQUIRED: (PRIVATE RECREATION)
MINIMUM: 1/400 (8,100/400) 21 SPACES
MAXIMUM: 1/400 (8,100/200) 41 SPACES

PARKING PROVIDED: 22 SPACES
HANDICAP SPOTS REQUIRED PROPOSED
(1-25 SPOTS= 1 HANDICAP SPOT)
24 SPOTS/25= .96 1 HANDICAP SPOT

PUBLIC WATER AND SEWER BY CFPWA
EXISTING WATER FLOW: 330 GPD
EXISTING SEWER FLOW: 300 GPD
PROPOSED WATER FLOW: (100 GPD/1,000 SF x 8,100 x 110%) 891 GPD
PROPOSED SEWER FLOW: (100 GPD/1,000 SF x 8,100 SF) 810 GPD
*NOTE: NO INCREASE IN EXISTING WATER OR SEWER SERVICE PIPE SIZE TO BUILDING.

TOTAL ASPHALT+CURB 17,915 SF
20% INTERIOR SHADING REQUIRED 3,583 SF
INTERIOR SHADING PROVIDED 4,242 SF

REVISIONS		
No./Date	Description	By



LANDSCAPE PLAN
BULLEYE SHOOTING SPORTS
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-6100
Fax 910-763-6631
© 2012 TRIPP ENGINEERING, P.C.



DATE 02-05-13
DESIGN PGT
DRAWN EJW

L1
SHEET 2 OF 3
12029