



520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

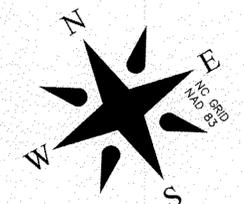
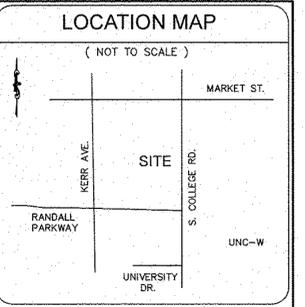
OWNER: CAJUN PROPERTIES, INC

DATE: DEC. 23, 2014
REVISED FEB. 26, 2015

PROPERTY DESCRIPTION
A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA AND BEING THAT TRACT AS DESCRIBED IN DEED BOOK 1991 PAGE 087, RECORDS OF NEW HANOVER COUNTY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ON THE WESTERN RIGHT OF WAY OF SOUTH COLLEGE ROAD (200' PUBLIC RIGHT OF WAY), SAID IRON BEING LOCATED N 29-38-25 W 470.00' FROM THE INTERSECTION OF THE WESTERN RIGHT OF WAY OF SOUTH COLLEGE ROAD AND THE NORTHERN RIGHT OF WAY OF UNIVERSITY DRIVE; PROCEED FROM SAID POINT OF BEGINNING AND LEAVING SAID WESTERN RIGHT OF WAY N 60-26-08 W 299.77' TO AN IRON, THENCE N 29-33-47 E 211.09 FT. TO AN IRON, THENCE S 60-26-36 E 300.06' TO AN IRON ON SAID WESTERN RIGHT OF WAY, THENCE WITH SAID RIGHT OF WAY S 29-38-25 W 211.13' TO THE POINT OF BEGINNING AND CONTAINING 1.45 ACRES ACCORDING TO A SURVEY BY HANOVER DESIGN SERVICES, P.A. IN DECEMBER OF 2014.

[Signature]
JONATHAN L. WAYNE
PROFESSIONAL LAND SURVEYOR PLS 3391
03-12-15
DATE



CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT No. 14-226970H
EXCEPTIONS FROM SCHEDULE B - SECTION II

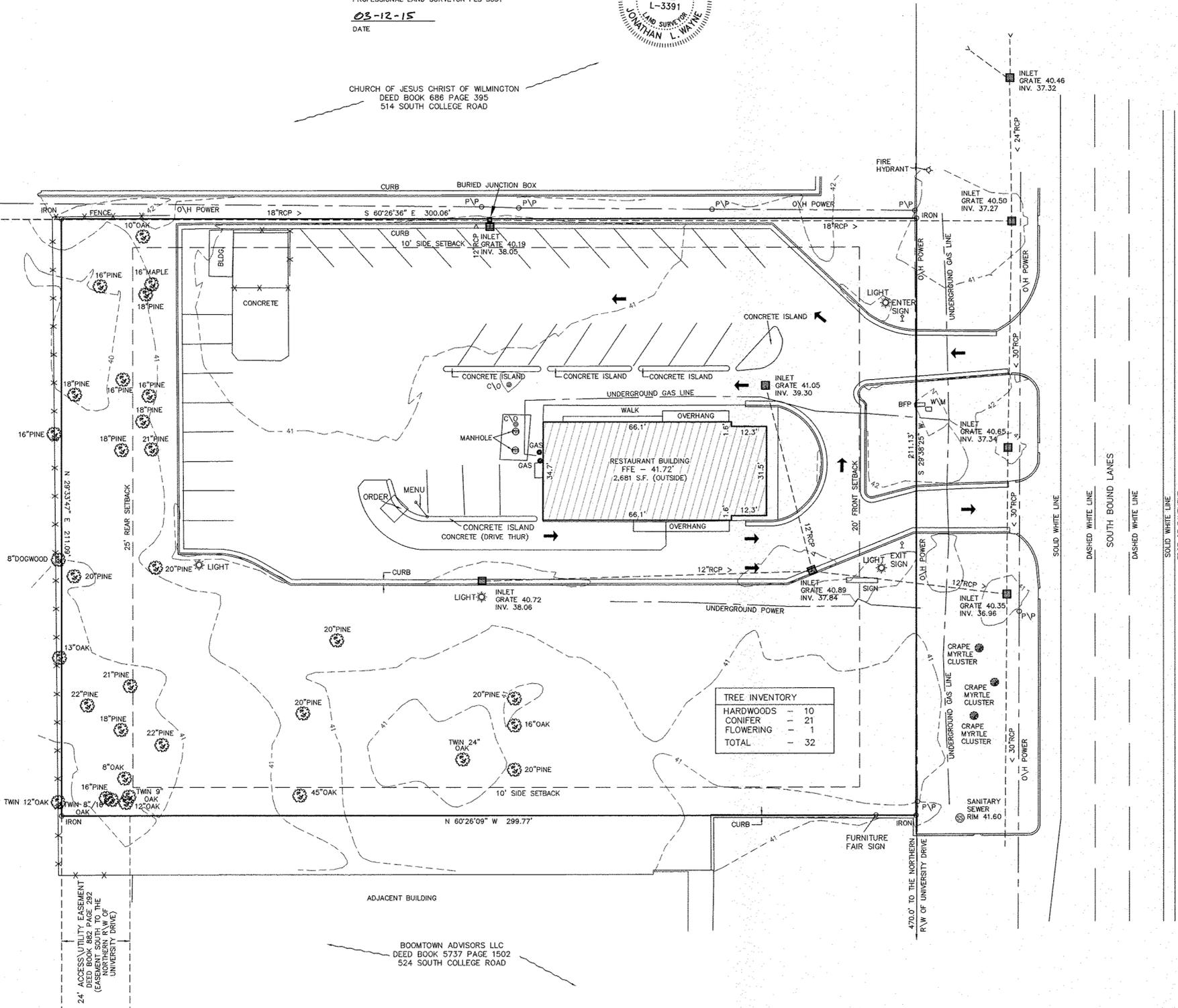
| EXCEPTION No. | COMMENTS |
|---------------|---|
| 1 | EXCEPTION NOT A MATTER OF SURVEY |
| 2 | EXCEPTION NOT A MATTER OF SURVEY |
| 3 | NO DISCREPANCY FOUND |
| 4 | AREA SHOWN |
| 5 | BLANKET UTILITY EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF ELECTRICAL EQUIPMENT |
| 6 | EASEMENT ON ADJACENT TRACTS, SHOWN ON SURVEY |
| 7 | LEASE, NOT A MATTER OF SURVEY |

ADDITIONAL NOTES
THIS PROPERTY IS LOCATED IN FLOOD ZONE X ACCORDING TO FIRM MAP 37203137J, EFFECTIVE DATE APRIL 3, 2006
NO OBSERVED EVIDENCE OF RECENT EARTH MOVING ACTIVITY
NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP
BASED ON RECENT SURVEY AND OBSERVED EVIDENCE NO WETLANDS

SITE DATA
TAX PARCEL No. R05507-002-069-000
TRACT AREA - 63,300 S.F. 1.45 ACRES
ZONED - O&I (OFFICE & INSTITUTIONAL)
SETBACKS FRONT - 20'
REAR - 25' (RESIDENTIAL)
SIDE - 10'
LOT COVERAGE 40%
30 PARKING SPACES (EXISTING)

- NOTES
1. AREA COMPUTED BY COORDINATE METHOD
 2. ALL DISTANCES ARE HORIZONTAL GROUND
 3. THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
 4. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING AS-BUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 5. FOR REFERENCE SEE DEED BOOK 1991 PAGE 087
 6. THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA
 7. VERTICAL DATUM NAVD 88
 8. 1.45 ACRES TOTAL AREA

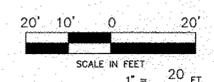
SOUTH COLLEGE ROAD
200 FT. PUBLIC RIGHT OF WAY



TREE INVENTORY

| | |
|-----------|----|
| HARDWOODS | 10 |
| CONIFER | 21 |
| FLOWERING | 1 |
| TOTAL | 32 |

- LEGEND
- C/O - CLEAN OUT
 - P/P - POWER POLE
 - INV. - INVERT
 - BFP - BACK FLOW PREVENTER
 - W/M - WATER METER
 - C/O - CLEAN OUT
 - O/H - OVERHEAD
 - U/G - UNDERGROUND
 - * - FENCE



SURVEYOR'S CERTIFICATE
THE UNDERSIGNED HEREBY CERTIFIES, AS OF DEC. 23, 2014, TO CAJUN PROPERTIES, INC. CHICAGO TITLE INSURANCE COMPANY, BOJANGLES RESTAURANTS, INC. AND HIS SUCCESSORS AND/OR ASSIGNS. THAT HE IS A DULY LICENSED LAND SURVEYOR OF THE STATE OF NORTH CAROLINA; THAT THIS PLAT OF SURVEY IS MADE AT LEAST IN ACCORDANCE WITH THE MINIMUM STANDARDS ESTABLISHED BY SAID STATE FOR SURVEYS AND LAND SURVEYORS AND WITH THE 2011 MINIMUM DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS AS ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND AMERICAN CONGRESS ON SURVEYING AND MAPPING; AND INCLUDES ITEMS OF TABLE A 1,2,3,4,5,6,7,6,7,8,9,10,11,12,13,14,16,17,18,19,20 THEREOF. THE FIELD WORK WAS COMPLETED ON 12/10/14. THAT THE SURVEY CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PREMISES; AND THAT, EXCEPT AS SHOWN, THERE ARE NO VISIBLE EASEMENTS OR RIGHT OF WAY ACROSS SAID PREMISES OR ANY OTHER EASEMENTS OR RIGHTS OF WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED, NO PARTY WALLS, NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS UNLESS SHOWN ON SURVEY, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISE UNLESS SHOWN ON SURVEY.

[Signature]
JONATHAN L. WAYNE
PROFESSIONAL LAND SURVEYOR PLS 3391
03-12-15
DATE

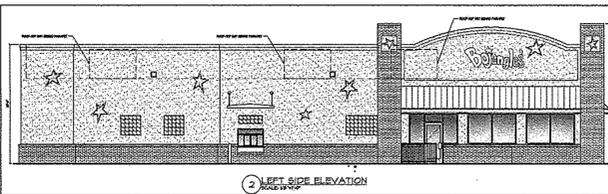


HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS ENGINEERS LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
FAX: (910) 343-9941
FIRM CERT. C-0597

SITE PLANS and PROFILES of COLLEGE ROAD SITE



CITY OF WILMINGTON, NEW HANOVER CO.
NORTH CAROLINA
DATE: MARCH 2015



ELEVATION VIEWS

Views - NTS



CITY STANDARD NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKING, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED SHALL BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SOIL FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7889 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 341-7889 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LAINE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCO STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELSHOULDER RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
- CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELIANT UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFPCOOR OR ASSE.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0998.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE REGULAR OR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4849 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
- ANY PVC MAINS ARE TO BE MARKED WITH NO.10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE WIRE AND ACCORDING TO ALL APPLICABLE FITTINGS, ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3" COVER.
- PROPOSED SEWER & WATER USAGE SAME AS EXISTING
- ADDITIONAL FIRE DEPARTMENT NOTES:
 - HYDRANTS MUST BE WITHIN 150' OF THE FDC
 - THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
 - LANDSCAPING MAY NOT BLOCK ANY FDC OR HYDRANT WITH A 3' CLEAR SPACE MAINTAINED
 - CONTRACTOR TO MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES DURING CONSTRUCTION
 - HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB
 - NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO BUILDING CONSTRUCTION

LEGEND

- WV = WATER VALVE
 - WM = WATER METER
 - CIO = SANITARY SEWER CLEAN OUT
 - INV = INVERT
 - BFV = BACK FLOW PREVENTOR
 - GW = GUY WIRE
 - SWMH = STORM MANHOLE
 - GT = GREASE TRAP
 - PH = FIRE HYDRANT
 - IS = IRON SET
 - SS = SANITARY SEWER MANHOLE
 - CI = CURB INLET
 - T = TREE
 - SL = STREET LIGHT
 - WS = WATER SERVICE
 - SC = SEWER CLEANOUT
 - WV = WATER VALVE
- PROPERTY LINE**
- BUILDING SETBACK
 - CENTERLINE
 - EASEMENT
 - COMPUTED PROPERTY LINE

SURVEY NOTES:

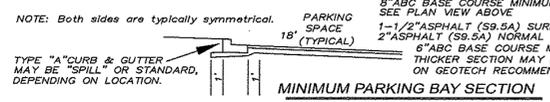
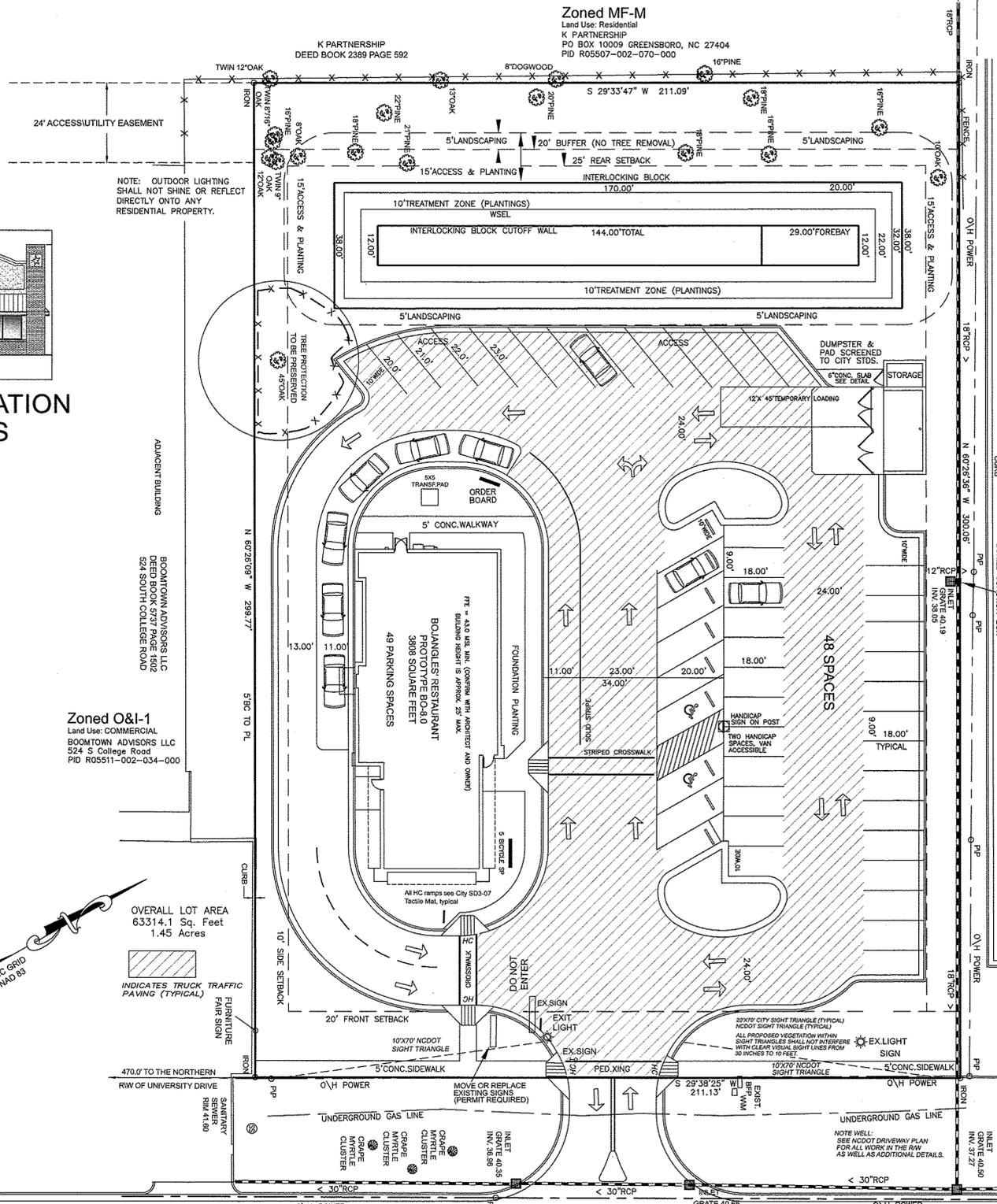
- AREA COMPUTED BY COORDINATE METHOD
- ALL DISTANCES ARE HORIZONTAL GROUND
- THIS SURVEY IS NOT FOR RECORDATION. IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
- PROPERTY SUBJECT TO ALL EASEMENTS OF RECORD
- THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING AS-BUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FOR REFERENCE SEE AS NOTED
- THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA

Zoned O&I-1

Land Use: Institutional
STATE OF NORTH CAROLINA, UNCW
116 W Jones St, Raleigh, NC 27602
PID R05511-003-001-000

Zoned MF-M

Land Use: Residential
K PARTNERSHIP
PO BOX 10009 GREENSBORO, NC 27404
PID R05507-002-070-000



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

Approved Construction Plan Name Date Planning Traffic Fire



GENERAL NOTES:

- This map is not for conveyance, recordation, or sales.
- This property is located within a special flood hazard area X according to Flood Insurance Rate Map Community Panel #372031374, effective date April 3, 2006.
- Area = 1.45 acres
- Building layout and dimensions by others.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. 1-800-632-4849
- Handicap Ramps provided at all intersections and one per building.
- 15 suitable trees per acre are to be preserved or planted in accordance with City of Wilmington standards.
- Parking areas and streets to be lighted in accordance with City of Wilmington standards.
- Refuse collection by dumpster and private hauler.
- 48 total parking spaces provided this project
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. 1-800-632-4849
- Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate scheduling and placement. At the minimum this should include AT&T and Duke (Progress) Energy.
- Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met.
- If the contractor desires CFPUA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Any irrigation system supplied by CFPUA water shall comply with CFPUA Cross Connection Control regulations.
- Reflectors shall be installed as per City and NCDOT standards.

ADDITIONAL NOTES:

- AS PART OF SITE IMPROVEMENTS FOR A SUBDIVISION OR SITE PLAN, ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND/OR CURBING ADJACENT TO THE PROJECT AREA SHALL BE REPLACED BY THE DEVELOPER. THIS SHALL BE REQUIRED WHETHER THE DAMAGE EXISTED PRIOR TO THE START OF CONSTRUCTION OR MAY HAVE BEEN CAUSED DURING CONSTRUCTION.
- PER THE REQUIREMENTS OF THE STORMWATER PERMIT, THE FOLLOWING SHALL OCCUR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR OPERATION OF THE PERMITTED FACILITY.
 - AS-BUILT DRAWINGS FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEERING DIVISION.
 - AN ENGINEER'S CERTIFICATION SHALL ALSO BE SUBMITTED, ALONG WITH ALL SUPPORTING DOCUMENTATION THAT SPECIFIES, UNDER SEAL, THAT THE AS-BUILT STORMWATER MEASURES, CONTROLS AND DEVICES ARE IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS.
 - A FINAL INSPECTION BY CITY OF WILMINGTON ENGINEERING PERSONNEL.
- ALL REQUIRED EASEMENT MAPS SHALL BE REVIEWED BY CITY STAFF AND RECORDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OTHER NOTES:

- THIS PLAN IS PRELIMINARY, NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
- SURVEYED IN 2013, 2014, AND 2015.
- ALL DISTANCES AS SHOWN ARE HORIZONTAL.
- SEWER PROVIDED BY CFPUA
- WATER PROVIDED BY CFPUA
- ANTICIPATED UTILITIES USE IS UNCHANGED.
- SITE WILL MEET ALL ZONING REQUIREMENTS.
- AREA COMPUTED BY COORDINATE METHOD.
- REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
- STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
- NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
- ALL UTILITIES UNDERGROUND.
- COMBINED GRID FACTOR = 1.00000.
- FOR REFERENCE SEE: DD 1991 PG 087
- ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED.

- Information concerning underground utilities was obtained from available records. It shall be the responsibility of the Contractor to determine the exact elevations and locations of all existing utilities at all crossings prior to commencing trench excavation. If actual clearances are less than indicated on Plan, the Contractor shall contact the Design Engineer before proceeding with construction. Any condition discovered or existing that would necessitate a modification of these plans shall be brought to the attention of the Design Engineer before proceeding with construction.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- All trees which are not required to be cleared for construction shall be preserved wherever possible unless otherwise directed.
- Contractor shall adjust all manholes, valve and curb boxes to the final grade upon completion of all construction. Any boxes damaged or otherwise disturbed by the Contractor shall be repaired at the expense of the Contractor.
- The Contractor is responsible for controlling dust and erosion during construction at his expense. Roads shall be watered to control dust when ordered by the Engineer.
- No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.
- Extreme care shall be taken to ensure minimum separations at all utility crossings.
- Contractor to ensure that pavement is placed so as to drain positively to the curb outlets and catch basins. All roof drain downspouts to be directed to the storm sewer system.
- Contractor is responsible for obtaining all required permits.
- This plan is for site grading, roadwork, drainage, land disturbing activities and erosion control only.
- No encumbrances in R/W except as shown.
- Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate appropriate scheduling and placement. At the minimum this should include AT&T and Duke (Progress) Energy.
- REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.
- LANDSCAPING PLAN BY OTHERS.
- CONTRACTOR TO COORDINATE STAGING OF CONSTRUCTION ACTIVITIES WITH THE OWNER AND ARCHITECT TO FACILITATE ONGOING ADJOINING BUSINESS ACTIVITIES.
- CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF LIGHTING AND OTHER NON-MUNICIPAL UTILITIES SUCH AS ELECTRICAL AND TELEPHONE CONNECTIONS WITH THE AFFECTED AGENCIES AND THE OWNER AND ARCHITECT.
- CONTRACTOR TO COORDINATE CONSTRUCTION OF PARKING LOT, ISLANDS, AND EXTERIOR FENCING AND SCREENING WITH THE OWNER AND ARCHITECT.
- NCDOT PERMIT REQUIRED FOR ANY WORK IN COLLEGE ROAD R/W.
- ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPUA TECHNICAL STANDARDS.

| SHEET No. | DESCRIPTION | DRAWING No. |
|------------|---|----------------------|
| 1 OF 4 | Site Plan Cover Sheet and General Notes | 12354-SHT1 |
| 2 OF 4 | Site & Utilities Plan | 12354-SHT2 |
| 3 OF 4 | Site Grading, Stormwater & Erosion Control Measures | 12354-SHT3 |
| 4 OF 4 | Details, Specifications and Notes | 12354-SHT4 |
| 1 OF 1 | Additional Bojangles' Standard Details & Dumpster Plans | BOJANGLES' |
| 1 OF 1 | Landscape Plan by Freeman Landscape Inc. | Freeman |
| 1 & 2 OF 2 | NCDOT Driveway Plan | 12354-SHT 1 & 2 of 2 |
| 1 OF 1 | Existing Conditions and Tree Identification Survey | 12354-Survey BASE |
| 1 & 2 OF 2 | Construction Staging and Demolition Plan | 12354-SHTS 5 & 6 |

| LOCATION: | ELEVATION |
|--|-----------|
| 1 MAGNETIC NAIL AT SOUTHERNMOST CORNER EXISTING DUMPSTER ENCLOSURE | 40.49 |

Zoned O&I-1
Land Use: Church
CHURCH OF JESUS CHRIST OF WILMINGTON
514 S College Road
PID R05507-002-071-000

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 27273
704-940-8669
PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties Inc.
9432 Southern Pines Blvd.
Charlotte, NC 28273
704-940-8669

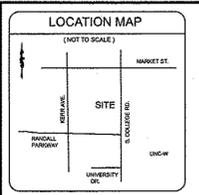
Site Plan Cover Sheet and General Notes
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON



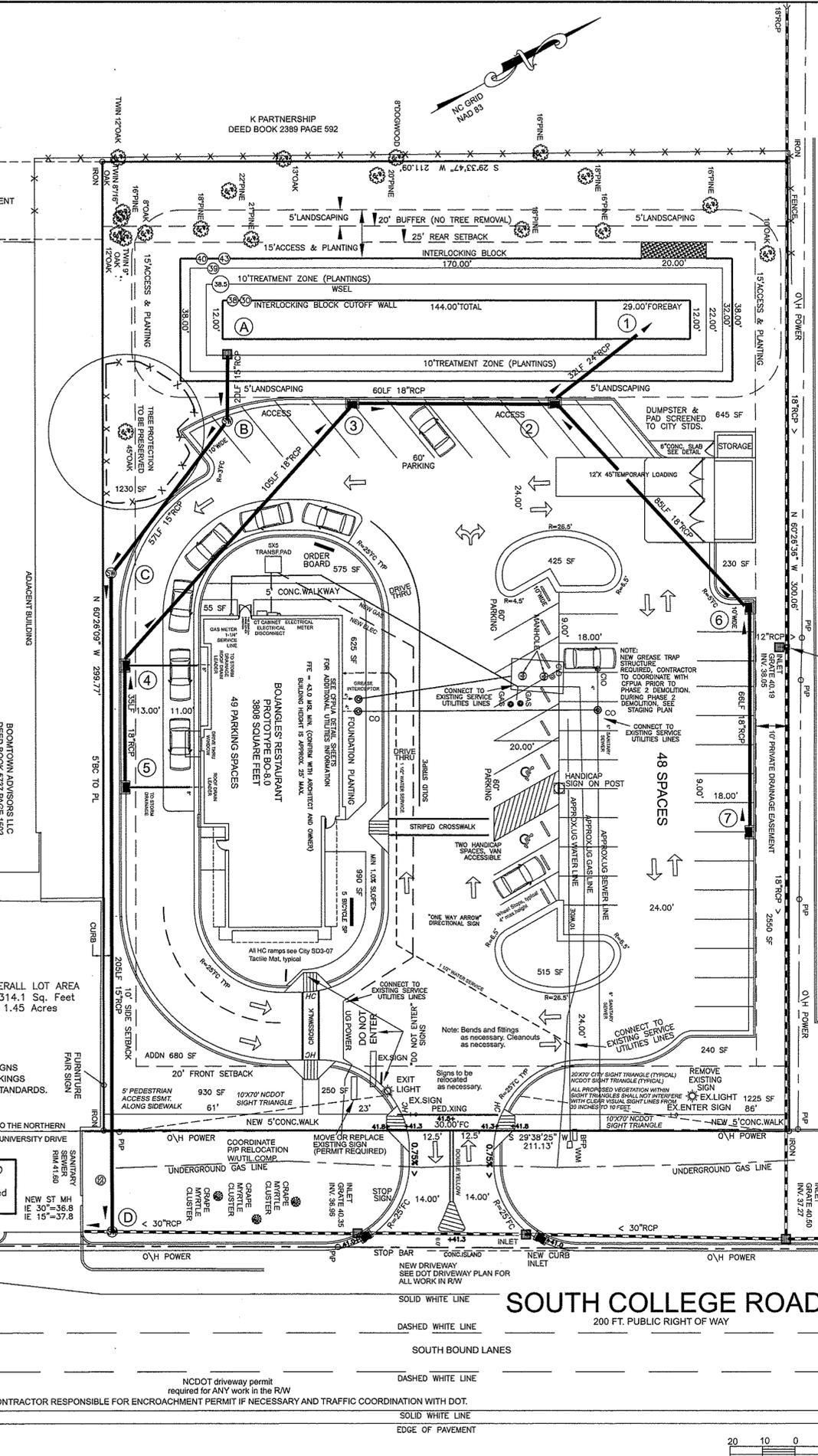
DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINES BLVD.
CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-3002
LICENSE: # 5-0597

Date: 3-12-15
Scale: 1"= 20'
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet: 1 of 4



- LEGEND**
- WV = WATER VALVE
 - WM = WATER METER
 - C/O = SANITARY SEWER CLEAN OUT
 - INV. = INVERT
 - BFP = BACK FLOW PREVENTOR
 - GW = GUY WIRE
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 - GT = GREASE TRAP
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 - I.S. = IRON SET
 - ⊙ = SANITARY SEWER MANHOLE
 - ⊞ = CURB INLET
 - ⊕ = TREE
 - ⊙ = STREET LIGHT
 - ⊕ = WATER SERVICE
 - ⊙ = SEWER CLEANOUT
 - ⊕ = WATER VALVE
- PROPERTY LINE**
- BUILDING SETBACK**
- CENTERLINE**
- EASEMENT**
- COMPUTED PROPERTY LINE**
- 18" PALM INDICATES TREE TO BE REMOVED



Parking: "Restaurant"
 3185 sf exclusive of kitchen and restroom
 49 spaces maximum @ 1/60sf
 40 spaces minimum @ 1/80sf
 46 regular spaces provided
 2 van accessible HC spaces provided
 No loading space required - one provided
 5 bicycle spaces required - 5 provided

NOTE: NO WETLANDS ON THIS SITE.
 CAMA LAND USE CLASSIFICATION: "URBAN"
 SITE NOT IN A SHOD OR COD.
 APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

PAVEMENT MARKING
 ARROWS MUST BE AT LEAST 1/2 SIZE STANDARD ROADWAY ARROWS AS PER CITY TECH.STDS.

TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS
 AS PER CITY AND NCDOT STANDARDS.

ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED.
 REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.

NOTE: DETAILED LANDSCAPING PLAN TO CITY STANDARDS BY OTHERS.

SITE DATA TABLE:

TAX PARCEL IDENTIFICATION NUMBERS:
 R05507-002-089-000
 DB 1991 PG 087

ZONING: O&I-1

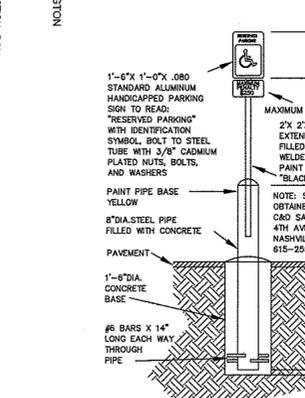
SETBACKS OF BUILDING:
 REQUIRED: FRONT - 20' REAR - 25' SIDE - 10'
 PROVIDED: FRONT - 59' REAR - 140' SIDE - 21'

ACREAGE = 1.45 ACRES (63,314 sf)

LOT COVERAGE:
 BUILDINGS & OVERHANGS ETC. - 4,140 SF
 PARKING & DRIVES - 30,850 SF
 SIDEWALKS ETC. - 2,135 SF
 "FUTURE" - 863 SF

TOTAL IMPERVIOUS = 37,988 SF = 60% OF 1.45 ACRES

ONE BUILDING PROPOSED FOR BOJANGLES' 520 S. COLLEGE ROAD
 ONE STORY - ADDRESS: 520 S. COLLEGE ROAD
 BUILDING OUTSIDE SIZE = 4,140 SF ; BUILDING LOT COVERAGE = 7%

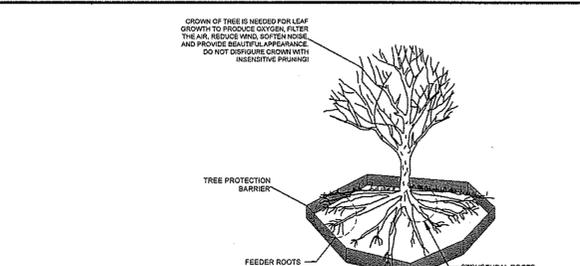


ADDITIONAL NOTES:

NCDOT PERMIT REQUIRED FOR ANY WORK IN COLLEGE ROAD R/W.
 CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH NCDOT.
 ALL WORK IN R/W TO BE INSTALLED IN ACCORDANCE WITH CITY AND NCDOT TECHNICAL STANDARDS.

CFPUA COORDINATION REQUIRED FOR ANY UTILITY SERVICES WORK.
 CONTRACTOR RESPONSIBLE FOR ANY PERMIT OR COORDINATION WITH CFPUA.
 ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPUA TECHNICAL STANDARDS.

PROPOSED GRADES AND SPOT ELEVATIONS SHOWN ARE THE MINIMUM NECESSARY TO ENSURE ADEQUATE DRAINAGE AND ADA COMPLIANCE.
 CONTRACTOR AND STAKE-OUT SURVEYOR ARE RESPONSIBLE FOR ENSURING THAT ALL BUILT UPON AREAS ARE CONSTRUCTED SO THAT RUNOFF FROM THEM IS DIRECTED TO THE STORM SEWER COLLECTION SYSTEM INLETS AND THAT PROJECT COMPLIES WITH ADA STANDARDS.
 INSTALL LOW-FLOW WATER FIXTURES. UTILIZE MOISTURE SENSORS IN IRRIGATION SYSTEM.

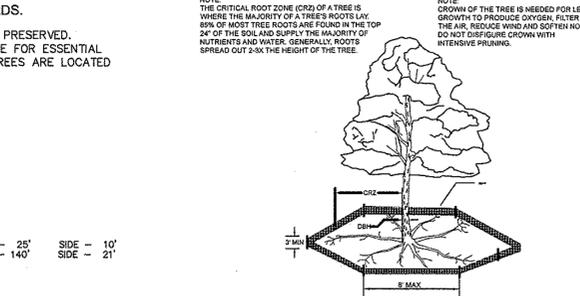


TREE PROTECTION DURING CONSTRUCTION

- CLEARLY MARK THE TREE TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE CRZ. TREE PROTECTION BARRIERS SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- CRITICAL ROOT ZONE (CRZ) DISTANCE SHALL BE DETERMINED BY DIAMETER OF THE TREE AT BREAST HEIGHT.
- DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT OR ANYTHING ELSE IS PROHIBITED. CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED.
- CUT AND FILL WITHIN DIAMETER OF TREE CROWN.
- WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 60% OF MOST TREE ROOTS ARE FOUND IN THE TOP 2' OF THE SOIL AND SUPPORT THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

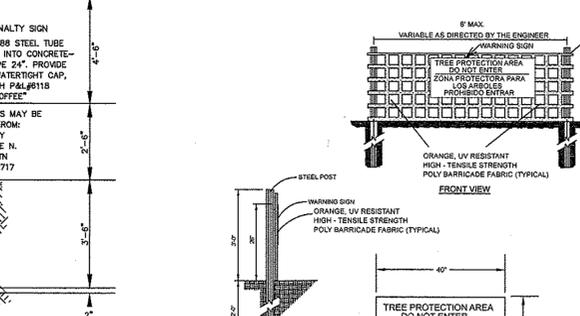
NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND, SOFTEN NOISE, AND PROVIDE BEAUTIFUL APPEARANCE. DO NOT DISRUPT CROWN WITH INSENSITIVE PRUNING!



AREAS INSET PLAN BOJANGLES' College Road
 SCALE: 1" = 30'

INLET DRAINAGE AREAS
 SEE SHEET 3 FOR STORM SEWER LAYOUT

BUILT-UPON AREA (BUA)
 BUILDING 4140 Sq. Feet
 PARKING 30850 Sq. Feet
 SIDEWALKS 2135 Sq. Feet
 OTHER/SAFETY 863 Sq. Feet
 TOTAL BUA 37988 Sq. Feet = 60%

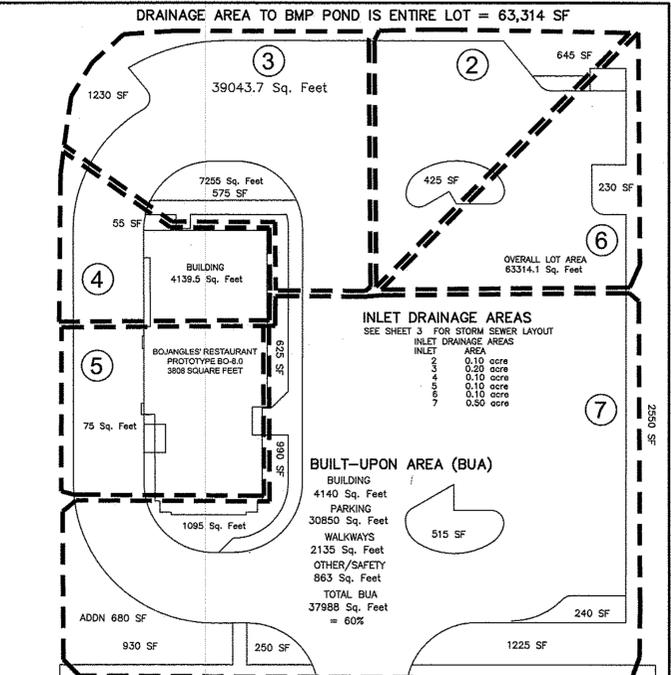


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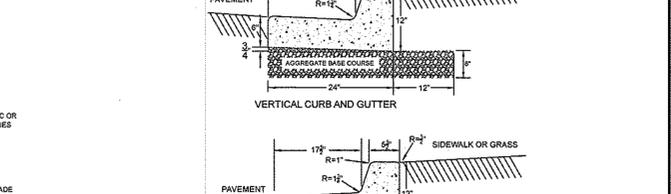
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 INSTALL LOW-FLOW WATER FIXTURES. UTILIZE MOISTURE SENSORS IN IRRIGATION SYSTEM.



STORMWATER MANAGEMENT PLAN

APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____



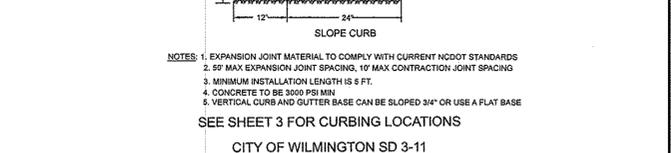
Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



Site & Utilities Plan
BOJANGLES' 520 South College Road
 LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
 NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES' RESTAURANTS INC.
 9432 SOUTHERN PINE BLVD.
 CHARLOTTE, NC 28273 phone:704-940-8569

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8002
 LICENSE # C-1057

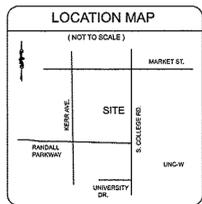
DATE: 9-12-15
 SCALE: 1" = 20'
 DRAWN: DSH
 CHECKED: DSH
 PROJECT NO: 12354
 SHEET NO: 2
 OF: 4

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

| REV. NO. | REVISIONS | DATE |
|----------|--------------------------------------|---------|
| 2 | REVISIONS AS PER REVIEW COMMENTS | 9-15-15 |
| 1 | MAJOR REVISION TO DRIVEWAY & DOT R/W | 8-07-15 |



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For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

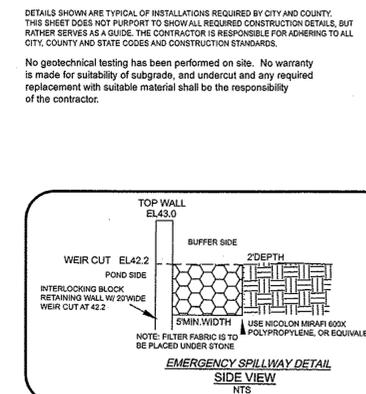
| Approved Construction Plan | | |
|----------------------------|------|--|
| Name | Date | |
| Planning | | |
| Traffic | | |
| Fire | | |

STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____

STABILIZATION TIME FRAMES:

| SITE AREA DESCRIPTION | STABILIZATION |
|--|---------------|
| Perimeter dikes, swales, ditches and slopes | 7 DAYS |
| High Quality Water (HQW) Zones | 7 DAYS |
| Slopes steeper than 3:1 | 7 DAYS |
| Slopes 3:1 or flatter | 14 DAYS |
| All other areas with slopes flatter than 4:1 | 14 DAYS |

NOTE WELL:
 ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS AND AS ABOVE, ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.



Line ID Flow Line Invert Invert Line Gr Gr Dnstrm rate down up slope down up line no. (cfs) (in) (ft) (ft) (%) (ft) (ft)

| | | | | | | | | | |
|---|---|---------|-----|-------|-------|-------|-------|-------|------|
| 1 | 1 | 25.9924 | Cir | 35.00 | 36.50 | 4.69 | ----- | 41.50 | End |
| 2 | 2 | 63.10 | 18 | Cir | 37.00 | 37.40 | 0.47 | 41.50 | 41.0 |
| 3 | 6 | 72.52 | 18 | Cir | 37.40 | 37.70 | 0.45 | 41.0 | 7.0 |
| 4 | 2 | 32.31 | 18 | Cir | 37.00 | 37.30 | 0.50 | 41.0 | 1.0 |
| 5 | 3 | 41.16 | 18 | Cir | 37.30 | 37.80 | 0.48 | 41.0 | 10.4 |
| 6 | 4 | 50.56 | 18 | Cir | 37.80 | 38.00 | 0.57 | 42.10 | 10.5 |

DRAINAGE AREA TO BMP POND IS ENTIRE LOT = 63,314 SF

SURFACE AREA FOR SEDIMENTATION:
 1.8 cfs X 325 = 585 sf REQUIRED
 3,385 sf PROVIDED

AQUATIC VEGETATION
 AQUATIC VEGETATION ZONE: FROM EL= 38.0 TO EL= 39.0
 SUITABLE SPECIES FOR PLANTING IN THIS ZONE ARE AS FOLLOWS:
 - SAGITTARIA LATIFOLIA (COMMON ARROWHEAD)
 - SAGITTARIA LANCEOLATA (DUCK POTATO)
 - SAURURUS CERNUUS (LIZARDTAIL)
 - PELTANDRA VIRGINICA (ARROW ARUM)
 IF ONE OR MORE OF THE SUGGESTED SPECIES IS UNAVAILABLE, APPROPRIATE WETLANDS VEGETATION COMMON TO THE COASTAL CAROLINA REGION MAY BE SUBSTITUTED.
 50 PLANTS PER 200 SF OR APPROX. 20 LF AT WATERLINE TO BE PLANTED; APPROXIMATELY 800 PLANTS FOR POND.

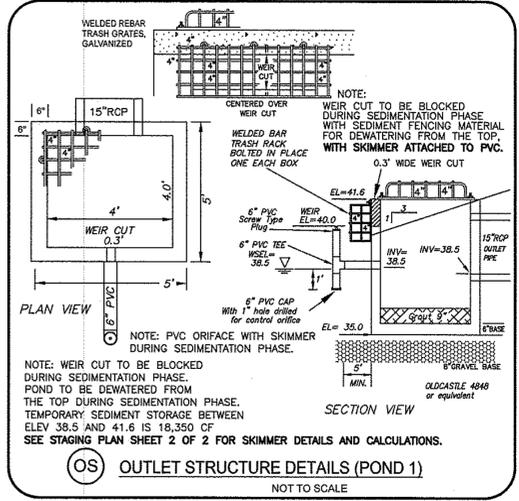
PLANNED EROSION AND SEDIMENT CONTROL PRACTICES -

- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**
 Practice 6.05
 Shall be installed at the entrances of the proposed project in and from College Road drives as shown. Drainage is away from the road and sedimentation will be controlled with downstream practices. During wet weather it may be necessary to wash truck tires at these locations.
- LAND GRADING**
 Practice 6.02
 Grading should be limited to areas as shown on the Plans. Cut and fill slopes shall be 3:1 or flatter except where specifically indicated. Care shall be taken during land grading activities not to damage existing trees that are not required to be removed.
- SEDIMENT FENCE**
 Practice 6.62
 Sediment fencing should be installed as shown on the Plan, first, to delineate and protect low areas, and around any temporary stockpile areas as necessary to prevent any graded interior areas from eroding onto adjacent lands or roadway, or into inlets.
- OUTLET STABILIZATION**
 Practice 6.41
 Riprap aprons will be located at the downstream end of all discharge pipes to prevent scour.
- SEDIMENT BASIN**
 Practice 6.61
 The Sediment Basin is to be constructed (see Construction Schedule) as the primary practice to prevent sediment from leaving the site. Detailed design and spillway configurations are specified in the details as shown on this Plan and the Narrative. The PVC outlet is to be blocked and weir blocked during the sedimentation function until entire watershed is permanently stabilized and pond is converted to permanent stormwater management detention / retention function. The Contractor will then open the control orifices.
- INLET PROTECTION**
 Practice 6.51
 Storm sewer inlet barriers of hardware cloth and gravel inlet protection are to be constructed to help prevent sediment from entering the storm sewer system. After permanent stabilization of the entire contributing watershed area, the storm sewer system is to be flushed to remove accumulated sediment and ensure design flow.

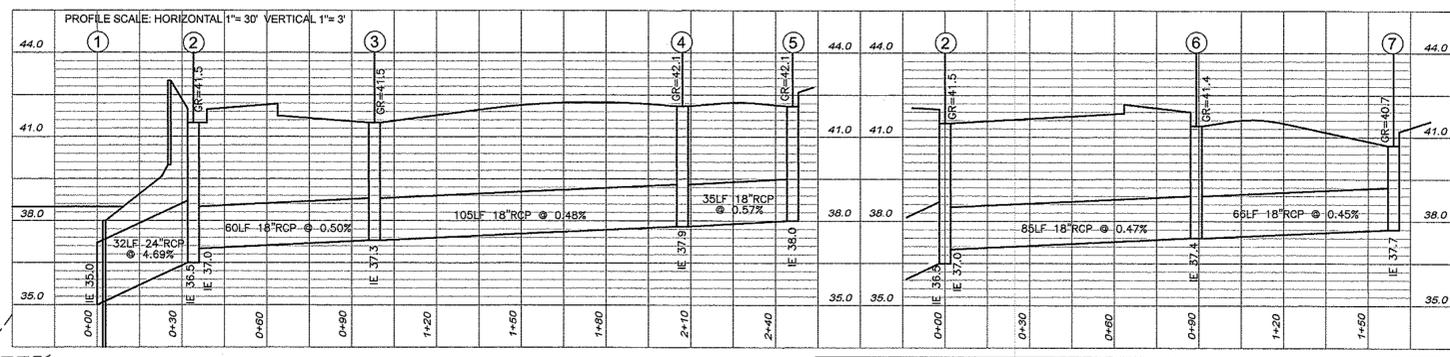
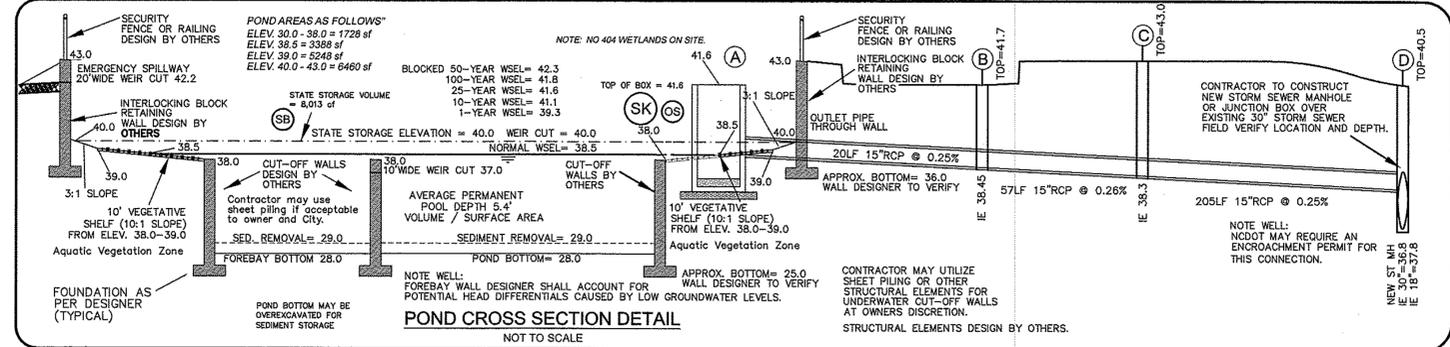
NOTE WELL: SEE STAGING PLAN SHEET 2 OF 2 FOR ADDITIONAL SKIMMER OUTLET STRUCTURE DETAILS AND CALCULATIONS.

BOJANGLES COLLEGE ROAD
 Wet detention/retention pond
 Additional Calculation Summary for City of Wilmington:
 WATER QUALITY CONSIDERATIONS -
 Impervious area calculations: See Project Data Sheet
 TOTAL IMPERVIOUS = 37,988 sf
 TOTAL AREA DRAINING TO POND = 63,314 sf (1.45 acres)
 SA REQUIRED: 37,988 / 63,314 = 0.60, or 60%
 At 4.5' average depth, 90% TSS removal, from chart - SA/DA factor = 4.8
 63,314 x 0.61 x 4.8 = 3,039 sf SA REQUIRED
 At Elev. = 38.5 = 3,385 sf SA PROVIDED

VOLUME REQUIRED: $R = [(P)(P_f)(R_v)/12](A)$
 SEE PAGES A.1 and A.2, "Controlling Urban Runoff"
 A. Practical Manual for Planning and Designing Urban BMPs"
 (P) = 1.5"
 (P_f) = 0.9
 (R_v) = 0.05 + 0.9(37,988/63,314) = 0.59
 (A) = 63,314 sf
 $R = [(1.5)(0.9)(0.59)/12](63,314) = 0.10$ acre feet
 = 4,669 of REQUIRED STORAGE
 8,013 of PROVIDED STORAGE @ ELEV. = 40.0
DRAWDOWN:
 Average head from storage elevation to orifice = 40.0 - 38.5 / 3 = 0.5'
 1" drain (1" orifice in 6" PVC Cap) to draw-down pond:
 Orifice equation: $Q = CA(2gh)^{1/2}$
 T = 5 days



PEAK DISCHARGE SUMMARY -
 Q(1) pre-developed = 1.1 cfs
 Q(10) pre-developed = 1.2 cfs
 Q(25) pre-developed = 1.8 cfs
 Q(1) post-developed = 0.0 cfs @ WSEL = 39.3
 Q(10) post-developed = 1.0 cfs @ WSEL = 41.6
 Q(25) post-developed = 1.7 cfs @ WSEL = 41.6
 Q(100) post-developed = 5.4 cfs @ WSEL = 41.8
 Q(50) post-BLOCKED = 3.0 cfs @ WSEL = 42.3
 STATE WATER QUALITY POND CONSIDERATIONS -
 Surface Area required = 3,039 sf
 Surface Area provided = 3,385 sf @ WSEL 38.5
 Storage Volume required = 4,669 cf
 Storage Volume provided = 8,013 cf @ WSEL 40.0
 Storage Volume Drawdown Time = 5 days
SEDIMENTATION POND CONSIDERATIONS -
 Storage required = 1.4 X 3600 = 5,040 cf
 Storage provided = 18,000 cf ±



EROSION CONTROL LEGEND (SEE NEXT SHEET FOR ADDITIONAL)

| | |
|----|---|
| CE | CONSTRUCTION ENTRANCE (TYPICAL) |
| SF | SLT FENCE (NEW) (TYPICAL) |
| IP | INLET PROTECTION (TYPICAL) |
| OP | OUTLET PROTECTION (TYPICAL) |
| SB | SEDIMENT BASIN |
| SK | SKIMMER (SEE STAGING PLAN SHEET 2 OF 2) |

NOTE WELL:
 1. All storm water runoff from built upon areas (i.e. impervious surfaces) to be directed to the storm sewer collection system (i.e. storm inlets or pond forebays) by swales, overland flow, additional grading, or landscaping inlets.

| REV. NO. | REVISIONS | DATE |
|----------|--------------------------------------|---------|
| 2 | REVISIONS AS PER REVIEW COMMENTS | 9-15-15 |
| 1 | MAJOR REVISION TO DRIVEWAY & DOT R/W | 8-07-15 |

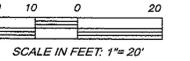
Site Grading, Stormwater and Erosion Control Measures
BOJANGLES'
 520 South College Rd.
 LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
 NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES' RESTAURANTS INC.
 9432 SOUTHERN PINE BLVD.
 CHARLOTTE, NC 28273 phone:704-940-8669

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8002
 LICENSE # C-0597

DATE: 3-12-15
 SCALE: 1"=20'
 DRAWN: DSH
 CHECKED: DSH
 PROJECT NO: 12354SHT3
 SHEET NO: 3 OF 4



SB

Sediment Basin

- 1. Site preparations: Clear, grub and strip topsoil from areas under the embankment to remove trees, vegetation, roots and other objectionable material. Delay clearing the pool area until the dam is complete and then remove brush, trees and other objectionable materials to facilitate sediment cleanup. Slope all topsoil or soil containing organic matter as for on the outer shell of the embankment to facilitate vegetative establishment. Place temporary sediment control measures below the basin for use.

OP

Outlet Stabilization Structure

- 1. Ensure that the subgrade for the filter and riprap follows the required lines and grades shown in the plan. Compact any fill required in the subgrade to the density of the surrounding undisturbed material. Low areas in the subgrade on undisturbed soil may also be filled by increasing the riprap thickness. The riprap and gravel filter must conform to the specified grading lines shown on the plans.

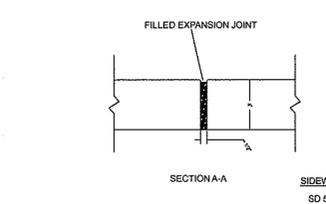
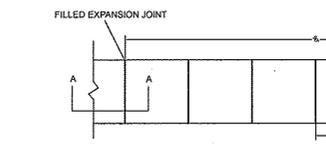
- 2. Cut-off trench: Excavate a cut-off trench along the centerline of the earth fill embankment. Cut the trench to stable soil material, but in no case make it less than 2 ft deep. The cut-off trench must extend into both abutments to at least the elevation of the crest. Make the minimum bottom width wide enough to permit operation of excavation and compaction equipment but in no case less than 2 ft. Make side slopes of the trench no steeper than 1:1. Compaction requirements are the same as those for the embankment. Keep the trench dry during backfilling and compaction operations.

NOTE WELL

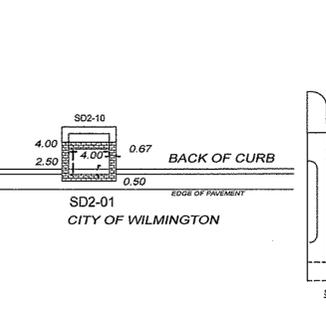
EROSION CONTROL DETAILS AND SPECIFICATIONS ARE PER THE 'EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL' OF THE STATE OF NORTH CAROLINA, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, LATEST EDITION. PRACTICE NUMBERS REFER TO THIS MANUAL. DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE CITY OF WILMINGTON. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY AND STATE CODES AND CONSTRUCTION STANDARDS.

DESIGNER'S CERTIFICATION - I, hereby certify that this plan has been prepared in accordance with the latest Wilmington Standards and Specifications for Stormwater Management and Chapter 23 of the Code of Ordinances of the City of Wilmington. Signature: David S. Hollis, PE, PLS. Date: 3-20-15. Registration Number: PE # 2007.

Maintenance Check sediment basins at periods of significant runoff. Remove sediment and restore the basin to its original dimensions when sediment accumulates to one-half the design depth.



- NOTES: 1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS. 2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MAN-HOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE. 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB. 4. CONCRETE FOR ALL SIDEWALKS EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON SHALL BE CLASS "A" - 3,000 PSI. 5. MINIMUM REPLACEMENT FOR REPAIRS IS 5' X 5' PANEL. 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS. 7. MINIMUM DEPTH FOR UNDER AND BELOW SIDEWALK IS 12" MIN. 8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1. 9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.



CONSTRUCTION SCHEDULE -

SEE PLAN THIS SHEET AND ALSO STAGING / DEMOLITION PLAN

- 1. Obtain approval of Plan and any necessary permits, and hold a pre-construction conference prior to commencing any work. 2. Flag work limits and stake-out building and identify trees to be removed. Phase 1 establish site Fencing and construction entrance. 3. Phase 2, install Gravel Construction Entrances. 4. Install Silt Fencing as shown on Plan prior to clearing and grubbing site. Sediment Basin to be constructed prior to remaining site work. 5. Install utilities in roadway and drives, establish final grades and stabilize parking areas and roadways with stone base course. 6. Final grade building site, install non-municipal utilities as needed, and vegetatively stabilize areas where building construction is not imminent. 7. All erosion and sediment control Practices are to be inspected weekly and after any rainfall, and repaired as necessary. 8. Upon completion of building construction, the roadway and parking areas are to be paved and all areas permanently vegetatively stabilized. After site stabilization, temporary measures are to be removed and the Sediment Basin cleaned to its original design contours, if necessary, and riprap structures off-catch opened, so as to function as a stormwater management / water quality retention pond.

MAINTENANCE PLAN -

- 1. All measures to be inspected weekly and after any rainfall event and needed repairs made immediately. 2. Sediment Basin to be cleaned out when the level of sediment reaches as shown on individual pond plans. 3. Construction entrance to be maintained in a condition to prevent mud or sediment from leaving the construction site. Periodic topdressing with 2" stone may be required. Remove all objectionable material spilled, washed, or tracked onto public roadways immediately. 4. Sediment to be removed from behind the any Silt Fence and inlet protection devices when it becomes 0.5' deep. Fencing and inlet protection to be repaired as needed to maintain a barrier. 5. All seeded areas shall be fertilized, mulched, and re-seeded as necessary, according to specifications provided, to maintain a suitable vegetative cover. 6. Inspect rip-rap outlet structures weekly and after significant (1/2 inch or greater) rainfall events to see if any erosion around or below rip-rap has taken place, or if stones have been dislodged. Immediately make all needed repairs to prevent further damage.

VEGETATIVE PLAN -

- 1. Permanent vegetation to be established in accordance with 'North Carolina Erosion and Sediment Control Planning and Design Manual', Section 6.11, latest version. See next sheet.

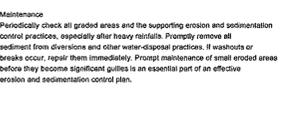
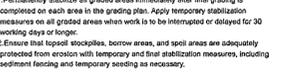
IP

HARDWARE CLOTH & GRAVEL INLET PROTECTION (Temporary)

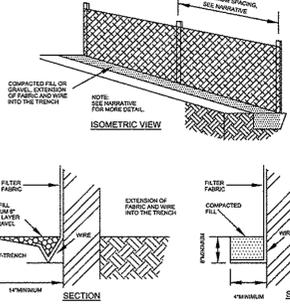
- As fabric, use a 19-gauge hardware cloth with 1/4 inch mesh openings, with a total height of 2 feet minimum. The sediment control, stone, with a height of 18 inches, should have an outside slope of 2:1. For stakes, use 1/2" x 1/2" x 1/2" steel rods with a minimum length of 5 ft, driven 2 ft into the ground, maximum spacing of 4 feet. Specifications: 1. Uniformly grade a shallow depression approaching the inlet. 2. Drive 5-foot steel posts 2 feet into ground surrounding the inlet. Support posts evenly around the perimeter of the inlet, a maximum of 4 feet apart. 3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Pading 2 foot spacing flap of the mesh under the gravel is recommended. 4. Place clean gravel (NCDOT #5 or #57 stone) on a 2:1 slope with a height of 18 inches around the wire, and smooth to an even grade. 5. Once the contributing drainage area has been stabilized, remove the accumulated sediment, and establish final grades. 6. Compact the area properly and stabilize with groundcover. Maintenance: Inspect the barrier after each significant rain and make repairs as needed. Remove sediment from the area as necessary to provide adequate storage volume for the next rain. Take care not to damage or undercut the hardware cloth during sedimenting. When the contributing drainage area has been adequately stabilized, remove all materials and any unstable sediment and dispose of them properly. Bring the disturbed area to the grade of the drop inlet and smooth and compact it. Appropriately stabilize all bare areas around the inlet.

Land Grading

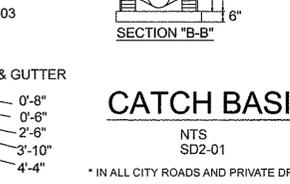
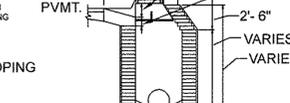
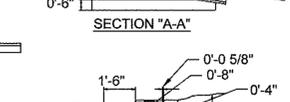
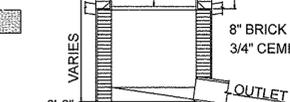
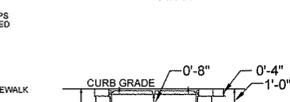
- 1. Construct and maintain all erosion and sedimentation control practices and measures in accordance with the approved sedimentation control plan and construction schedule. 2. Remove topsoil from areas to be graded and filled, and preserve it for use in finalizing the grading of all critical areas. 3. Scarify areas to be topsoiled to a minimum depth of 2 inches before placing topsoil (Practice 6.04, Topsoiling). 4. Clear and grub areas to be filled to remove areas, vegetation, roots, or other objectionable material that would affect the planned stability of the fill. 5. Ensure that fill material is free of brush, nodules, roots, high stumps, building debris, and other materials inappropriate for constructing stable fills. 6. Place all fill in layers not to exceed 9 inches in thickness, and compact the layers as required to reduce erosion, slippage, settlement, or other related problems. 7. Do not incorporate frozen material or soft, muddy, or highly compressible materials into fill slopes. 8. Do not place fill on a frozen foundation, due to possible subsidence and slippage. 9. Keep diversions and other water conveyance measures free of sediment during all phases of development. 10. Maintain steep or spring encountered during construction in accordance with approved methods (Practice 6.11, Surface Drainage). 11. Permanently stabilize all graded areas immediately after final grading is completed on each area in the grading plan. Apply temporary stabilization material on all graded areas which will be to be interrupted or delayed for 30 working days or longer. 12. Ensure that topsoil, stockpiles, borrow areas, and spoil areas are adequately protected from erosion with temporary and final stabilization measures, including sediment fencing and temporary seeding as necessary.



Note: Metal stakes are minimum 4' long, 1.33 lb/LF steel.



SEDIMENT FENCE (SILT FENCE) PRACTICE 6.02



* IN ALL CITY ROADS AND PRIVATE DRIVEWAYS

CE

Permanent Seeding

- Soil Conditions: In order to improve the structure and ecology characteristics of a soil, the following material may be added. These amendments should only be necessary where soils have limitations that make them poor for plant growth or for turf establishment (see Chapter 4, Vegetative Considerations). Soil Conditions: 1. Where a soil appears to be deficient, omit section. 2. Use common Bermudagrass only on isolated sites where it cannot become a pest. Bermudagrass may be replaced with fescue where desired. Seeding dates: Apr. 1 - July 15. Soil amendments - Apply lime and fertilizer according to soil tests, or apply 2,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer. Mulch - Apply 4,000 lb/acre grain straw or equivalent cover of another suitable mulch. Anchor by tacking with asphalt, nailing and setting or by carrying with a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. Maintenance - Refer to the following Apr. with 50 lb/acre nitrogen. Repeat as growth requires. May be mowed only once a year. Where a neat appearance is desired, omit section and mow as often as needed.

- Table 6.11a - Seeding No. 7CP for: Grass-Roads, Coastal Plain Seeding mixture: Species - Common Bermudagrass - Rate - 40-80 (1/2 in, 0.000 ft) Seeding dates - Coastal Plain: Apr - July Soil amendments - Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer. Mulch - Use jute, excelsior nesting, or other effective straw bedding material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and discharge not requiring temporary fillings, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top. Mulch and anchoring materials must be allowed to wash down slopes where they can dig drainage devices. Maintenance - A minimum of 3 weeks is required for establishment. Inspect and repair mat frequently. Refer to the following Apr. with 50 lb/acre nitrogen.

Refer to Appendix 6.02 for botanical names

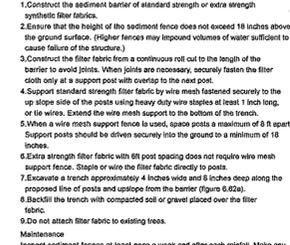
(SF)

Sediment Fence (Silt Fence)

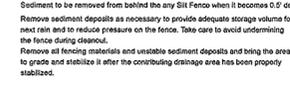
- 1. Use a synthetic filter fabric or a pervious sheet of polypropylene, nylon, polyester, or polyethylene yarn, which is certified by the manufacturer or supplier as conforming to the requirements shown in Table 6.02b. Synthetic filter fabric should contain ultraviolet inhibitors and stabilizers to provide a minimum of 6 months of expected outdoor service life at a temperature range of 0 to 100 degrees Fahrenheit. 2. Ensure that steel posts for sediment fences are 1.33 lb/linear ft steel with a minimum length of 4 ft. Make sure that steel posts have projections to facilitate fastening the fabric. 3. For reinforcement of standard strength filter fabric, use wire fence with a minimum 1/4 gauge and a maximum mesh spacing of 6 inches.



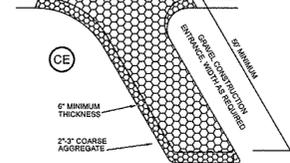
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL



HARDWARE CLOTH & GRAVEL INLET PROTECTION PRACTICE 6.51



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL

Table with 3 columns: REV. NO., REVISIONS, DATE. Includes a stamp for David S. Hollis, PE, PLS, dated 3-15-15.

CE

Permanent Seeding

- Soil Conditions: In order to improve the structure and ecology characteristics of a soil, the following material may be added. These amendments should only be necessary where soils have limitations that make them poor for plant growth or for turf establishment (see Chapter 4, Vegetative Considerations). Soil Conditions: 1. Where a soil appears to be deficient, omit section. 2. Use common Bermudagrass only on isolated sites where it cannot become a pest. Bermudagrass may be replaced with fescue where desired. Seeding dates: Apr. 1 - July 15. Soil amendments - Apply lime and fertilizer according to soil tests, or apply 2,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer. Mulch - Apply 4,000 lb/acre grain straw or equivalent cover of another suitable mulch. Anchor by tacking with asphalt, nailing and setting or by carrying with a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. Maintenance - Refer to the following Apr. with 50 lb/acre nitrogen. Repeat as growth requires. May be mowed only once a year. Where a neat appearance is desired, omit section and mow as often as needed.

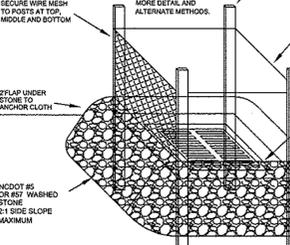
- Table 6.11a - Seeding No. 7CP for: Grass-Roads, Coastal Plain Seeding mixture: Species - Common Bermudagrass - Rate - 40-80 (1/2 in, 0.000 ft) Seeding dates - Coastal Plain: Apr - July Soil amendments - Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer. Mulch - Use jute, excelsior nesting, or other effective straw bedding material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and discharge not requiring temporary fillings, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top. Mulch and anchoring materials must be allowed to wash down slopes where they can dig drainage devices. Maintenance - A minimum of 3 weeks is required for establishment. Inspect and repair mat frequently. Refer to the following Apr. with 50 lb/acre nitrogen.



TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING



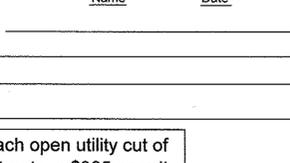
TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER



TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL

Table with 3 columns: REV. NO., REVISIONS, DATE. Includes a stamp for David S. Hollis, PE, PLS, dated 3-15-15.

CE

Temporary Gravel Construction Entrance/Exit

- 1. Clear the entrance and exit area of all vegetation, roots and other objectionable material and properly grade it. 2. Place the gravel to the specific grade and dimensions shown on the plans and smooth it. 3. Provide drainage to carry water to a sediment trap or other suitable outlet. 4. Use geotextile fabric because they improve stability of the foundation in locations subject to seepage or high water table. Maintenance: Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2 inch stone. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.

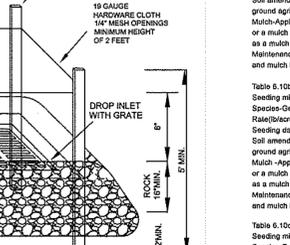
- Table 6.10a - Temporary Seeding Recommendations for Late Winter and Early Spring Seeding mixture: Species - Ryegrass, Annual ryegrass (R-1), Plectranthus and Coastal Plain Ryegrass (R-2) Rate (lb/acre) - 120 Omit annual ryegrass when duration of temporary cover is to extend beyond June. Seeding dates - Coastal Plain - Dec. 1 - Apr. 15. Soil amendments - Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer. Mulch - Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. Maintenance - Refer to the following Apr. with 50 lb/acre nitrogen. Repeat as growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.

- Table 6.10b - Temporary Seeding Recommendations for Summer Seeding mixture: Species - German millet Rate (lb/acre) - 40 Seeding dates - Coastal Plain - Apr. 15 - Aug. 15. Soil amendments - Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer. Mulch - Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. Maintenance - Refer to the following Apr. with 50 lb/acre nitrogen. Repeat as growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.

- Table 6.10c - Temporary Seeding Recommendations for Fall Seeding mixture: Species - Ryegrass Rate (lb/acre) - 120 Seeding dates - Coastal Plain and Piedmont - Aug. 15 - Dec. 30 Soil amendments - Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer. Mulch - Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. Maintenance - Refer to the following Apr. with 50 lb/acre nitrogen. Repeat as growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.



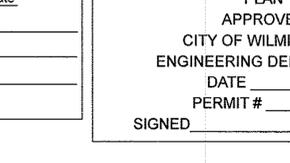
TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL

Table with 3 columns: REV. NO., REVISIONS, DATE. Includes a stamp for David S. Hollis, PE, PLS, dated 3-15-15.

CE

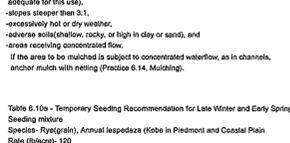
Temporary Gravel Construction Entrance/Exit

- 1. Clear the entrance and exit area of all vegetation, roots and other objectionable material and properly grade it. 2. Place the gravel to the specific grade and dimensions shown on the plans and smooth it. 3. Provide drainage to carry water to a sediment trap or other suitable outlet. 4. Use geotextile fabric because they improve stability of the foundation in locations subject to seepage or high water table. Maintenance: Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2 inch stone. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.

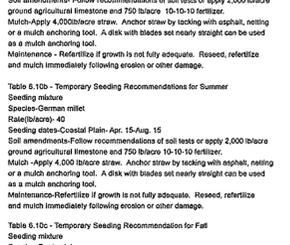
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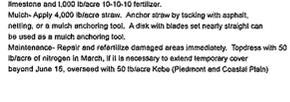
- Table 6.10c - Temporary Seeding Recommendations for Fall Seeding mixture: Species - Ryegrass Rate (lb/acre) - 120 Seeding dates - Coastal Plain and Piedmont - Aug. 15 - Dec. 30 Soil amendments - Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer. Mulch - Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. Maintenance - Refer to the following Apr. with 50 lb/acre nitrogen. Repeat as growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.



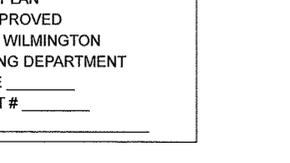
TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL

Table with 3 columns: REV. NO., REVISIONS, DATE. Includes a stamp for David S. Hollis, PE, PLS, dated 3-15-15.

CE

Temporary Gravel Construction Entrance/Exit

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TEMPORARY SEEDING RECOMMENDATION FOR FALL



TEMPORARY SEEDING RECOMMENDATION FOR FALL



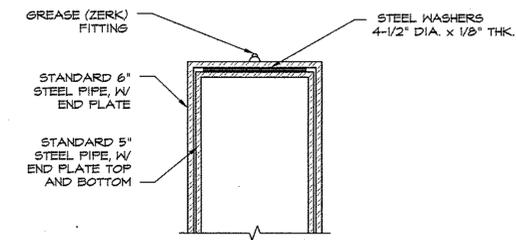
TEMPORARY SEEDING RECOMMENDATION FOR FALL



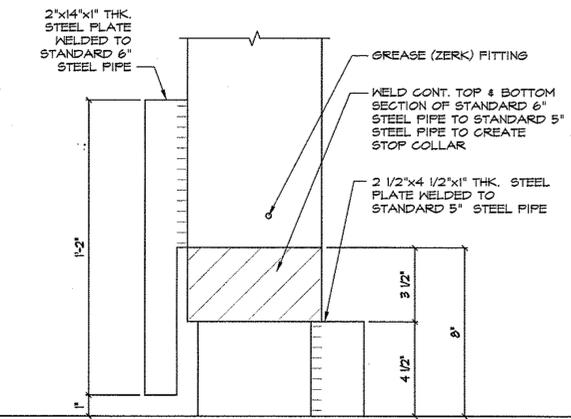
TEMPORARY SEEDING RECOMMENDATION FOR FALL

Table with 3 columns: REV. NO., REVISIONS, DATE. Includes a stamp for David S. Hollis, PE, PLS, dated 3-15-15.

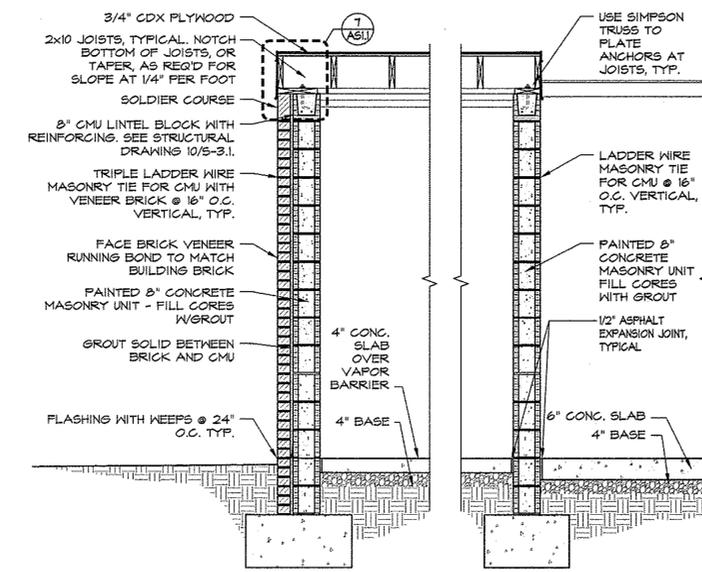
P:\2015\15-129-000 Bojangles (C) Wilmington NC - College Rd\CD\AS01-1 SITE DETAILS.dwg, Plotted By: bhughes, Plotted: Mar 18, 2015 - 12:19pm



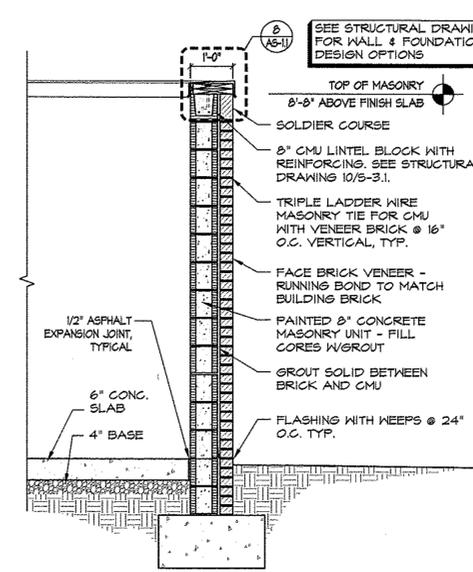
12 GATE DETAIL
SCALE: 1/2"=1'-0"



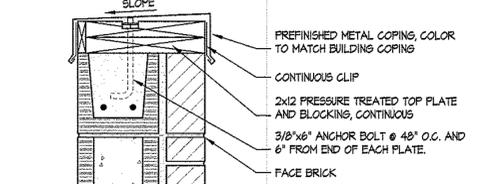
11 GATE DETAIL
SCALE: 1/2"=1'-0"



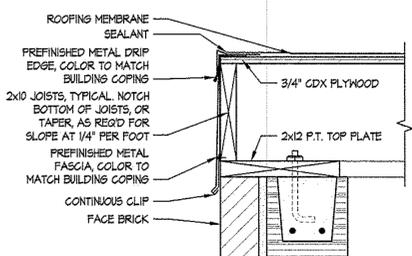
10 WASTE ENCLOSURE SECTION
SCALE: 1/2"=1'-0"



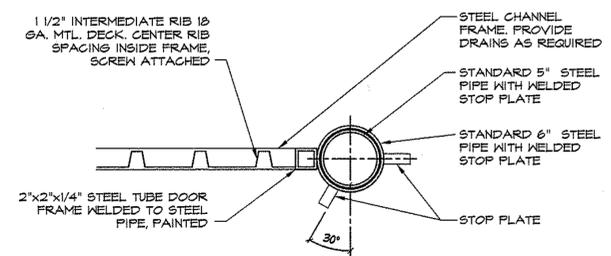
9 WASTE ENCLOSURE WALL SECTION
SCALE: 1/2"=1'-0"



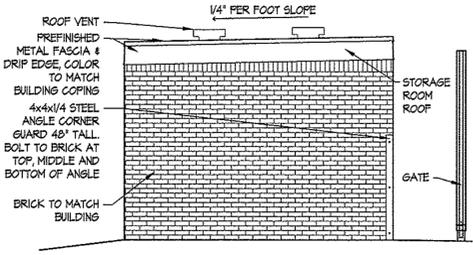
8 SECTION DETAIL
SCALE: 1/2"=1'-0"



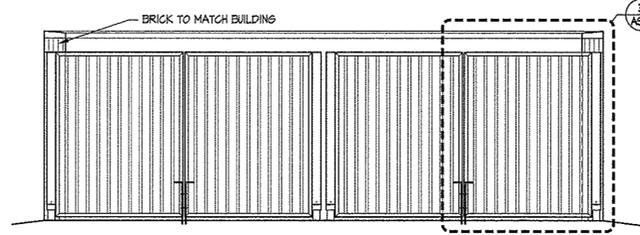
7 SECTION DETAIL
SCALE: 1/2"=1'-0"



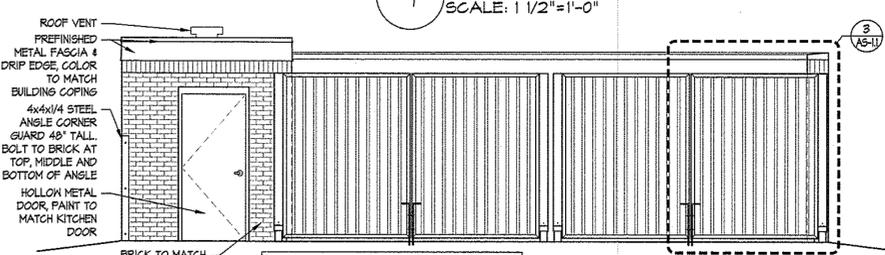
6 GATE DETAIL
SCALE: 1/2"=1'-0"



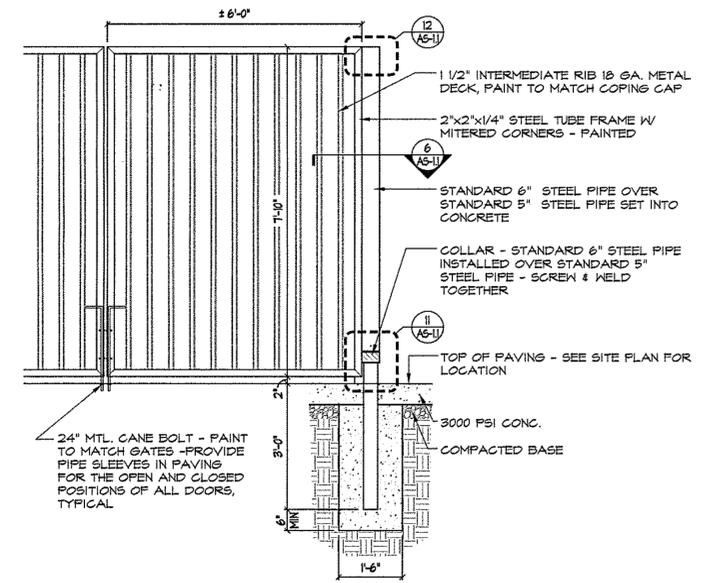
5A WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



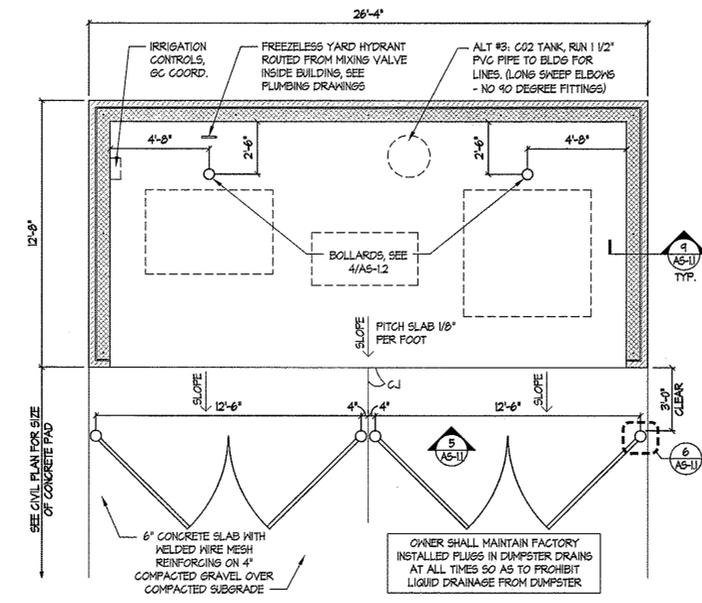
5 ALTERNATE #2 WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



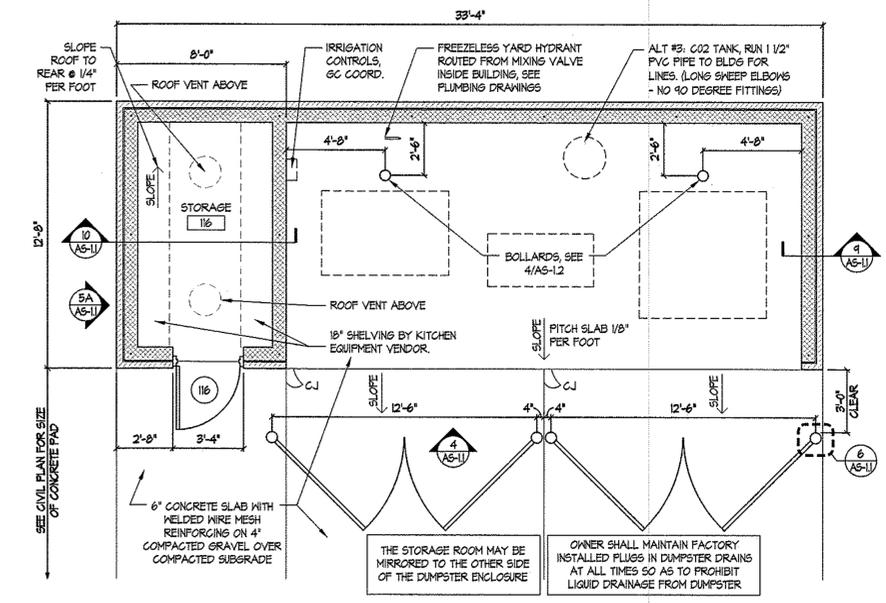
4 WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



3 GATE ELEVATION DETAIL
SCALE: 1/2"=1'-0"



2 ALTERNATE #2 WASTE ENCLOSURE PLAN
SCALE: 1/4"=1'-0"



1 WASTE ENCLOSURE PLAN
SCALE: 1/4"=1'-0"

THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE; IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.

PLAN NOTES:

- 1. ALL STEEL TO BE WELDED AND GROUND SMOOTH.
- 2. GATES AND ALL STEEL COMPONENTS ARE TO BE PRIMED AND PAINTED TO MATCH BRONZE COLORED MASONRY COPING CAP
- 3. STANDARD SIZE 6" STEEL PIPE IS 6.325" O.D. THICKNESS OF 0.28"
- 4. STANDARD SIZE 5" STEEL PIPE IS 5.563" O.D. THICKNESS OF 0.258"

ESD ARCHITECTURE + INTERIOR DESIGN
1300 South Mint Street, Suite 300, Charlotte, NC 28203
Email: esd@esdarch.com • Phone: 704-373-1900

ESD REGISTERED ARCHITECTURAL CORPORATION
CERT. NO. 616
NORTH CAROLINA
CHARLOTTE, NORTH CAROLINA

BOJANGLES' 8 RESTAURANT
COLLEGE ROAD
NEAR UNIVERSITY DR.
WILMINGTON, NORTH CAROLINA

WYNDHAM PARKE
1081
NORTH CAROLINA
CHARLOTTE, N.C.

ISSUE DATE: 03-19-15
REVISION 1: _____
REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
PROJECT #: 15-129-00
CONTENT: SITE DETAILS
PROJECT ARCHITECT: JDP
DRAWN BY: WCH
CADD FILE NAME: P:\15-129\CD\AS01-1 SITE DETAILS



520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

OWNER: CAJUN PROPERTIES, INC

DATE: MARCH 12, 2015

CONSTRUCTION SCHEDULE -

- Obtain approval of Plan and any necessary permits, and hold a pre-construction conference prior to commencing any work.
- Flag work limits and stake-out Phase 1 primary measures, and flag trees for removal and protection.
- Install Gravel Construction Entrance for Phase 1. Sediment Basin to be constructed during transition from Phase 1 to Phase 2 and operational before 10,000 sf of new BUA is placed.
- Construct any other sediment control Practices for Phase 2 shown, prior to rough grading pking lot and site, stockpiling material and topsoil as necessary.
- Install utilities in parking lot, establish final grades and stabilize parking areas with stone base course.
- Final grade building site, install non-municipal utilities as needed, and vegetatively stabilize areas where building construction is not imminent.
- All erosion and sediment control Practices are to be inspected weekly and after any rainfall, and repaired as necessary.
- Upon completion of building construction, the roadway and parking areas are to be paved and all areas permanently vegetatively stabilized. After site stabilization, temporary measures are to be removed and the Sediment Basin cleaned to its original design contours, if necessary, and riser structures orifices opened, so as to function as a stormwater management / water quality retention pond.

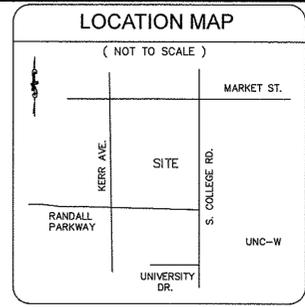
SEE SHEET 3 OF 4 FOR ADDITIONAL
EROSION CONTROL PRACTICES AND DETAILS

PHASING SCHEDULE -

- Phase 1 construction to be completed and new building substantially completed prior to commencing Phase 2.
- Contractor to coordinate staging of College Road entrances with NCDOT and the City of Wilmington. Terms of the permit, including night construction, to be coordinated with DOT.
- Contractor responsible for coordinating re-location of any utilities with the appropriate agencies.

PHASE 2 CONSTRUCTION
TO COMMENCE ONLY UPON
COMPLETION OF PHASE 1 AND
CONTRACTOR NOTIFICATION BY OWNER
SEE SHEET 2 OF 2

NOTE WELL:
ADDITIONAL EROSION
CONTROL MEASURES
REQUIRED FOR ALL
WORK IN NCDOT R/W.
SEE DRIVEWAY PLAN.



STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

Approved Construction Plan Name Date

Planning _____ Traffic _____ Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ADDITIONAL NOTES
THIS PROPERTY IS LOCATED IN FLOOD ZONE X ACCORDING TO FIRM MAP 37203137J, EFFECTIVE DATE APRIL 3, 2006
NO OBSERVED EVIDENCE OF RECENT EARTH MOVING ACTIVITY
NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP
BASED ON RECENT SURVEY AND OBSERVED EVIDENCE NO WETLANDS

SITE DATA
TAX PARCEL No. R05507-002-069-000
TRACT AREA - 63,300 S.F. 1.45 ACRES
ZONED - O&I (OFFICE & INSTITUTIONAL)
SETBACKS FRONT - 20'
REAR - 25' (RESIDENTIAL)
SIDE - 10'
LOT COVERAGE 40%
30 PARKING SPACES (EXISTING)

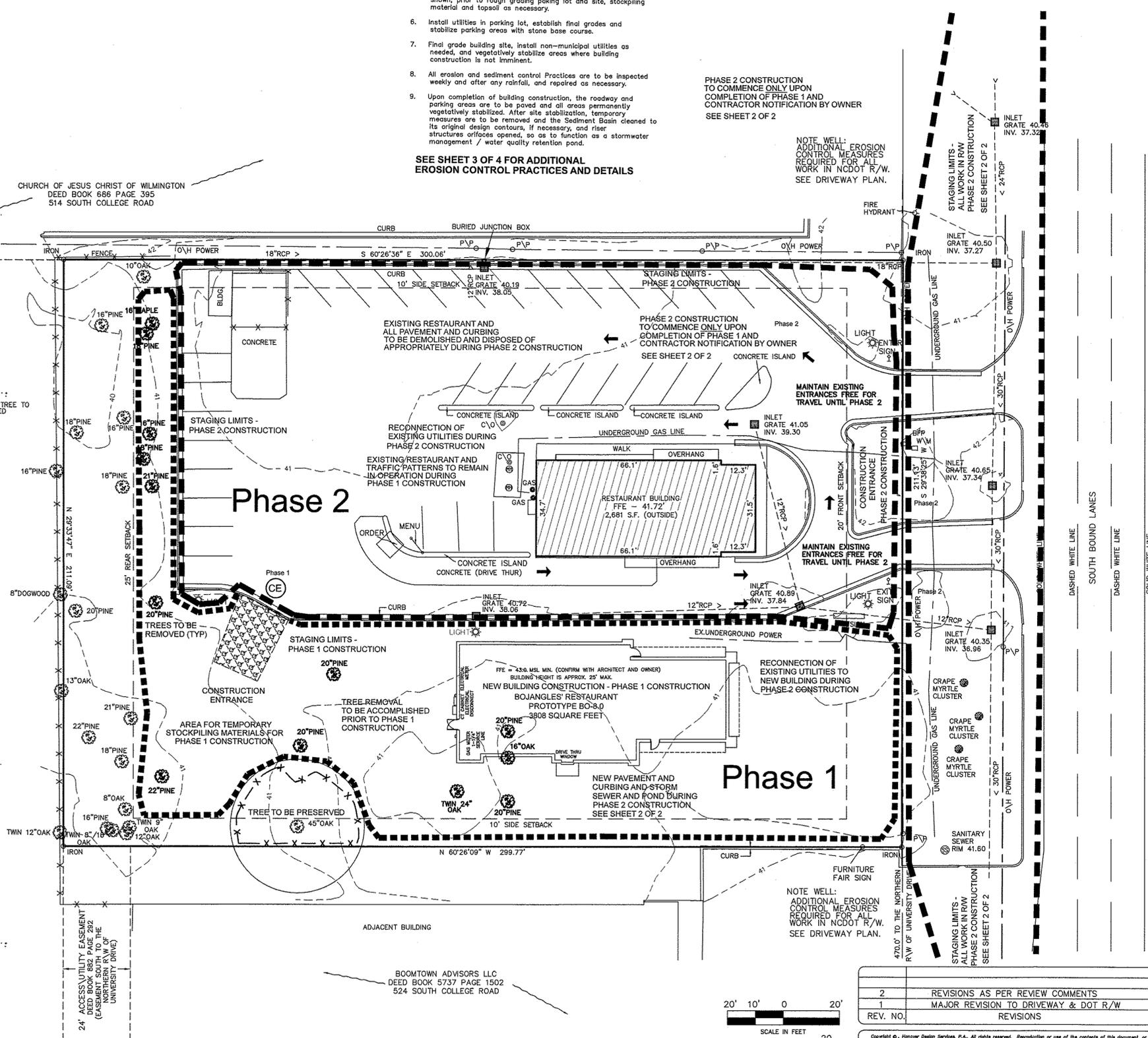
- NOTES
- AREA COMPUTED BY COORDINATE METHOD
 - ALL DISTANCES ARE HORIZONTAL GROUND
 - THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
 - THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING AS-BUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FORM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - FOR REFERENCE SEE DEED BOOK 1991 PAGE 087
 - THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA
 - VERTICAL DATUM NAVD 88
 - 1.45 ACRES TOTAL AREA

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc. 9432 Southern Pines Blvd. Charlotte, NC 27273 704-940-8669
PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties Inc. 9432 Southern Pines Blvd. Charlotte, NC 28273 704-940-8669

NOTE WELL:
THIS STAGING PLAN IS INTENDED AS AN AID FOR THE CONTRACTOR IN COORDINATING ACCESS TO EXISTING FACILITIES. NOTHING IN THIS PLAN IS INTENDED TO RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO COMPLY WITH FEDERAL, STATE, OR CITY REQUIREMENTS AND STANDARDS.

SOUTH COLLEGE ROAD

200 FT. PUBLIC RIGHT OF WAY



TREE INVENTORY

| | |
|-----------|----|
| HARDWOODS | 10 |
| CONIFER | 21 |
| FLOWERING | 1 |
| TOTAL | 32 |

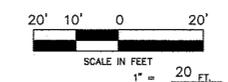
TREE REMOVALS

| | |
|-----------|----|
| HARDWOODS | 3 |
| CONIFER | 10 |
| FLOWERING | 0 |
| TOTAL | 13 |

18" PINE INDICATES TREE TO BE REMOVED

LEGEND

- C/O - CLEAN OUT
- P/P - POWER POLE
- INV. - INVERT
- BFP - BACK FLOW PREVENTER
- W/M - WATER METER
- C/O - CLEAN OUT
- O/H - OVERHEAD
- U/G - UNDERGROUND
- X-X - FENCE



| | | |
|----------|--------------------------------------|---------|
| 2 | REVISIONS AS PER REVIEW COMMENTS | 9-15-15 |
| 1 | MAJOR REVISION TO DRIVEWAY & DOT R/W | 8-07-15 |
| REV. NO. | REVISIONS | DATE |

Construction Staging and Demolition Plan & Tree Removal Plan
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES' RESTAURANTS, INC. 9432 SOUTHERN PINE BLVD. CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. - 28403
PHONE: (910) 343-8002
LICENSE # C-2597

Scale: 1" = 30'
Date: 3-12-15
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 1 of 2



520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

OWNER: CAJUN PROPERTIES, INC

DATE: MARCH 12, 2015

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SKIMMER ATTACHMENT DETAIL

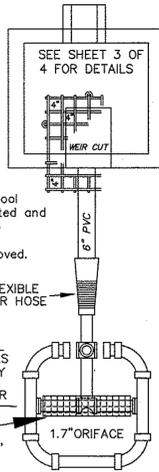
SKIMMER SEDIMENT BASIN (SK)
Practice 6.64

Skimmer is to be attached to the orifice pipe on the outlet structure box, converting the pond to a skimmer sediment basin. Dewatering will be accomplished from the top of the storage down to normal pool during sedimentation function until new excavation is completed and watershed is permanently stabilized and pond is converted to permanent stormwater management detention / retention function, at which time skimmers and baffles are to be removed.

MNFCR:
J.W. FAIRCLOTH & SON, INC.
412-A BUTTWOOD DRIVE
PO BOX 757
HILLSBOROUGH, NC 27278
www.fairclothskimmer.com

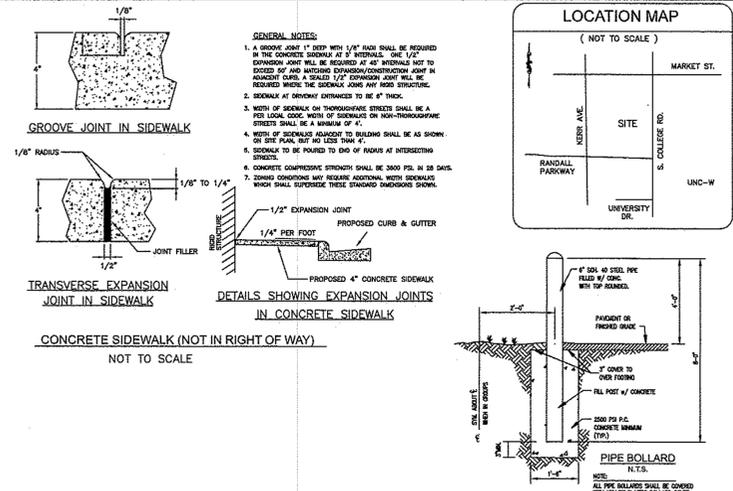
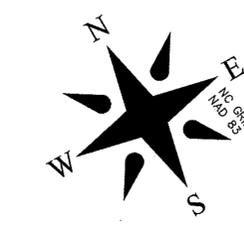
1.4 acres X 1800 cf/ac.
= 2,520 cf storage required
2" skimmer w/
2" head w/ 1.7" diameter
orifice drains 8,000 cf
in 3 days as per Faircloth
proprietary design recommendations.

6" X 2" FLEXIBLE CONNECTOR HOSE
ADDITIONAL FITTINGS AS NECESSARY
2" FAIRCLOTH SKIMMER ASSEMBLY, OR EQUIVALENT.
SCREENING, TYPICAL



MAINTENANCE

1. Skimmer to be inspected weekly and after each significant rain event (1/2 inch or greater) and repaired immediately. Make sure that the skimmer does not become entangled in basin vegetation or trapped in silt due to low water conditions.



SEE SHEET 2 OF THE DOT DRIVEWAY PERMIT PLAN FOR ADDITIONAL EROSION CONTROL PRACTICES AND DETAILS

| TREE INVENTORY | |
|----------------|----|
| HARDWOODS | 10 |
| CONIFER | 21 |
| FLOWERING | 1 |
| TOTAL | 32 |

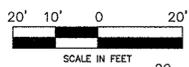
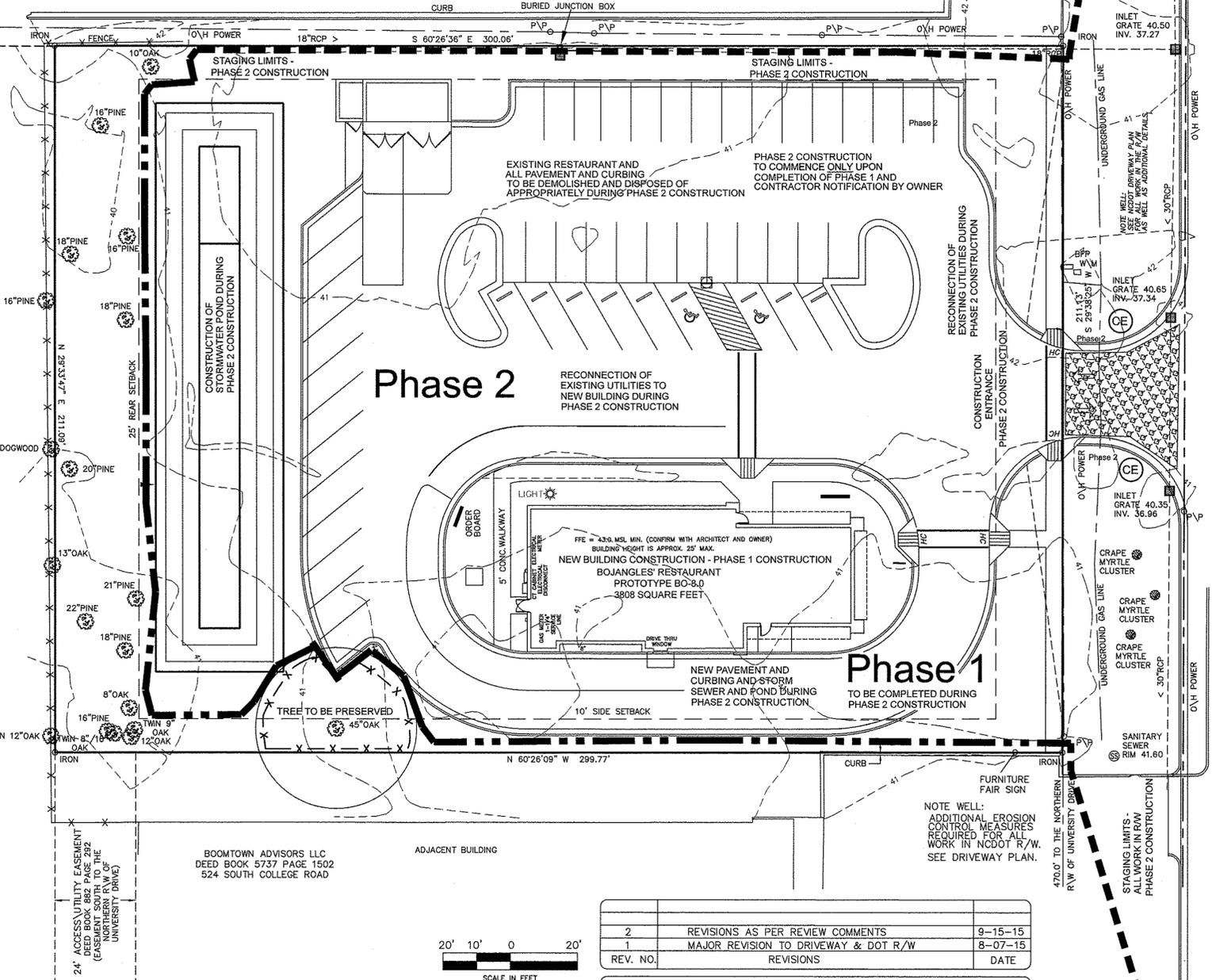
| TREE REMOVALS | |
|---------------|----|
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| FLOWERING | 0 |
| TOTAL | 13 |

NOTE WELL:
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K PARTNERSHIP
DEED BOOK 2389 PAGE 592

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc.
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Charlotte, NC 27273
704-940-8669
PARCEL ID: RO5507-002-069-000
OWNER: Cajun Properties Inc.
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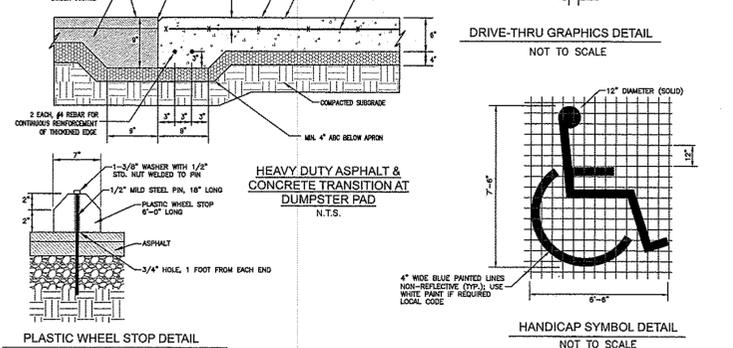
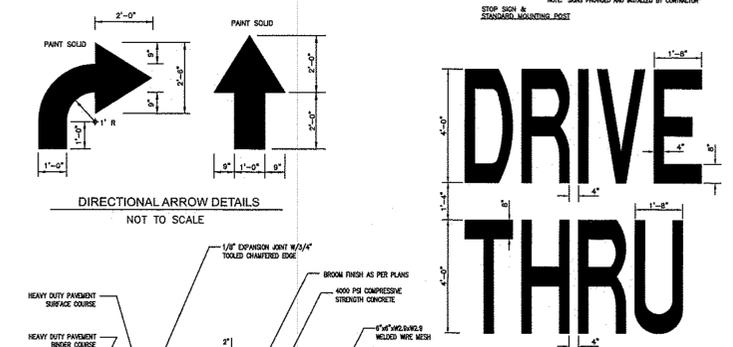
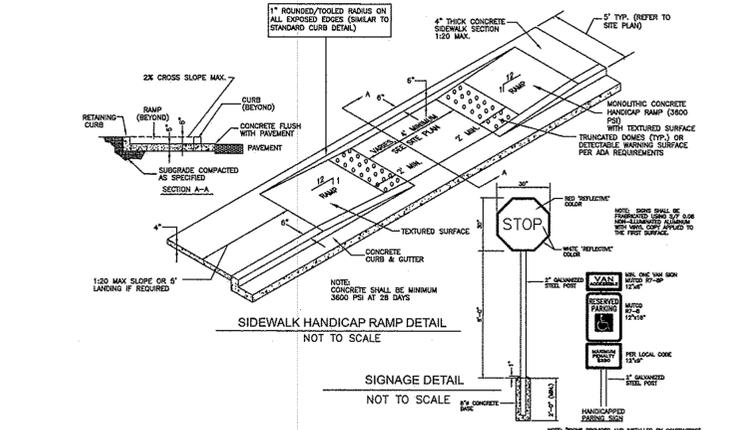
- LEGEND
- C/O - CLEAN OUT
 - P/P - POWER POLE
 - INV. - INVERT
 - BFP - BACK FLOW PREVENTER
 - WM - WATER METER
 - C/O - CLEAN OUT
 - O/H - OVERHEAD
 - U/G - UNDERGROUND
 - X-X - FENCE



| REV. NO. | REVISIONS | DATE |
|----------|--------------------------------------|---------|
| 2 | REVISIONS AS PER REVIEW COMMENTS | 9-15-15 |
| 1 | MAJOR REVISION TO DRIVEWAY & DOT R/W | 8-07-15 |

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SOUTH COLLEGE ROAD
200 FT. PUBLIC RIGHT OF WAY



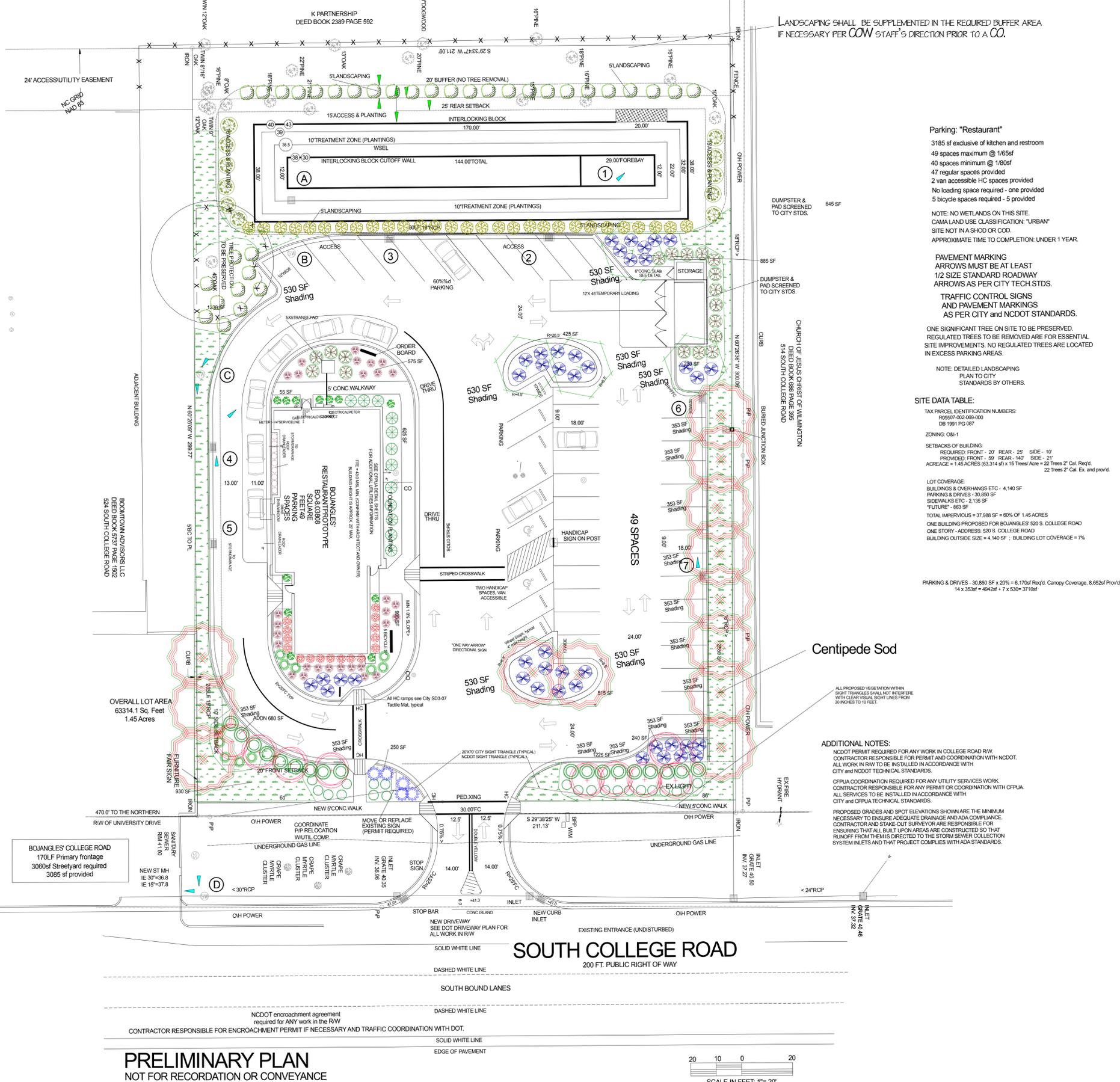
Construction Staging and Demolition Plan & Additional Details
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

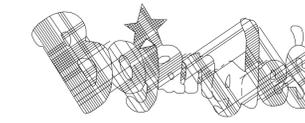
DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINES BLVD.
CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-5597

Date: 3-12-15
Scale: 1" = 30'
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 2
Of: 2



LANDSCAPING SHALL BE SUPPLEMENTED IN THE REQUIRED BUFFER AREA IF NECESSARY PER COW STAFF'S DIRECTION PRIOR TO A CO.



LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A CO.
 A rain/freeze sensor shall be used if there is an irrigation system.
 USING THE CREATIVE STANDARD OF THE CODE 50% OF THE STREETYARDS SHALL BE PLANTED AS CALLED OUT.

Parking: "Restaurant"
 3185 sf exclusive of kitchen and restroom
 49 spaces maximum @ 1/65sf
 40 spaces minimum @ 1/80sf
 47 regular spaces provided
 2 van accessible HC spaces provided
 No loading space required - one provided
 5 bicycle spaces required - 5 provided

NOTE: NO WETLANDS ON THIS SITE.
 CAMELAND USE CLASSIFICATION: "URBAN"
 SITE NOT IN A SHOD OR COD.
 APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

PAVEMENT MARKING
 ARROWS MUST BE AT LEAST 1/2 SIZE STANDARD ROADWAY ARROWS AS PER CITY TECH STDS.

TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS AS PER CITY AND NCDOT STANDARDS.

ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED. REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.

NOTE: DETAILED LANDSCAPING PLAN TO CITY STANDARDS BY OTHERS.

SITE DATA TABLE:
 TAX PARCEL IDENTIFICATION NUMBERS: R0567-002-069-000; DB 1991 PG 087
 ZONING: O&I-1
 SETBACKS OF BUILDING: REQUIRED FRONT - 20' REAR - 25' SIDE - 10' PROVIDED FRONT - 50' REAR - 140' SIDE - 21'
 ACREAGE = 1.45 ACRES (63,314 sf) x 15 Trees/Acre = 22 Trees 2" Cal. Req'd; 22 Trees 2" Cal. Ex. and prov'd.
 LOT COVERAGE: BUILDINGS & OVERHANGS ETC. - 4,140 SF; PARKING & DRIVES - 30,850 SF; SIDEWALKS ETC. - 2,136 SF; "FUTURE" - 865 SF
 TOTAL IMPERVIOUS = 37,988 SF = 60% OF 1.45 ACRES
 ONE BUILDING PROPOSED FOR BOJANGLES' 520 S. COLLEGE ROAD
 ONE STORY - ADDRESS: 520 S. COLLEGE ROAD
 BUILDING OUTSIDE SIZE = 4,140 SF; BUILDING LOT COVERAGE = 7%
 PARKING & DRIVES - 30,850 SF x 20% = 6,170sf Req'd; Canopy Coverage, 8,652sf Prov'd; 14 x 353sf = 4942sf + 7 x 530 = 3710sf

| Legend | | | |
|----------------------------|-------------------|-----|-------------|
| Common Name | Size | Qty | |
| Allee Elm | 2.5" Cal., 10'ht. | 4 | |
| Boxwood Hedge, Wintergreen | 3 Gal. | 16 | 12" Ht. |
| Pittosporum Compacta | 3 Gal. | 12 | 12" Ht. |
| Camellia Sasanqua Yuletide | 3 Gal. | 11 | 12" Ht. |
| Crape Myrtle Tuscarora | 2.5" Cal., 8'ht. | 9 | |
| Azalea Formosa | 3 Gal. | 34 | 18" Ht. |
| Japanese Yew | 7 Gal. | 29 | 36" Ht. |
| Juniper Parsoni | 3 Gal. | 50 | 12" Ht. |
| Ligustrum, Variegated | 7 Gal. | 13 | 33" Ht. |
| Nandina Gulfstream | 3 Gal. | 9 | 18" Ht. |
| European Hornbeam | 3" Cal., 10'ht. | 13 | |
| Drift Rose | 3 Gal. | 5 | Groundcover |
| Breeze Grass | 3 Gal. | 29 | 12" Ht. |
| Knockout Rose, Dbl. Red | 3 Gal. | 11 | 18" Ht. |
| Dwarf Yaupon Holly | 3 Gal. | 21 | 12" Ht. |
| Wax Myrtle | 3 Gal. | 11 | 30" Ht. |
| Needlepoint Holly | 7 Gal. | 18 | 36" Ht. |

| S. College Rd. Primary Streetyard: | per Creative Code: | Provided: |
|---|--------------------|-----------|
| 211lf - 25lf Drwy. = 186 x 18'w = 3348sf Req'd. landscape | 1674sf | |
| 3 understory trees per 600sf = 17 trees | 9 | 9 |
| 6 shrubs per 600sf = 33 shrubs | 17 | 43 |

Centipede Sod SY 585
 Brown-Dyed Mulch CY 70
 Wetlands Plants, 6 rows, 2'oc, 3 varieties 4" pot 1089
 Quantities listed are for convenience only. Landscape Contractor responsible for actual quantities.

The areas within the triangular sight distance shall be maintained free of all obstructions between 30" and 10'.
 PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

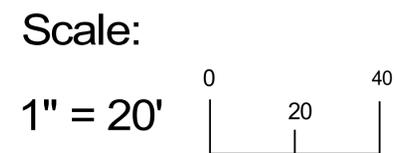
Date Drawn: 3-30-15
 Revision #1 8-12-15
 Revision #2
 Revision #3

All planted and retained living material required to meet the provisions of the City of Wilmington Land Development Code, shall be perpetually protected and maintained to professionally accepted standards by joint and several responsibility of the owner, tenant and respective agents of the property on which the material is located.

PRELIMINARY PLAN
 NOT FOR RECORDATION OR CONVEYANCE



Revision #: 2
 Date: 9/14/2015



Landscape Plan:
Bojangles

Landscape Design by: James Freeman - NCLC# 71
Freeman Landscape, Inc.

NOTE: ADDITIONAL EROSION CONTROL LIMITS OF DISTURBANCE IN R/W = 0.6 ACRE SEE SHEET 3 OF 4 FOR ADDITIONAL DETAILS AND MAINTENANCE SCHEDULE.

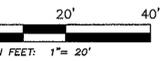
NOTE WELL: Construction in South College Road to be coordinated with NCDOT staff. Contractor to coordinate traffic control and scheduling with City Traffic Dept. (341-7888). All mailbox re-location, driveway repair and yard landscaping replacement to be coordinated with the respective property owners. Driveways and front yards to be repaired within R/W to "as new" condition. Contractor to ensure that yard drainage is directed to new or existing inlets or swales.

NOTE WELL: VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' HEIGHT

ALL TRAFFIC AND PARKING LOT STRIPING TO CITY OF WILMINGTON STANDARDS

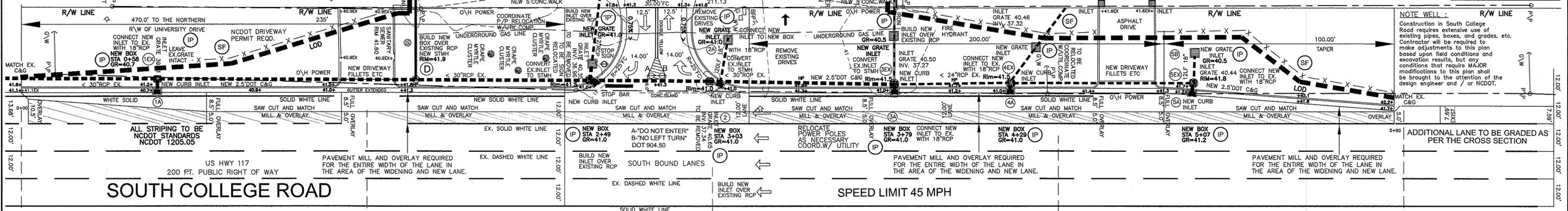
5" CONCRETE MONOLITHIC ISLAND (SURFACE MOUNTED) SEE NCDOT 852.01 FOR ADDITIONAL DETAILS. (RIGHT-IN, RIGHT-OUT ONLY) Crosswalks & NCDOT std. wheelchair ramps are to be installed per NCDOT

NOTE WELL: PAVEMENT MILL AND OVERLAY REQUIRED FOR THE ENTIRE WIDTH OF THE LANE IN THE AREA OF THE WIDENING AND NEW LANE.



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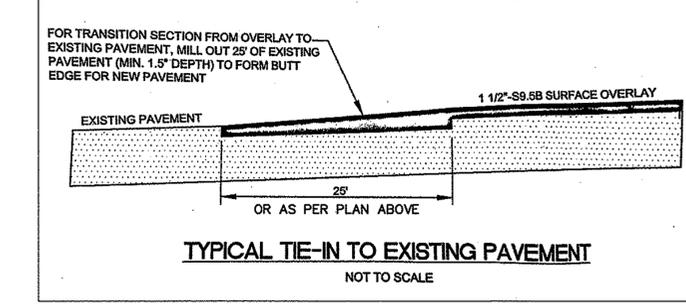
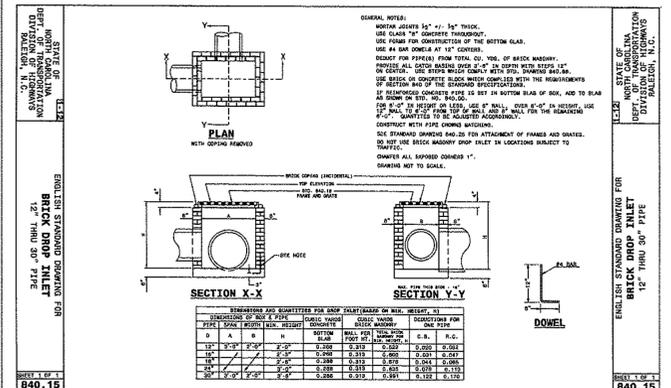
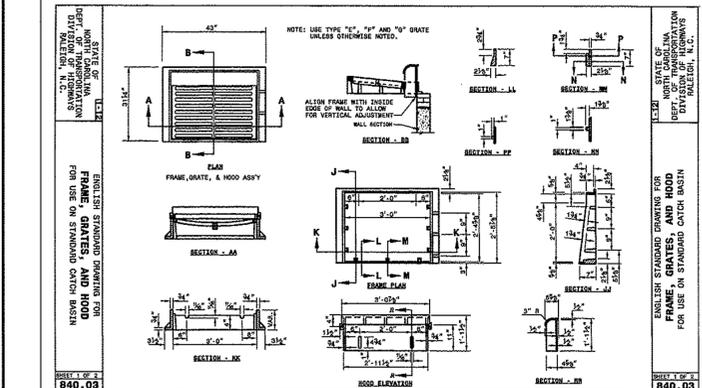
Bojangles
520 SOUTH COLLEGE ROAD
CITY OF WILMINGTON, NEW HANOVER COUNTY, NC
DATE: JULY 30, 2015



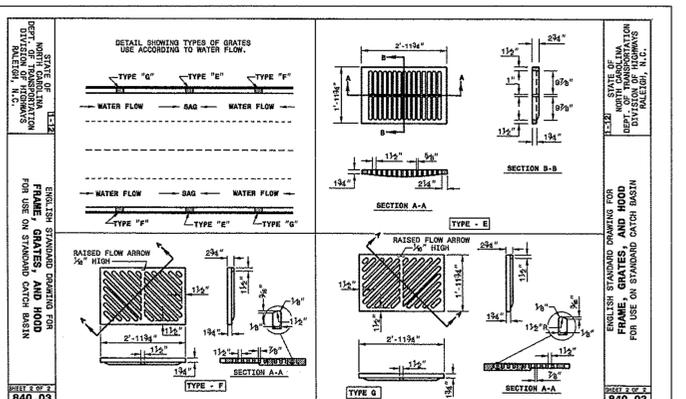
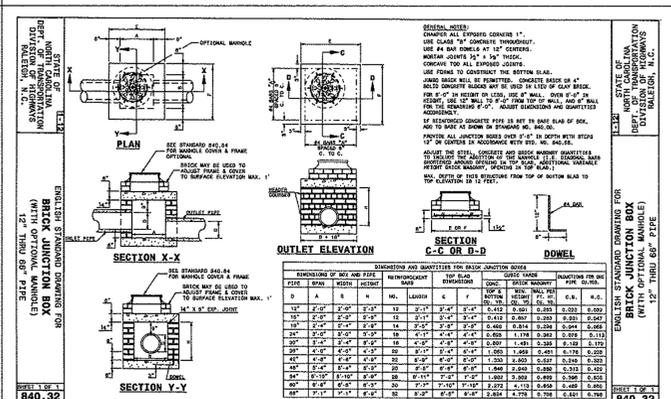
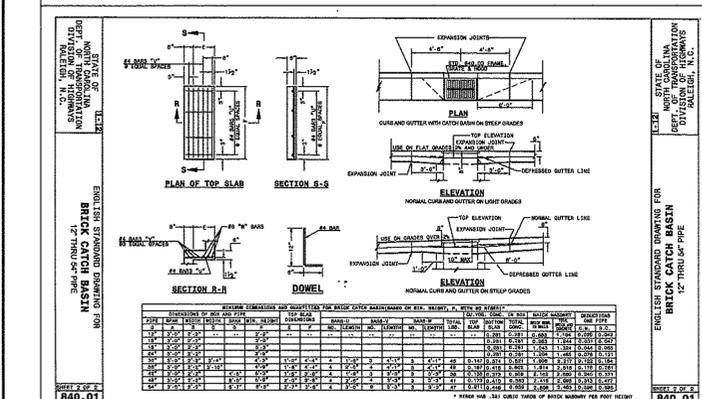
SOUTH COLLEGE ROAD

SPEED LIMIT 45 MPH

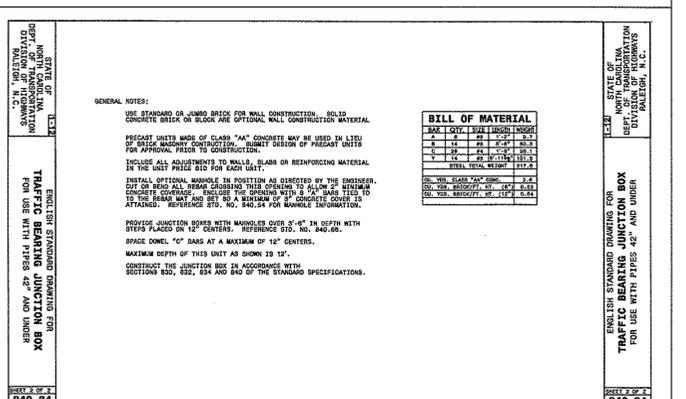
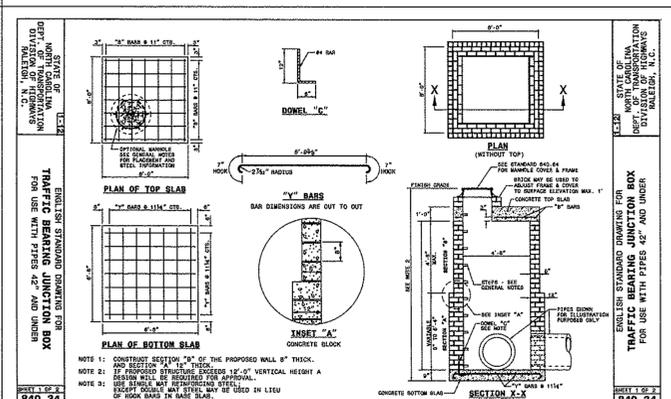
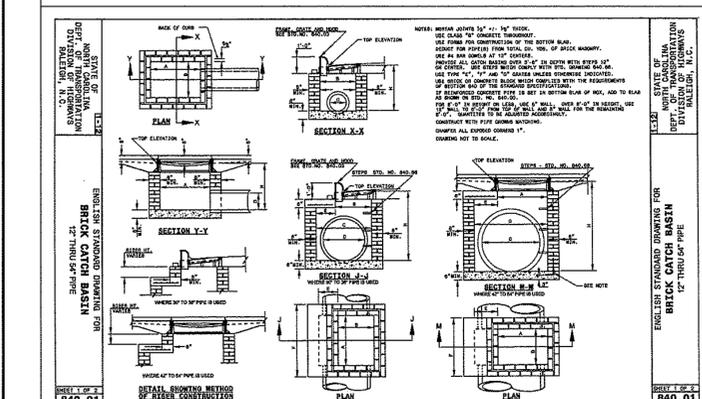
SCALE IN FEET: 1"=20'
SPOT ELEVATIONS: 41.1+ = PROPOSED ELEV., 41.1EX = EXISTING ELEV.
LEGEND: E.I. = EXISTING IRON, I.S. = IRON SET, E.C.M. = EXISTING CONCRETE MONUMENT, R/W = RIGHT-OF-WAY, P/P = POWER POLE, L/P = LIGHT POLE, S.D.S. = STORM DRAINAGE STRUCTURE, S.D.M. = EXIST. STORM DRAIN MANHOLE, D.I. = DROP INLET, S.S.M. = EXIST. SANITARY SEWER MANHOLE, W.W.A. = EXIST. WATERLINE F/H ASSEMBLY, D.P. = EXIST. DRAINAGE PIPE, G.L. = EXIST. GAS LINE, D.F. = DRAINAGE FLOW, +49.0 = INDICATES SPOT ELEVATION



STABILIZATION TIME FRAMES:
SITE AREA DESCRIPTION: Penetrator dikes, swales, ditches and slopes 7 DAYS; High Quality Water (HQW) Zones 7 DAYS; Slopes steeper than 3:1 7 DAYS; Slopes 3:1 or flatter 14 DAYS.
NOTE WELL: ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.



OTHER DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE CITY OF WILMINGTON AND NCDOT. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY AND STATE CODES AND CONSTRUCTION STANDARDS.
CONTRACTOR RESPONSIBLE FOR COORDINATING ALL TRAFFIC CONTROL WITH NCDOT AND CITY OF WILMINGTON. NCDOT PERMIT REQUIRED FOR ALL WORK IN R/W. ALL STRIPING TO BE THERMOPLASTIC. ALL EXISTING PAVEMENT MARKINGS REQUIRING REMOVAL TO BE REMOVED BY GRINDING.
ADDITIONAL EROSION CONTROL MEASURES IN R/W:
1. SEDIMENT FENCE: Practice 6.62
Sediment fencing should be installed as needed, first, to delineate and protect low areas, and second any temporary stockpile areas as necessary to prevent any graded interior areas from eroding onto adjacent lands or roadway, or into inlets.
2. INLET PROTECTION: Practice 6.51
Storm sewer inlet barriers of hardware cloth and gravel inlet protection are to be constructed to help prevent sediment from entering the storm sewer system. After permanent stabilization of the entire contributing watershed area, the storm sewer system is to be flushed to remove accumulated sediment and ensure design flows.
INLET PROTECTION ALL INLETS IN R/W AREA.



ADDITIONAL NOTES:
1. A SIGNAL AGREEMENT MAY BE REQUIRED.
2. CROSSWALKS AND NCDOT STANDARD WHEELCHAIR RAMPS ARE TO BE INSTALLED AS PER NCDOT AND CITY OF WILMINGTON.
3. PLAN TO BE USED FOR CROSSWALK & STOP BAR PLACEMENT.
4. CONTACT TRAFFIC ENGINEERING TO CONFIRM THAT ANY SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE SITE PLAN.
5. NOTIFY TRAFFIC ENGINEERING 48 HOURS PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
6. CONTACT TRAFFIC ENGINEERING TO DISCUSS STREET LIGHT OPTIONS. A LANDSCAPING PLAN WILL BE NECESSARY TO DETERMINE STREET LIGHT LOCATIONS.
7. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
NCDOT STANDARD NOTES:
1. THERE SHALL BE NO ENCUMBRANCES WITHIN THE PUBLIC RIGHT-OF-WAY EXCEPT AS SHOWN.
2. ALL ROADS TO BE BUILT TO NCDOT STANDARDS AND ALL ROADS TO BE DEDICATED TO THE PUBLIC.
3. ALL INTERSECTIONS ARE SUBJECT TO NCDOT 10' X 70' SIGHT TRIANGLES.
4. A SIGNAL AGREEMENT MAY BE REQUIRED.
5. USE PLAN FOR CROSSWALK AND STOP BAR PLACEMENT.

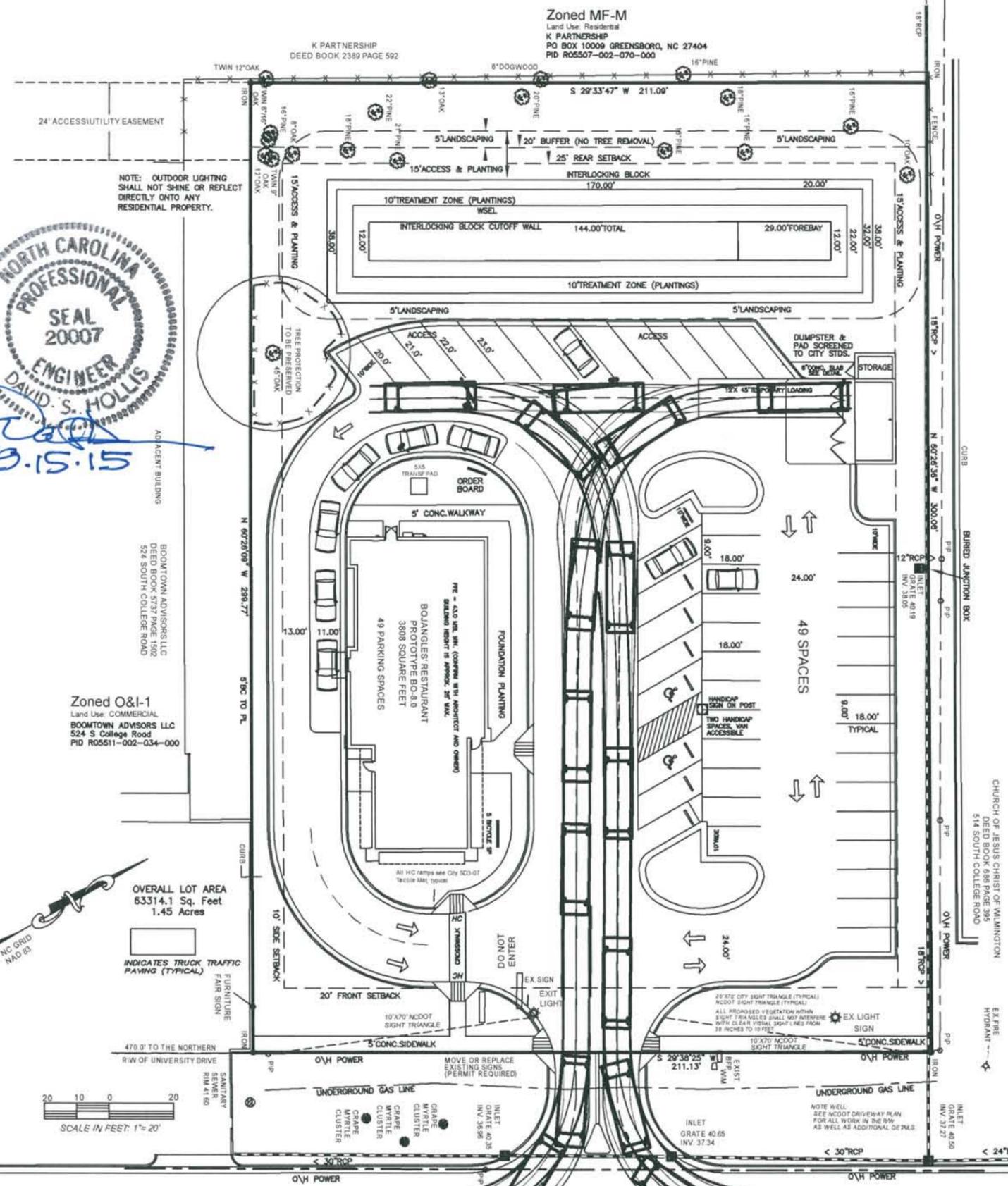
NCDOT DRIVEWAY PLAN & ADDITIONAL EROSION CONTROL
BOJANGLES!
520 South College Road
LOCATED IN CITY OF WILMINGTON

SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

DEVELOPER: BOJANGLES! RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone: 704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-0002
LICENSE # C-0597

DATE: 7-08-15
SCALE: 1"=20'
DRAWN: DSH
CHECKED: DSH
PROJECT NO: 12354
SHEET NO: 2
OF: 2



OVERALL LOT AREA
63314.1 Sq. Feet
1.45 Acres

SCALE IN FEET: 1"=20'

INDICATES TRUCK TRAFFIC PAVING (TYPICAL)

Zoned O&I-1
Land Use: Institutional
STATE OF NORTH CAROLINA, UNCW
116 W Jones St, Raleigh, NC 27602
PID R05511-003-001-000

SOUTH COLLEGE ROAD
200 FT. PUBLIC RIGHT OF WAY

DASHED WHITE LINE
SOUTH BOUND LANES
DASHED WHITE LINE
SOLID WHITE LINE
EDGE OF PAVEMENT

AASHTO—Geometric Design of Highways and Streets

US Customary

| Design Vehicle Type | Passenger Car | Single-Unit Truck | Intercity Bus (Motor Coach) | | City Transit Bus | Conventional School Bus (65 pass.) | Large School Bus (84 pass.) | Articulated Bus | Intermediate Semi-trailer | Intermediate Semi-trailer |
|--|------------------------|-----------------------------|------------------------------|--------------------------------------|------------------|------------------------------------|-----------------------------|-----------------------------|---------------------------------------|---------------------------|
| Symbol | P | SU | BUS-40 | BUS-45 | CITY-BUS | S-BUS36 | S-BUS40 | A-BUS | WB-40 | WB-50 |
| Minimum Design Turning Radius (ft) | 24 | 42 | 45 | 45 | 42.0 | 38.9 | 39.4 | 39.8 | 40 | 45 |
| Center-line ¹ Turning Radius (CTR) (ft) | 21 | 38 | 40.8 | 40.8 | 37.8 | 34.9 | 35.4 | 35.5 | 36 | 41 |
| Minimum Inside Radius (ft) | 14.4 | 28.3 | 27.6 | 25.5 | 24.5 | 23.8 | 25.4 | 21.3 | 19.3 | 17.0 |
| Design Vehicle Type | Interstate Semitrailer | "Double Bottom" Combination | Triple Semi-trailer/trailers | Turnpike Double Semi-trailer/trailer | Motor Home | Car and Camper Trailer | Car and Boat Trailer | Motor Home and Boat Trailer | Farm ³ Tractor w/One Wagon | |
| Symbol | WB-82* | WB-65** or WB-67 | WB-67D | WB-100T | WB-109D* | MH | P/T | P/B | MH/B | TR/W |
| Minimum Design Turning Radius (ft) | 45 | 45 | 45 | 45 | 60 | 40 | 33 | 24 | 50 | 18 |
| Center-line ¹ Turning Radius (CTR) (ft) | 41 | 41 | 41 | 41 | 56 | 36 | 30 | 21 | 46 | 14 |
| Minimum Inside Radius (ft) | 7.9 | 4.4 | 19.3 | 9.9 | 14.9 | 25.9 | 17.4 | 8.0 | 35.1 | 10.5 |

- * = Design vehicle with 48-ft trailer as adopted in 1982 Surface Transportation Assistance Act (STAA).
- ** = Design vehicle with 53-ft trailer as grandfathered in with 1982 Surface Transportation Assistance Act (STAA).
- ¹ = The turning radius assumed by a designer when investigating possible turning paths and is set at the centerline of the front axle of a vehicle. If the minimum turning path is assumed, the CTR approximately equals the minimum design turning radius minus one-half the front width of the vehicle.
- ² = School buses are manufactured from 42-passenger to 84-passenger sizes. This corresponds to wheelbase lengths of 11.0 ft to 20.0 ft, respectively. For these different sizes, the minimum design turning radii vary from 28.8 ft to 39.4 ft and the minimum inside radii vary from 14.0 ft to 25.4 ft.
- ³ = Turning radius is for 150-200 hp tractor with one 18.5 ft long wagon attached to hitch point. Front wheel drive is disengaged and without brakes being applied.

Exhibit 2-2. Minimum Turning Radii of Design Vehicles (Continued)

BOJANGLES' SOUTH COLLEGE ROAD
TRUCK TURNING MOVEMENTS
SCALE: 1"=40'

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 27273
704-940-8669
PARCEL ID: R05507-002-069-000
OWNER: Cajun Properties Inc.
9432 Southern Pines Blvd.
Charlotte, NC 28273
704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

