

SITE DATA
 PROPERTY OWNER: PEACHTREE VENTURES, LLC
 PROJECT ADDRESS: 1510 SOUTH THIRD STREET
 PIN NUMBER: R05417-013-004-000
 ZONING DISTRICT: UMX
 FLOOD AREA: THIS LOT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006 (PER BATEMAN CIVIL SURVEY COMPANY, PC)
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 4 STORIES OR 45' (ALONG ARTERIAL STREETS), 35' OR 2 STORIES (ALONG RESIDENTIAL & COLLECTOR STREETS)
 MAXIMUM EXISTING BUILDING HEIGHT: 27' (APPROX. PER GOOGLE EARTH; FROM EXISTING GROUND TO TOP OF BUILDING ALONG WILLARD STREET)
 BUILDING SETBACKS, REQUIRED (FOR SIDE OF BUILDING ABUTTING A SINGLE-FAMILY ZONING DISTRICT): FRONT-5' OR AVERAGE SETBACK OF EXISTING BUILDINGS WITHIN THE BLOCK OR FACE (BUT NOT MORE THAN 10'), REAR-5', SIDE-5'
 BUILDING SETBACKS, EXISTING: FRONT-0.04'
 SITE AREA: 105,703.64 SF = 2.43 ACRES ±
 MAXIMUM ALLOWABLE DENSITY: NONE (VERTICALLY INTEGRATED MIXED-USE BUILDING)
 TOTAL UNITS: 43 (ONE BEDROOM APARTMENTS), 10 (TWO BEDROOM APARTMENTS) & 1 (RETAIL SPACE)
 NUMBER OF PROPOSED BUILDINGS: 0
 NUMBER OF EXISTING BUILDINGS: 2
 BUILDING SIZE:

BUILDING	POST DEVELOPMENT SQUARE FOOTAGE (1ST STORY)	POST DEVELOPMENT SQUARE FOOTAGE (2ND STORY)
1	52,769	11,329
2	5,541	N/A

TOTAL AMOUNT & PERCENT OF IMPERVIOUS SURFACE AREAS ON-SITE (REPLACEMENT OF EXISTING PARKING AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION REMAIN LISTED/TREATED AS EXISTING, NOT PROPOSED):

BEFORE DEVELOPMENT		AFTER DEVELOPMENT	
BUILDINGS	AREA (SF)	EX. (SF)	PROPOSED (SF)
BUILDINGS	59,079	55,404	58,410
PARKING	31,561	29,866	32,406
GRAVEL	7,785	7,36	0
SIDEWALK	187	0.18	0
OTHER	1,859	1.76	0
TOTAL	100,470	95.05	91.81

TOTAL PROPOSED IMPERVIOUS AREAS OFF-SITE (DOES NOT INCLUDE REPLACEMENT OF EXISTING SIDEWALK AREAS OR EXISTING DRIVEWAY AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION, GRADE ADJUSTMENTS, AND/OR ANY REQUIRED REPLACEMENTS PER CITY OF WILMINGTON):

	AREA (SF)
DRIVEWAY	132
SIDEWALK (INCLUDES BICYCLE PARKING AREAS)	4,115
TOTAL	4,247

OFF STREET PARKING CALCULATIONS:

MIN. PARKING REQ. = N/A
 MAX. PARKING ALLOWED = 2.5 SPACES/UNIT x 53 UNITS + 1 SPACE/200 SF x 3,922 SF = 152 SPACES
 NUMBER OF PROPOSED PARKING SPACES (OFF-STREET) = 92 (18 ARE INDIVIDUAL GARAGE SPACES & 16 ARE RETAIL SPACES)
 NUMBER OF PROPOSED PARKING SPACES (ON-STREET; STRIPE ON EXISTING SOUTH SECOND STREET) = 16
 MIN. NUMBER OF REG. HANDICAPPED SPACES PER ADA STANDARDS FOR ACCESSIBLE DESIGN = 5
 NUMBER OF PROPOSED HANDICAPPED SPACES = 6
 NUMBER OF REG. BICYCLE PARKING SPACES = 1 SPACE/UNIT x 53 UNITS + (1 SPACE/1,000 SF x 3,922 SF OR 5 SPACES, WHICHEVER IS GREATER) = 58
 NUMBER OF PROPOSED BICYCLE PARKING SPACES = 58 (INCLUDES 1 SPACE IN EACH INDIVIDUAL GARAGE SPACE)
 THIS SITE IS NOT WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT OR ANY OTHER ZONING OVERLAY DISTRICT
 PER THE CITY OF WILMINGTON ZONING MAP (MAP 3117-4, DATED: MAY 8, 2015)
 CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

CITY OF WILMINGTON STANDARD NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS.
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- PROTECTIVE TREE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CALL TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS, OR CURB AND GUTTER SECTIONS SHALL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 332-6558 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE & MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR OR ASSE.
- ALL TRAFFIC CONTROL SIGNS & MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PAVEMENT MARKINGS REGULATING TRAFFIC FLOW MUST BE THERMOPLASTIC.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET (CONTACT 341-5888 FOR MORE DETAILS). IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.

SITE INVENTORY NOTES

- SOIL ON SITE PER THE NEW HANOVER COUNTY SOIL SURVEY IS URBAN LAND (Ur).
- THERE ARE NO CAMA AETS, TO WHICH SETBACKS WOULD BE MEASURED, ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THE SUBJECT PARCEL IS NOT ASSOCIATED WITH ANY OF THE CONSERVATION RESOURCES LISTED IN SECTION 18-341(C) OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THE PROPERTY HAS BEEN DEVELOPED FOR MANY YEARS, THEREFORE IT IS NOT ANTICIPATED THAT THERE ARE HISTORICAL OR ARCHAEOLOGICAL CONCERNS ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THERE ARE NO CEMETERIES WITHIN THE SUBJECT PROPERTY LIMITS PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THE SITE IS AN EXISTING COMMERCIAL SITE WITH NO FORESTED AREAS.
- THERE ARE NO FEDERAL, STATE OR LOCALLY REGULATED WETLANDS, WATERS OR CONSERVATION RESOURCES ON THE PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THERE ARE NO ENDANGERED SPECIES OR CRITICAL HABITAT WITHIN THE PROPERTY BOUNDARIES PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006 (PER BATEMAN CIVIL SURVEY COMPANY, PC)
- EXISTING FRONTAGE SIDEWALKS ARE LOCATED ALONG SOUTH 3RD STREET & GREENFIELD. FRONTAGE SIDEWALKS ALONG SOUTH 2ND STREET & WILLARD STREET ARE PROPOSED AS PART OF THE DEVELOPMENT PLAN FOR THIS PROPERTY.
- THE TRACT IS WITHIN THE CAPE FEAR RIVER BASIN & DRAINS TO GREENFIELD CREEK (SC;SW).
- CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

FIRE AND LIFE SAFETY NOTES

- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION AT 910-343-0696.
- A MINIMUM OF 5" SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
- BUILDING CONSTRUCTION TYPE ACCORDING TO THE INTERNATIONAL BUILDING CODE IS IIB.
- TAMPER SWITCHES SHALL BE INSTALLED ON ALL VALVES THAT ARE CAPABLE OF TURNING THE WATER SUPPLY OFF TO THE SPRINKLER SYSTEMS.
- ALL GATES USED FOR VEHICULAR INGRESS AND/OR EGRESS SHALL BE ALARM/SIREN ACTIVATED. WHEN THE INGRESS & EGRESS GATES ARE OPEN THERE SHALL BE NO OBSTRUCTION IN THE ENTIRE WIDTH OF THE DRIVE ASIDE.
- KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE VEHICULAR GATE(S) SHALL BE PROVIDED.
- SENSORS FOR PREVENTING THE GATE(S) FROM OPENING AND CLOSING ON VEHICLES SHALL BE PROVIDED.
- PROVISION MUST BE MADE FOR AUTOMATIC OPENING OF THE GATE(S) IN THE EVENT OF POWER OUTAGES.
- KNOX BOX SHALL BE PROVIDED FOR ALL GATES PROTECTED BY FIRE SPRINKLER SYSTEMS.
- KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE PEDESTRIAN GATE AT 3RD STREET SHALL BE PROVIDED.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
- IN ADDITION TO THE STANDARD REQUIREMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

SURVEY NOTES:
 1. THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006.
 2. AREA=2.43 AC ±
 3. RATIO OF PRECISION = 1:10000 +.

SURVEY REF: TRACT #1:
 BOOK 946 PAGE 32
 BOOK 268 PAGE 35
 BOOK 774 PAGE 454
 BOOK 86 PAGE 214
 SURVEY REFERENCE:
 BOOK 1679, PAGE 1523

Surveyor:
Bateman Civil Survey Company, PC
 Engineers Surveyors Planners
 200 N. Main Street, Holly Springs, NC 27540
 (919) 577-1080
 NCBELS C 2378

N/F
 JENNINGS MARGARET A VALENTINE
 DB: 2809 PG: 546
 PID: R05417-011-001-000
 ZONING: UMX
 LAND USE: LEGAL SERVICES

N/F
 MOORE NATHAN A
 DB: 5705 PG: 1788
 PID: R05417-013-003-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 MISIJE MICHAEL G KELLI M
 DB: R05417-011-003-000
 PID: R05417-011-003-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 CLEARY VALENTINE J ETAL
 DB: 3351 PG: 873
 PID: R05417-011-005-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 FLOWERS DENNIS R MARILYN M
 DB: 2183 PG: 150
 PID: R05417-011-005-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 FRANKLIN PROPERTIES, LLC
 DB: 2496 PG: 105
 PID: R05417-012-001-000
 ZONING: UMX
 LAND USE: UNUSED LAND

N/F
 SENEI JOHN VERBEE F
 DB: 2018 PG: 401
 PID: R05417-017-006-000
 ZONING: UMX
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 MORRIS HOWARD T
 DB: 4990 PG: 2480
 PID: R05417-016-002-000
 ZONING: LI
 LAND USE: MULTI-FAMILY RESIDENTIAL

N/F
 RICKS DUSTIN L
 DB: 5795 PG: 2733
 PID: R05417-014-002-000
 ZONING: LI
 LAND USE: NEIGHBORHOOD RETAIL

N/F
 TDB PROPERTIES, LLC
 DB: 5346 PG: 641
 PID: R05417-014-003-000
 ZONING: LI
 LAND USE: WHOLESALE

N/F
 FRONT STREET STORAGE, LLC
 DB: 5104 PG: 2972
 PID: R05417-014-001-000
 ZONING: LI
 LAND USE: WHOLESALE WAREHOUSE

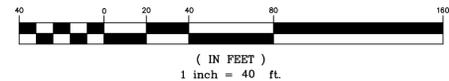
NOTES

- BOUNDARY, TOPOGRAPHICAL, & TREE SURVEY PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, PC (MAP TITLED "SURVEY OF A PORTION OF BLOCK 'E' AS SHOWN ON THAT MAP ENTITLED WILMINGTON SUBURBAN CO.'S PROPERTY WITH SEAL DATE OF 7/2/15).
- ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE INDICATED.
- ALL CITY, STATE, & FEDERAL REGULATIONS SHALL BE FOLLOWED.
- EXISTING SANITARY SEWER MAINS ARE OWNED BY CFPWA.
- EXISTING WATER MAINS ARE OWNED BY CFPWA.
- SLOPE ON HANDICAP SPACES SHALL BE 1:50 OR FLATTER.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- DISTURBED AREAS WITHIN RIGHT-OF-WAY OF SOUTH THIRD STREET, SOUTH SECOND STREET, GREENFIELD STREET, AND/OR WILLARD STREET SHALL BE IMMEDIATELY SEEDED & STABILIZED WITH MULCH OR EXCELSIOR MAT PRIOR TO ANY RAINFALL EVENT.
- UPON COMPLETION OF ANY PHASE OF ACTIVITY SIDE SLOPES WILL BE SEEDED/STABILIZED.
- RETAINING WALL SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR RETAINING WALL DESIGN.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE & TECHNICAL STANDARDS MANUAL, EXCEPT WHERE EXEMPTED OR VARIANCES ARE OBTAINED.
- THE PROPOSED CURB ON THE SITE IS 4" VERTICAL CURB (SD 3-11).
- MANHOLES, CATCH BASINS, & DROP INLETS SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE OVERSIZED PIPES.
- ALL DROP INLETS TO BE TRAFFIC BEARING WITH HEAVY DUTY 2'x3' FRAME & GRATE (GENERAL FOUNDRIES INC., ITEM #24364 OR EQUIVALENT).
- IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO BE COMPLIANT WITH ALL APPLICABLE ADA REQUIREMENTS.
- ALL PLANTED & RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED & MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT & SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, & RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
- CONTRACTOR SHALL CONTACT & COORDINATE WITH POWER COMPANY REGARDING REMOVAL OF EXISTING POWER POLE & BURIAL OF EXISTING OVERHEAD POWER LINES ON SITE.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- THREE BOLLARDS SHALL BE PROVIDED IN LANDSCAPE ISLAND (LI) 1, FOUR IN LI-5, FIVE IN LI-6, & NINE IN LI-7 WHERE SHOWN ON THE SITE PLAN.
- YARD INLET SHALL BE INSTALLED WHERE SHOWN ON DRAINAGE PLAN & DISCHARGE INTO CB-1.
- LIMITS OF DISTURBANCE = 38,553 SF = 0.89 ACRES.
- PROPOSED FENCE TO BE 7-FOOT TALL BLACK ALUMINUM BAR FENCE. FENCE SHALL BE SET BACK A MINIMUM OF 10' FROM RIGHT-OF-WAY. FENCE TO BE FENCE SHOWN ON DETAIL (ON SHEET 5) OR SIMILAR.
- PROPOSED 16" PVC GOES THROUGH BASEMENT IN BUILDING #1. SUPPORTS FOR 16" PVC IN BASEMENT SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR PIPE SUPPORT DESIGN.
- PROPOSED VEHICULAR GATES SHALL BE SWING GATES & BE SIMILAR IN MATERIAL & APPEARANCE TO THE PROPOSED 16" BLACK ALUMINUM BARS. INGRESS GATE SHALL OPEN BY USE OF KEYPAD. EGRESS GATE SHALL OPEN BY USE OF GROUND SENSOR. INGRESS & EGRESS GATES SHALL BOTH AUTOMATICALLY CLOSE.
- THE LOCATION OF THE PROPOSED WALKWAY FROM EACH UNIT IN BUILDING #2 TO THE PROPOSED SIDEWALK ADJACENT TO THE BUILDING IS APPROXIMATE. THE LOCATION OF THE PROPOSED WALKWAY FROM UNITS IN BUILDING #1 TO PROPOSED SIDEWALK ALONG WILLARD STREET IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS & ADJUST LOCATIONS AS NECESSARY TO MATCH DOOR LOCATIONS.
- STAIRS SHALL BE PROVIDED FROM BUILDING #1 UNITS TO PROPOSED SIDEWALK ALONG WILLARD ST. AS NECESSARY.
- IF EXTERIOR SITE LIGHTING IS PROPOSED, IT SHALL MEET THE CITY OF WILMINGTON'S UMX STANDARD FOR SITE LIGHTING, WHICH IS AS FOLLOWS: "ALL SITE LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING. LIGHT POSTS SHALL BE NO TALLER THAN TWELVE (12) FEET."
- DOWNSPOUTS FOR THE NORTHERN HALF OF BUILDING #2 SHALL DISCHARGE INTO CB-1.
- DUMPSTER PLAN/LAYOUT & SCREENING DETAILS (SEE SHEET 4) PER COTHRAN HARRIS ARCHITECTURE. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR DUMPSTER PLAN/LAYOUT & SCREENING.

- CONTRACTOR/DEVELOPER SHALL COORDINATE WITH CITY INSPECTOR AT THE PRECON REGARDING ANY REQUIRED REPLACEMENT OF HANDICAP RAMPS AT WILLARD STREET & 2ND STREET, AND WILLARD & 3RD STREET, AND GREENFIELD STREET & 2ND STREET.
- DRAINAGE FROM ROOF DOWNSPOUTS SHALL NOT FLOW ACROSS R/W. IT MUST BE PIPED TO AN INLET.
- DOWNSPOUT PIPING WITHIN CITY OF WILMINGTON R/W WILL NOT BE CONSIDERED AN ENCROACHMENT. THE DOWNSPOUT PIPING WILL NOT BE MAINTAINED BY THE CITY OF WILMINGTON.
- DOWNSPOUT PIPING IS BASED ON EXISTING LOCATION OF DOWNSPOUTS.
- IF EXISTING DOWNSPOUT PIPING ALONG 2ND STREET IS STILL FUNCTIONAL IT MAY BE USED INSTEAD OF INSTALLING DOWNSPOUT PIPING SHOWN ALONG 2ND STREET ON SHEET 5.
- THE LOCATIONS OF THE DOWNSPOUT PIPING SHOWN ON SHEET 5 ARE APPROXIMATE. CONTRACTOR TO ADJUST LOCATION AS NECESSARY DUE TO ANY UNDERGROUND CONFLICTS.
- THE SIZE OF THE PIPE FROM EACH DOWNSPOUT TO THE DOWNSPOUT PIPING ALONG WILLARD STREET & SOUTH OF DI-3 ALONG 2ND STREET SHALL BE 4" MINIMUM. THE SIZE OF THE PIPE FROM EACH DOWNSPOUT TO THE DOWNSPOUT PIPING NORTH OF DI-3 ALONG 2ND STREET SHALL BE 6" MINIMUM. THE DOWNSPOUT PIPING SIZES SHOWN ON SHEET 5 ARE MINIMUM SIZES.

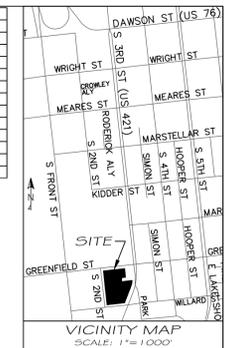
WATER & SEWER CAPACITY	
EXISTING WATER CAPACITY:	42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD
EXISTING SEWER CAPACITY:	42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD
PROPOSED WATER CAPACITY:	53 UNITS x 400 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 21,592 GPD
PROPOSED SEWER CAPACITY:	53 UNITS x 240 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 13,112 GPD
ADDITIONAL WATER CAPACITY REQUESTED:	20,542 GPD
ADDITIONAL SEWER CAPACITY REQUESTED:	12,062 GPD

GRAPHIC SCALE



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES

SHEET INDEX	
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE INVENTORY
4	DRAINAGE & UTILITY PLAN
5	DETAIL SHEET
6	DETAIL SHEET & DRAINAGE AREA MAP
7	DETAIL SHEET
8	DETAIL SHEET
9	SANITARY SEWER DETAIL SHEET
10	WATER DETAIL SHEET
11	WATER DETAIL SHEET
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN



LEGEND

- ⊙ EXISTING SPOT ELEVATION
- EXISTING IRON
- CONC. MONUMENT (CONTROL POINT)
- ⊗ SET "X" MARK IN CONCRETE
- SET IRON
- ⊙ EXISTING BOLLARD
- EXISTING DROP INLET
- ⊗ EXISTING WATER VALVE
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING SANITARY SEWER MANHOLE
- ⊗ EXISTING STORM DRAIN MH
- ⊗ EXISTING WATER VALVE MH
- ⊗ EXISTING TELEPHONE MH
- ▲ EXISTING WATER MONITOR
- EXISTING SS CLEANOUT
- EXISTING LIGHT POLE
- ⊗ EXISTING POWER POLE W/ GUY
- ⊗ EXISTING POWER POLE
- ⊗ EXISTING ELECTRICAL PANEL
- ⊗ EXISTING SIGN
- ⊗ EXISTING TELEPHONE PEDESTAL
- EXISTING WATER METER
- — — EXISTING FENCE
- — — EXISTING WOODS LINE
- — — EXISTING OVERHEAD ELECTRIC LINE
- — — EXISTING UNDERGROUND GAS LINE
- — — EXISTING WATER LINE
- — — EXISTING SANITARY SEWER LINE
- — — EXISTING STORM DRAIN PIPE
- — — CENTER LINE
- — — ADJACENT PROPERTY LINE
- — — ROW
- — — SUBJECT BOUNDARY LINE
- — — EXISTING CONTOUR LINE
- ▨ PROPOSED SIDEWALK/CONCRETE
- ▨ PROPOSED PERVIOUS CONCRETE
- ⊗ PROPOSED FIRE HYDRANT
- ⊗ PROPOSED FENCE
- ▨ PROPOSED LIMITS OF DISTURBANCE
- ▨ PROPOSED FOUNDATION PLANTING AREA
- ▨ PROPOSED ASPHALT SAW CUT LINE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occurrence and/or project acceptance.

City of Wilmington
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Planning	Name	Date
Traffic		
Fire		

REV. NO.	DESCRIPTION	DATE
1	REVISED TO ADD SHEETS TO SHEET INDEX.	8-12-15
2	REVISED PER CLIENT.	8-24-15
3	REVISED PER TRC COMMENTS.	9-18-15
4	REVISED TO ADJUST DUMPSTER PAD & RETAINING WALL.	10-6-15
5	REVISED PER TRC COMMENTS.	10-8-15
6	REVISED PER TRC COMMENTS.	10-13-15
7	REVISED TO ADD NOTES #32-37.	10-22-15

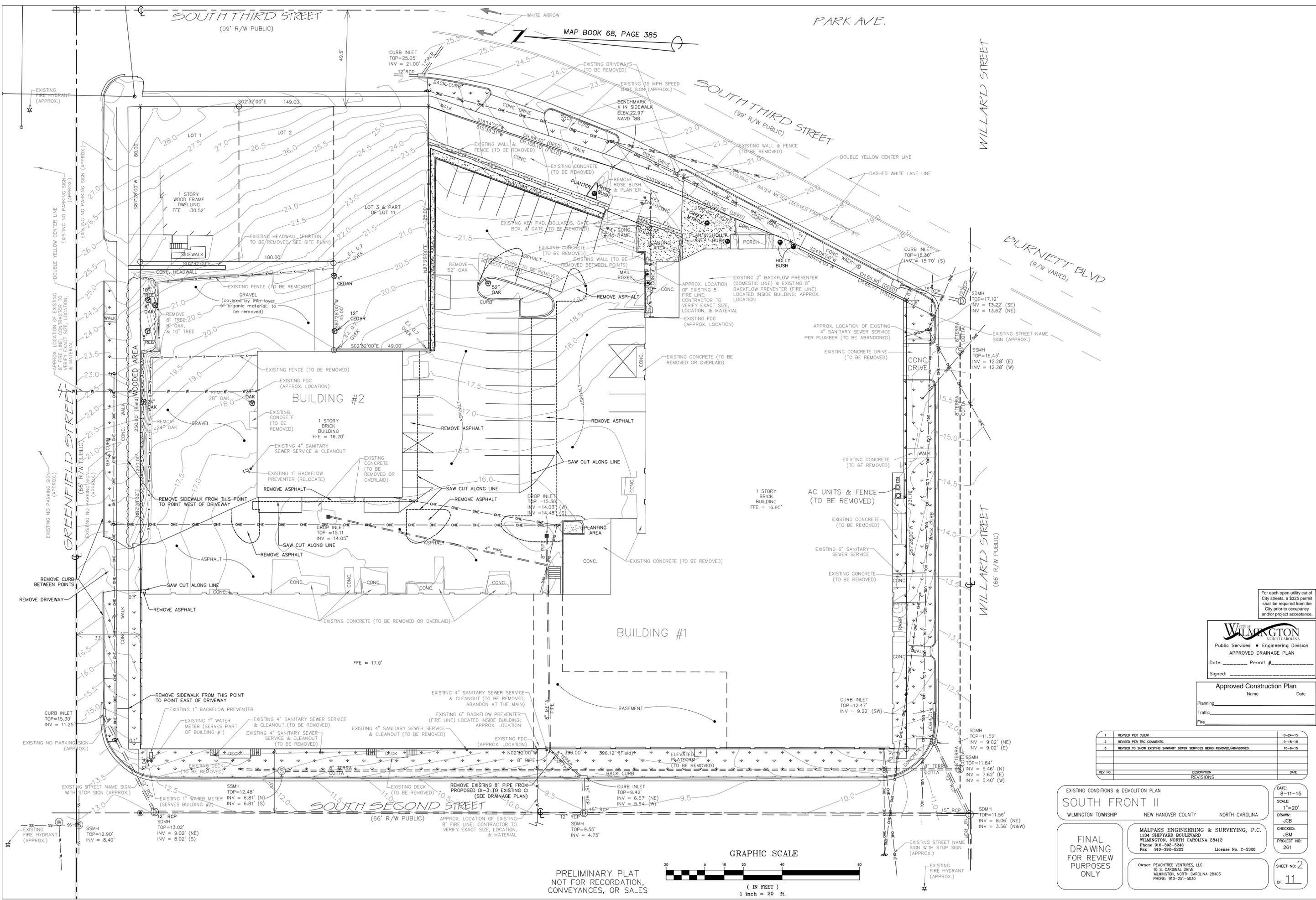
COVER SHEET
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DATE: 8-11-15
 SCALE: 1"=40'
 DRAWN: JCB
 CHECKED: JEM
 PROJECT NO: 261

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5248
 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

SHEET NO. 1
 OF: 11



MAP BOOK 68, PAGE 385

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Planning	Name	Date
Traffic		
Fire		

REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED PER TRC COMMENTS.	9-18-15
3	REVISED TO SHOW EXISTING SANITARY SEWER SERVICES BEING REMOVED/ABANDONED.	10-6-15

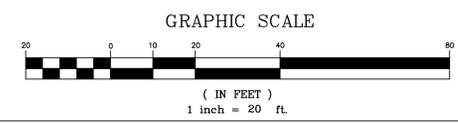
EXISTING CONDITIONS & DEMOLITION PLAN
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

FINAL DRAWING FOR REVIEW PURPOSES ONLY

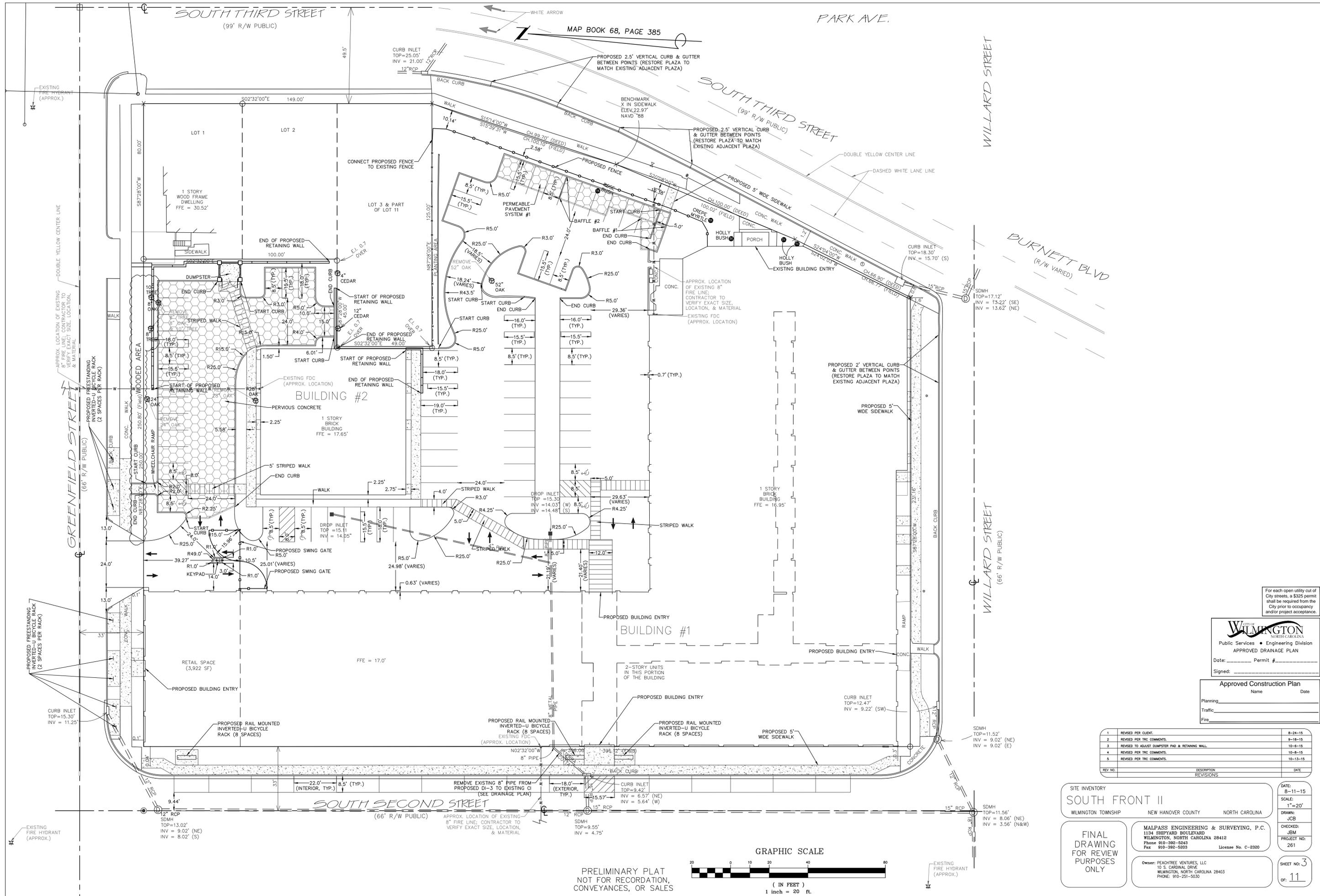
MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5245 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

DATE: 8-11-15
 SCALE: 1"=20'
 DRAWN: JCB
 CHECKED: JEM
 PROJECT NO: 261
 SHEET NO: 2
 OF: 11



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES



MAP BOOK 68, PAGE 385

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED PER TRC COMMENTS.	9-18-15
3	REVISED TO ADJUST DUMPSTER PAD & RETAINING WALL.	10-6-15
4	REVISED PER TRC COMMENTS.	10-8-15
5	REVISED PER TRC COMMENTS.	10-13-15

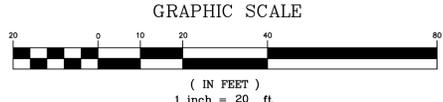
SITE INVENTORY
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JBM
PROJECT NO.: 261
SHEET NO.: 3
OF: 11

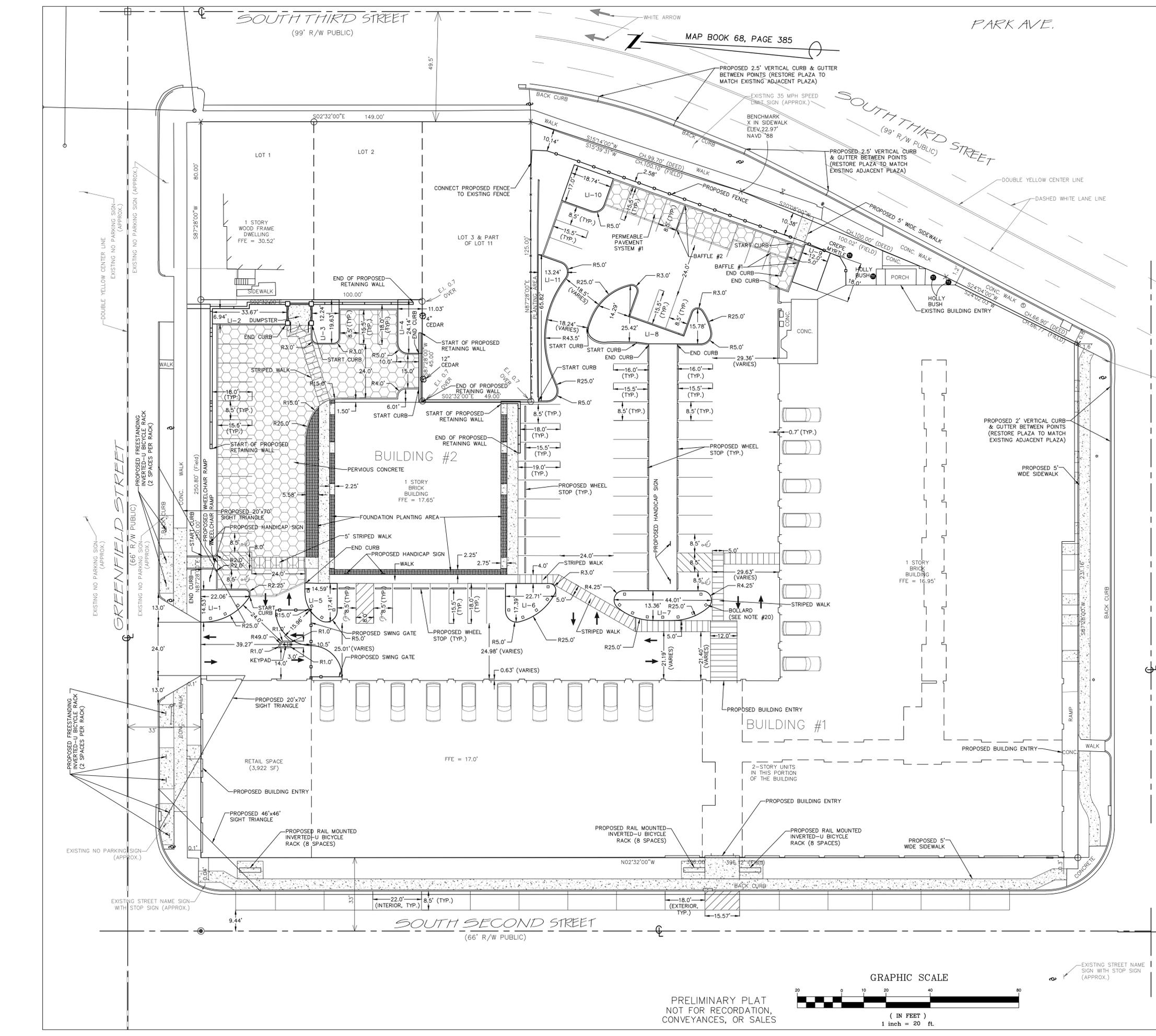
FINAL DRAWING FOR REVIEW PURPOSES ONLY

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5245
 Fax: 910-392-5203 License No. C-2320

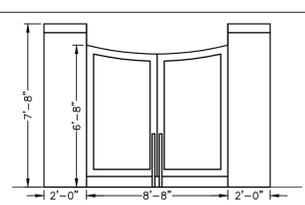
Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES



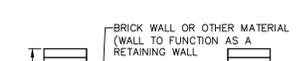
INTERIOR LANDSCAPE ISLANDS			
LANDSCAPE ISLAND	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERCENT IMPERVIOUS
LI-1	247.24	3	1.22
LI-2	264.76	0	0
LI-3	235.16	11.57	4.92
LI-4	261.92	16.25	6.21
LI-5	217.46	4	1.84
LI-6	307.76	5	1.63
LI-7	500.12	9	1.80
LI-8	708.21	0	0
LI-9	216.00	0	0
LI-10	314.23	0	0
LI-11	417.37	0	0



FOUNDATION PLANTING-NORTH SIDE OF BUILDING #2
 REQUIRED AREA = (75.12' x 15.5') x 0.12 = 139.73 SF
 PROVIDED AREA = 480.99 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

DUMPSTER SCREENING DETAIL (FRONT VIEW ELEVATION)
 NOT TO SCALE

FOUNDATION PLANTING-WEST SIDE OF BUILDING #2
 REQUIRED AREA = (75.11' x 16.6') x 0.12 = 149.62 SF
 PROVIDED AREA = 169.01 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

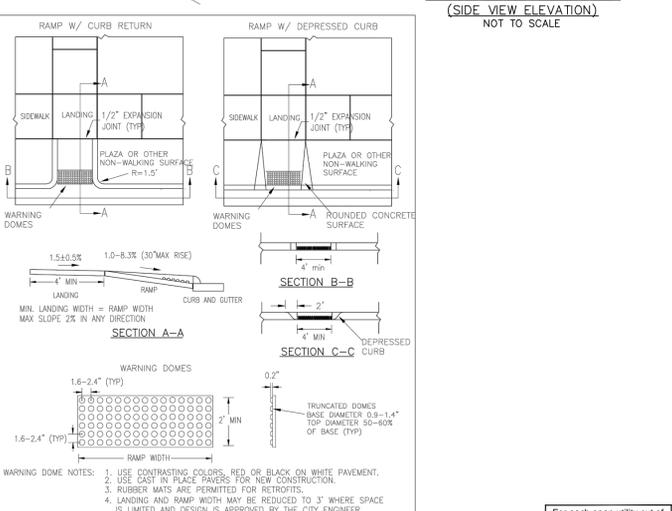
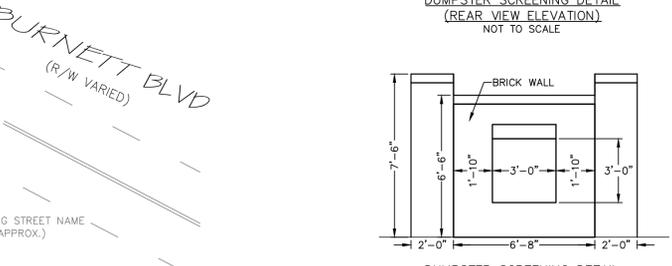


DUMPSTER SCREENING DETAIL (REAR VIEW ELEVATION)
 NOT TO SCALE

FOUNDATION PLANTING-SOUTH SIDE OF BUILDING #2
 REQUIRED AREA = (75.13' x 15.8') x 0.12 = 142.45 SF
 PROVIDED AREA = 156.40 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS



DUMPSTER SCREENING DETAIL (SIDE VIEW ELEVATION)
 NOT TO SCALE



DATE: DECEMBER, 2019
 DRAWN: P7938
 CHECKED: SRC
 SCALE: NOT TO SCALE

STANDARD DETAIL
PERPENDICULAR CURB RAMP ADJACENT TO PLAZA

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 101 S. MARKET STREET, 25th FLOOR
 WILMINGTON, NORTH CAROLINA 28403
 (910) 341-7907

SD3-08

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED PER TRC COMMENTS.	9-18-15
3	REVISED PER TRC COMMENTS & TO ADJUST DUMPSTER PAD & RETAINING WALL.	10-6-15
4	REVISED PER TRC COMMENTS.	10-8-15
5	REVISED PER TRC COMMENTS.	10-13-15

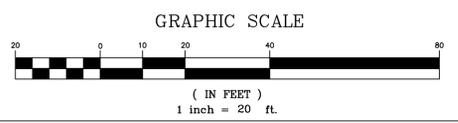
SITE PLAN
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DATE: 8-11-15
 SCALE: 1"=20'
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 4
 OF: 11

FINAL DRAWING FOR REVIEW PURPOSES ONLY

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5245
 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES

SOUTH THIRD STREET
(99' R/W PUBLIC)

PARK AVE.

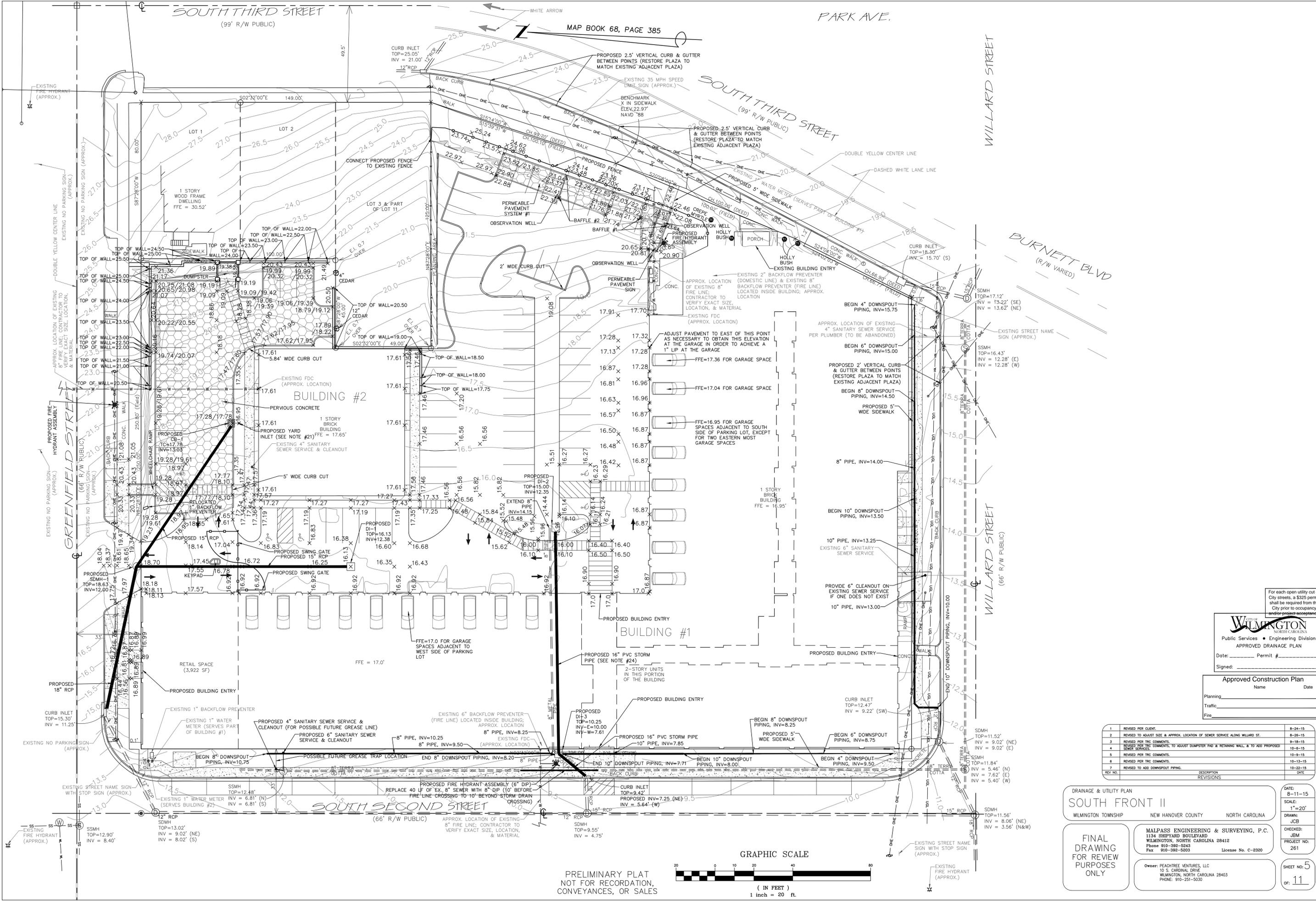
MAP BOOK 68, PAGE 385

WILLARD STREET

SOUTH THIRD STREET
(99' R/W PUBLIC)

BURNETT BLVD
(R/W VARIED)

WILLARD STREET
(66' R/W PUBLIC)



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

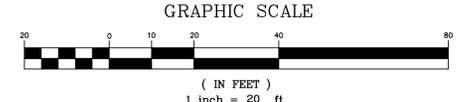
REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED TO ADJUST SIZE & APPROX. LOCATION OF SEWER SERVICE ALONG WILLARD ST.	8-28-15
3	REVISED PER TRC COMMENTS.	9-18-15
4	REVISED PER TRC COMMENTS, TO ADJUST DUMPSTER PAD & RETAINING WALL, & TO ADD PROPOSED SEWER SERVICES.	10-6-15
5	REVISED PER TRC COMMENTS.	10-9-15
6	REVISED PER TRC COMMENTS.	10-13-15
7	REVISED TO ADD DOWNSPOUT PIPING.	10-22-15

DRAINAGE & UTILITY PLAN
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA
DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JBM
PROJECT NO: 261
SHEET NO: 5
OF: 11

FINAL DRAWING FOR REVIEW PURPOSES ONLY

MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone: 910-392-5248
Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030



PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

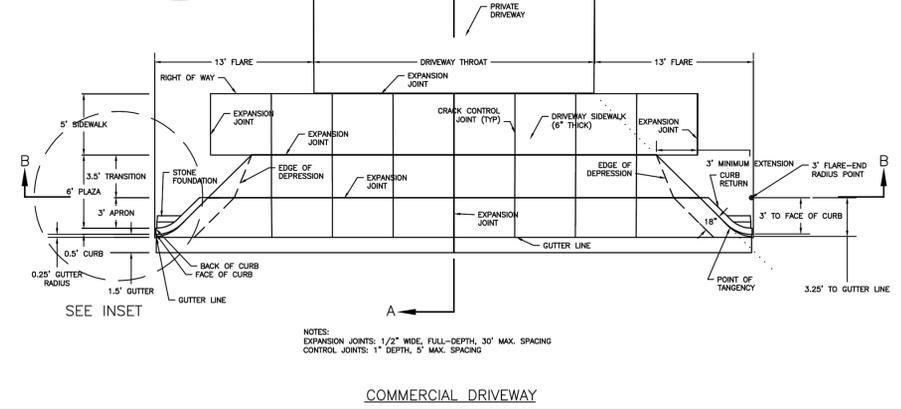
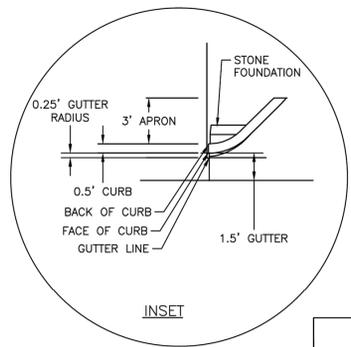
DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
COMMERCIAL DRIVEWAY PLAN

1 of 2

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-03.3



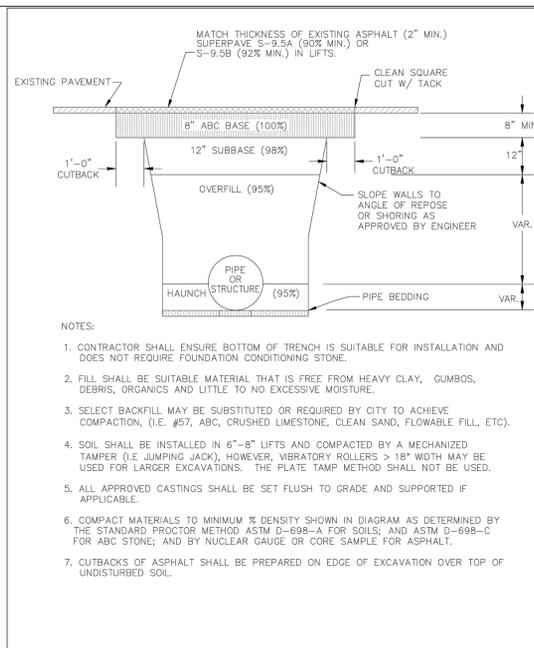
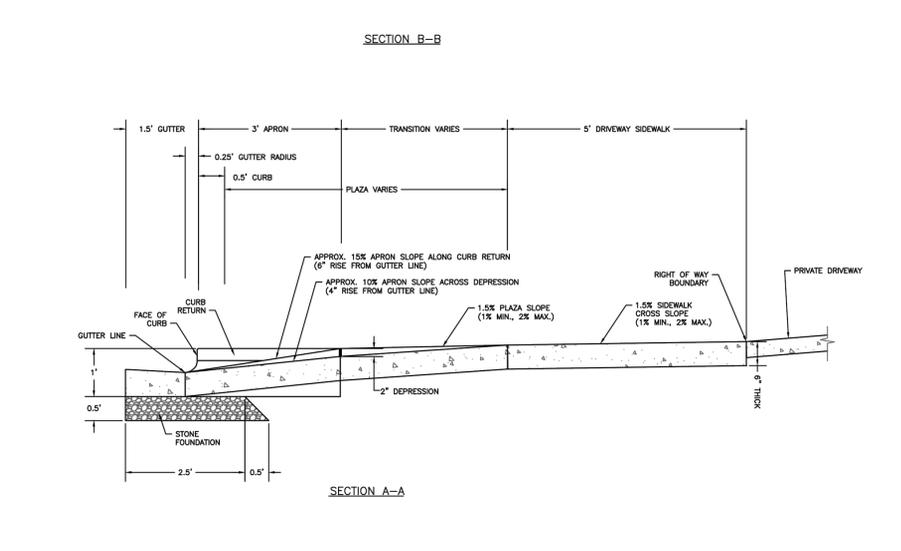
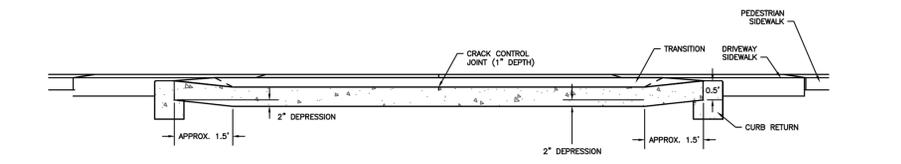
DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
COMMERCIAL DRIVEWAY SECTIONS

2 of 2

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-03.4

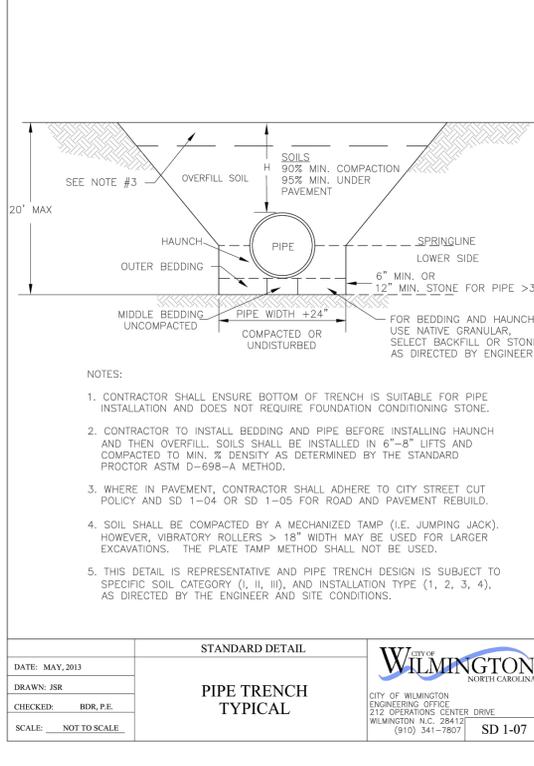


STANDARD DETAIL
PAVEMENT REPAIRS-UTILITY CUTS

DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 212 OPERATIONS CENTER DRIVE
 WILMINGTON, N.C. 28412
 (910) 341-7807

SD 1-05

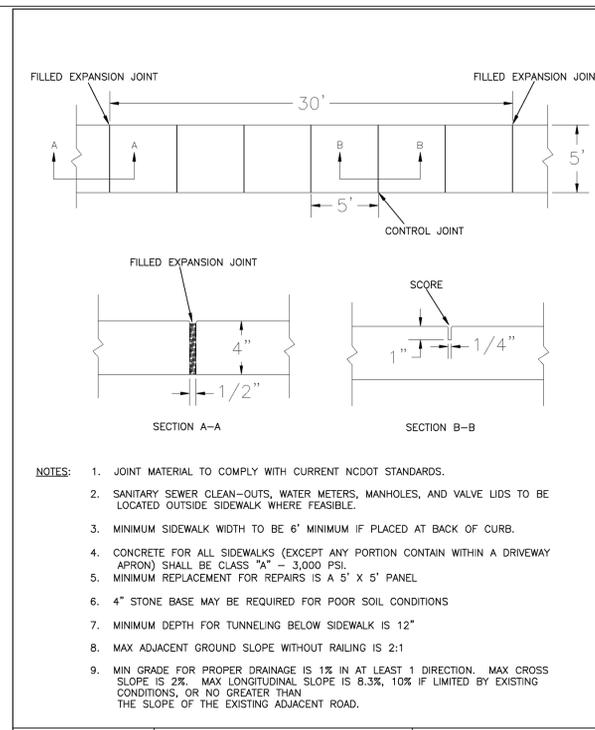


STANDARD DETAIL
PIPE TRENCH TYPICAL

DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: HDR, P.E.
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 212 OPERATIONS CENTER DRIVE
 WILMINGTON, N.C. 28412
 (910) 341-7807

SD 1-07

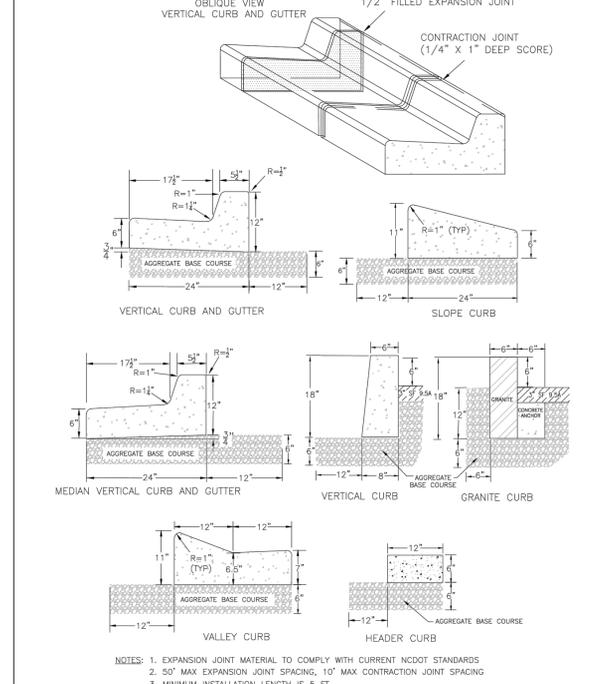


STANDARD DETAIL
SIDEWALK

DATE: OCTOBER, 2010
 DRAWN BY: PBJSR
 CHECKED BY: DEC
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-10



STANDARD DETAIL
CURBING

DATE: AUGUST, 2011
 DRAWN BY: PBJSR
 CHECKED BY: DEC
 SCALE: NOT TO SCALE

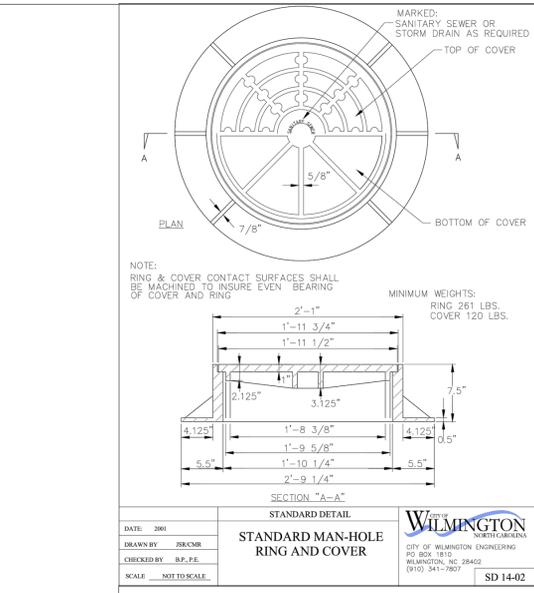
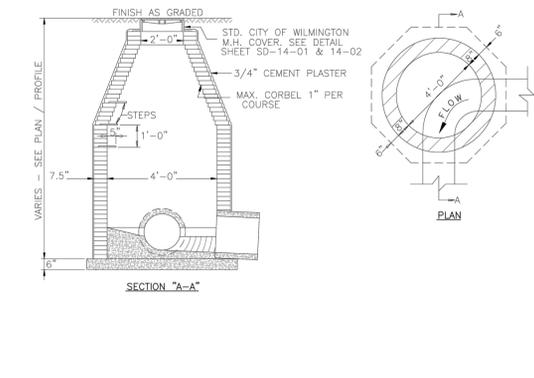
CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-11

STANDARD DETAIL
GUIDELINES FOR STORM DRAIN MANHOLE

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 2-03

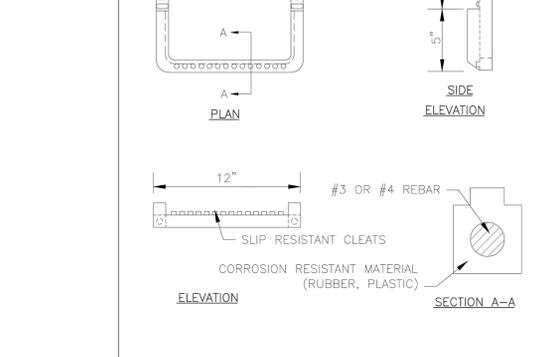


STANDARD DETAIL
STANDARD MAN-HOLE RING AND COVER

DATE: 2001
 DRAWN BY: JSR/COR
 CHECKED BY: B.F., P.E.
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 14-02

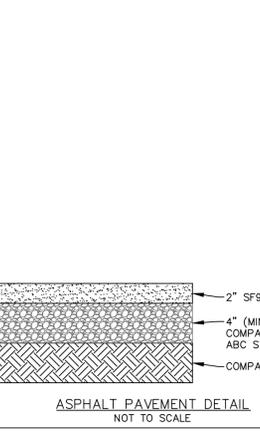
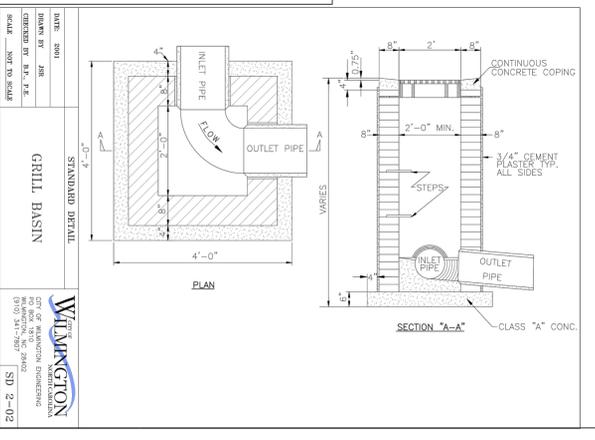
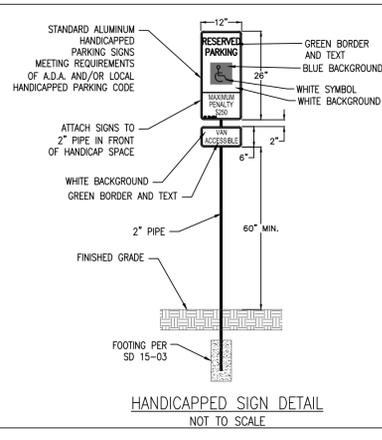
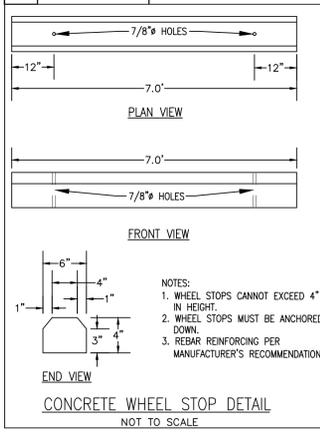


STANDARD DETAIL
SLIP RESISTANT MANHOLE STEP

DATE: 2001
 DRAWN BY: JSR/COR
 CHECKED BY: B.F., P.E.
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
 NORTH CAROLINA
 ENGINEERING DIVISION
 PD BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 14-10



CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

REV. NO.	DESCRIPTION	DATE

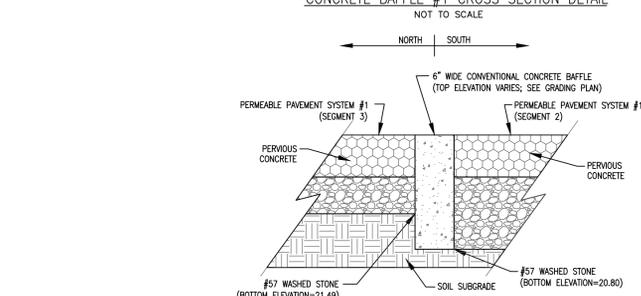
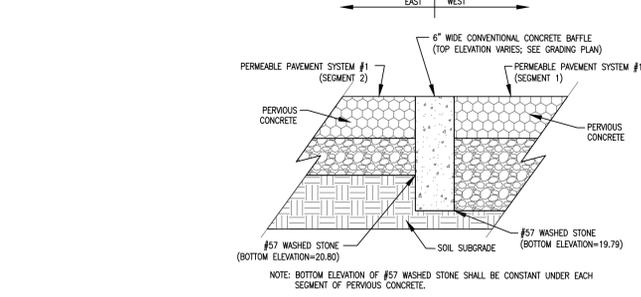
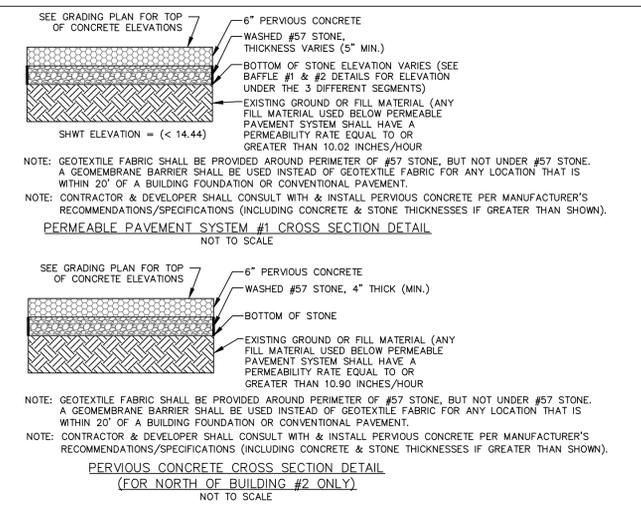
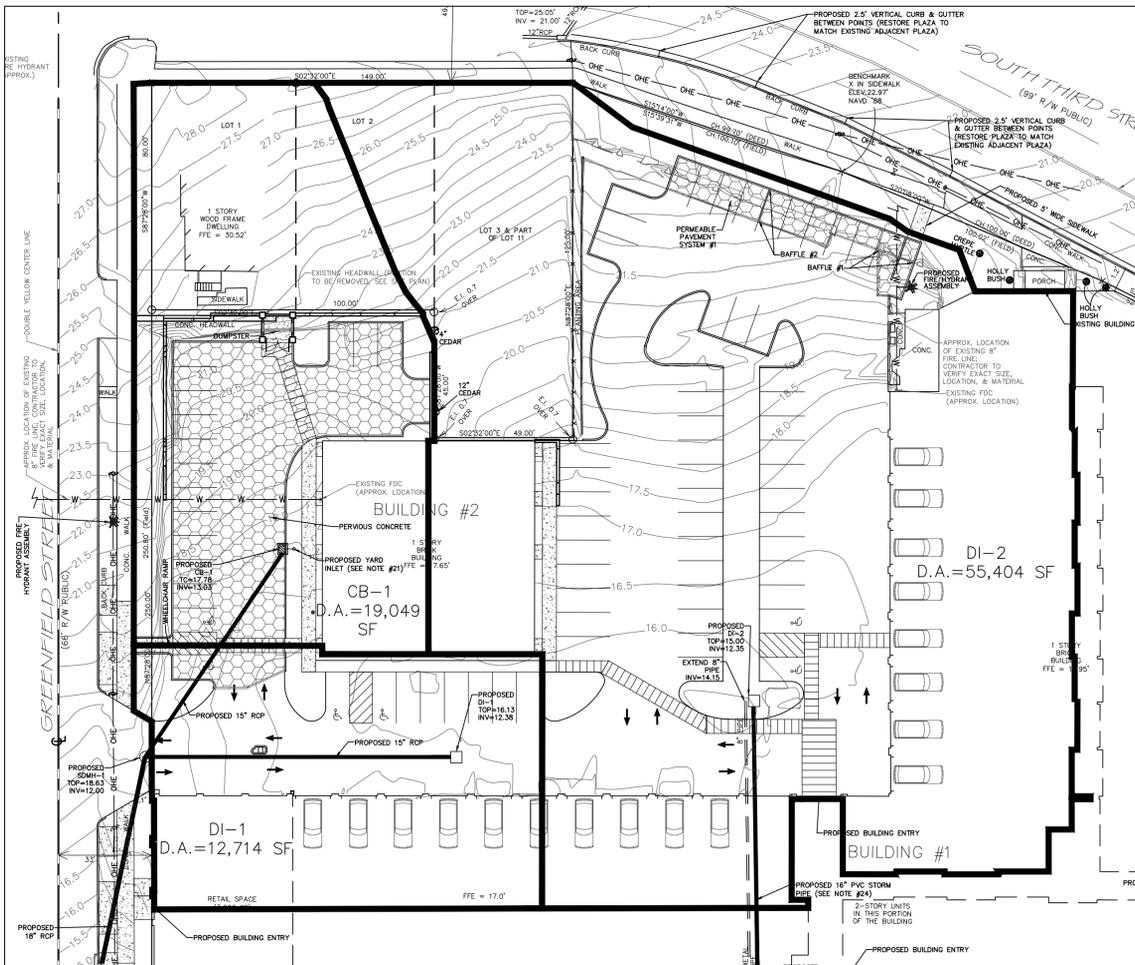
DETAIL SHEET
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DATE: 9-18-15
 SCALE: N.T.S.
 DRAWN: JCB
 CHECKED: JEM
 PROJECT NO: 261
 SHEET NO: 6
 OF: 11

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5241 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

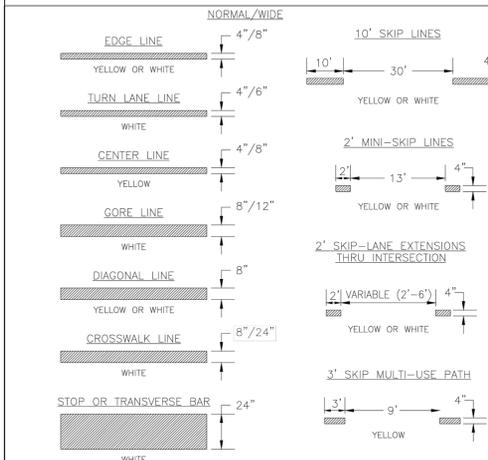
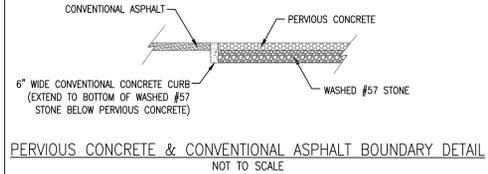
FINAL DRAWING FOR REVIEW PURPOSES ONLY



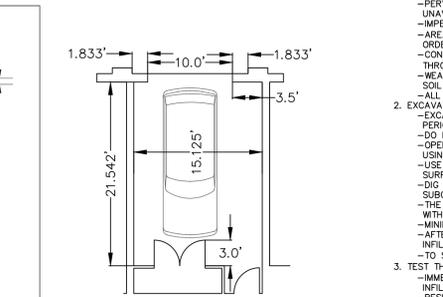
DRAINAGE AREA MAP
SCALE: 1"=30'

TEST LOCATION	EXISTING GROUND ELEVATION (FEET)**	SHWT (INCHES BELOW GROUND SURFACE)**	SHWT ELEVATION (FEET)***	HYDRAULIC CONDUCTIVITY RATE (INCHES PER HOUR)**
SB-1	22.72	> 108	< 13.72	26.16
SB-2	23.44	> 108	< 14.44	10.02
SB-3	16.50	> 108	< 7.50	10.90
SB-4	20.19	> 108	< 11.19	39.29

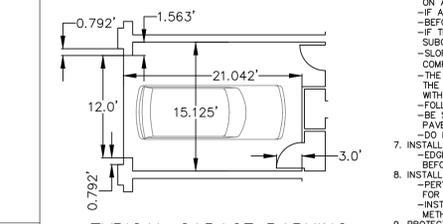
** INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, PC.
*** INFORMATION PROVIDED BY APPLIED RESOURCE MANAGEMENT, PC.
*** CALCULATED BASED ON INFORMATION PROVIDED BY OTHERS.



1—PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 12 SPECIFICATIONS.
2—GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120MIL OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS. TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.
3—DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50° F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40° F AND RISING.

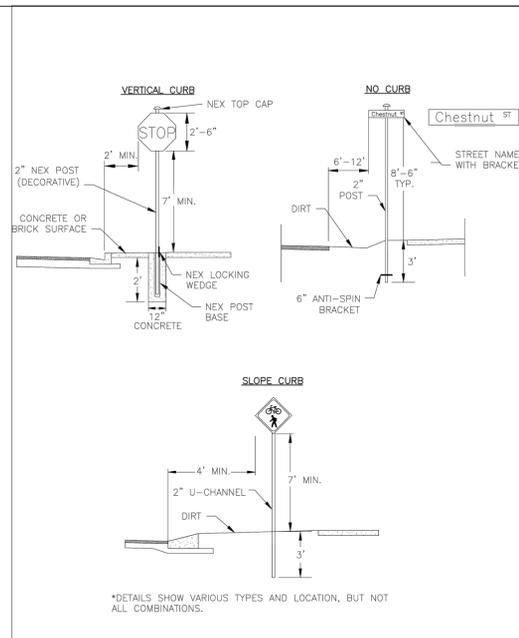


TYPICAL GARAGE PARKING SPACE ADJACENT TO WEST SIDE OF PARKING LOT DETAIL (PER ARCHITECT DRAWING)
NOT TO SCALE



TYPICAL GARAGE PARKING SPACE ADJACENT TO SOUTH SIDE OF PARKING LOT DETAIL (PER ARCHITECT DRAWING)
NOT TO SCALE

STANDARD DETAIL
PAVEMENT MARKINGS LINE TYPES
DATE: DECEMBER, 2011
DRAWN BY: JSR
CHECKED BY: BDR, P.E.
SCALE: NOT TO SCALE
CITY OF WILMINGTON
SD 11-01

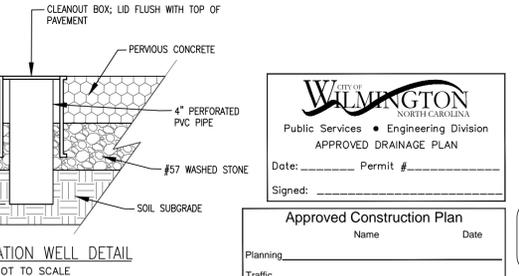


STANDARD DETAIL
STREET SIGNS AND LOCATION
DATE: NOVEMBER, 2011
DRAWN BY: JSR
CHECKED BY: BDR, P.E.
SCALE: NOT TO SCALE
CITY OF WILMINGTON
SD 15-03

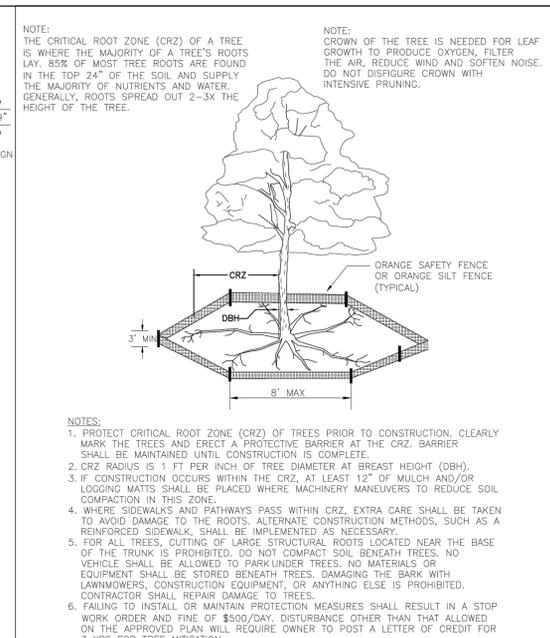
- SIGNS**
- All signs shall meet the requirements of MUTCD and City Traffic Engineering in effect at the time of construction.
 - All Traffic Control Signs including multi-use paths shall be fabricated with 0.080 inch aluminum blanks using high intensity prismatic reflective sheeting Type IV or better. STOP signs shall be a minimum of 30"x30".
 - SPECIAL DESIGNATION signs by location and type shall adhere to City of Wilmington signage plan (ie. downtown historic, cross-city trail, parks, riverfront, scenic by-way, parking, etc.) and all associated policies.
 - POST MOUNTED STREET NAME SIGNS shall be fabricated with 9" extruded aluminum street name sign blanks using a standard cut-out. Minimum sign length is 18" long and increasing in 6" increments to 54" maximum as dictated by the number of letters in the name. The color scheme shall be white letters on a green background without a border. Generally, in the downtown and historic areas or as designated in the City of Wilmington signage plan the background shall be blue and contain a topper.
 - Decorative sign posts shall consist of the NEX sign support system, 2" octagonal tube, 14 gauge, powder coated glossy black and include cap, post, base and wedge.
 - All other sign posts shall be u-channel posts made of galvanized steel with 8' posts 2lb/ft or 12' posts 3lb/ft. Galvanized NEX post may be substituted with approval from the City Signs and Markings Engineer.
 - OVERHEAD STREET NAME SIGNS shall be fabricated with 0.080 inch aluminum flat sign blanks 8" in height using a standard cut-out. Sign length will be dictated by the number of letters in the name. For mast-arm type traffic signal supports and other overhead support systems refer to the design plans for maximum sign length.
 - All sign lettering, colors and fonts shall adhere to the MUTCD in effect at the time of construction. Fluorescent Yellow-Green shall be used on signs, in place of Yellow, when listed as an optional color in the MUTCD. Generally, the font will be FHWA series fonts (Highway Gothic.) Other font types require prior City Signs and Markings Engineer approval.

- LOCATION**
- Sign locations depend on the edge of road condition. Generally, signs shall be a minimum 2' from face of a vertical curb, 4' from front of slope face curb, and 6' from edge of pavement without curb. Signs shall not be located more than 12' from any of these locations.
 - Signs shall be placed at 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND SIGN THROUGHOUT DURATION OF PROJECT.
 - PROTECTION FENCING AND SIGNS SHALL BE REMOVED AFTER CONSTRUCTION.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

STANDARD DETAIL
STREET SIGNS AND LOCATION
DATE: NOVEMBER, 2011
DRAWN BY: JSR
CHECKED BY: BDR, P.E.
SCALE: NOT TO SCALE
CITY OF WILMINGTON
SD 15-03

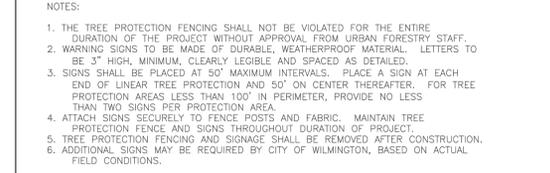


APPROVED CONSTRUCTION PLAN
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____
CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

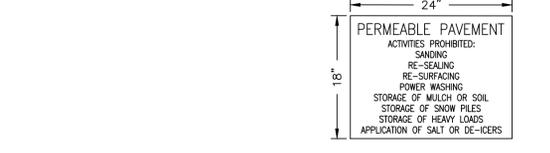


STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
DATE: JAN, 2015
DRAWN BY: JSR
CHECKED BY: BDR, P.E.
SCALE: NOT TO SCALE
CITY OF WILMINGTON
SD 15-09

- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT PROTECTIVE BARRIERS AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY OPERATES TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY, DISTURBANCE GREATER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

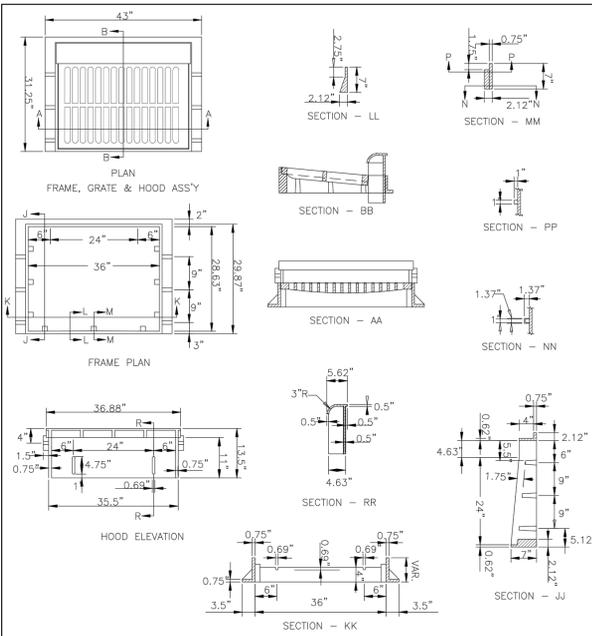


STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
DATE: JAN, 2015
DRAWN BY: JSR
CHECKED BY: BDR, P.E.
SCALE: NOT TO SCALE
CITY OF WILMINGTON
SD 15-09



DETAIL SHEET & DRAINAGE MAP
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA
DATE: 9-18-15
SCALE: N.T.S.
DRAWN: JCB
CHECKED: JCB
PROJECT NO: 261
SHEET NO: 7
OF: 11
MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone: 910-392-9248
Fax: 910-392-5203 License No. C-2320
Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



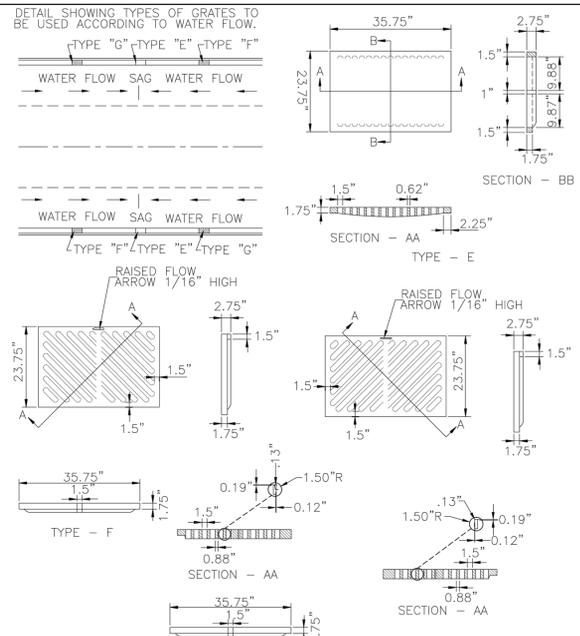
NOTES: 1) USE TYPE "E", "F", & "G" GRATE UNLESS OTHERWISE INDICATED
 2) TOP OF HOOD CASTING SHALL HAVE RAISED LETTERS WHICH SAY: "KEEP STORM DRAIN CLEAN! DRAINS TO CREEK"
 PROVIDE PICTURE OF FISH BETWEEN TWO STATEMENTS.

DATE: 2001
 DRAWN BY: JSR/CMR
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
CATCH BASIN CASTING FOR 30" HOOD AND GRATE

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

SD 2-19

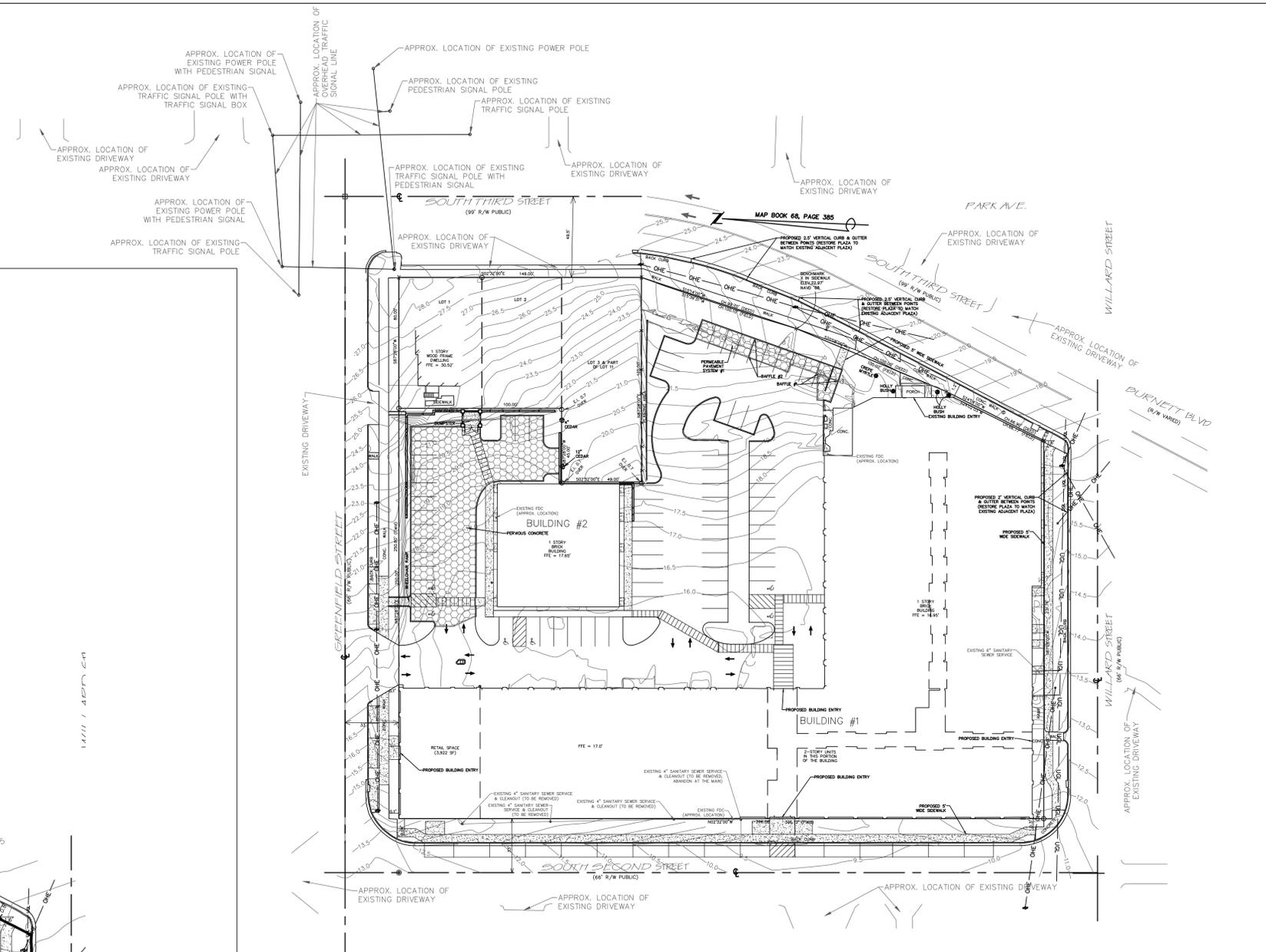


DATE: 2003
 DRAWN BY: JSR/CMR
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE

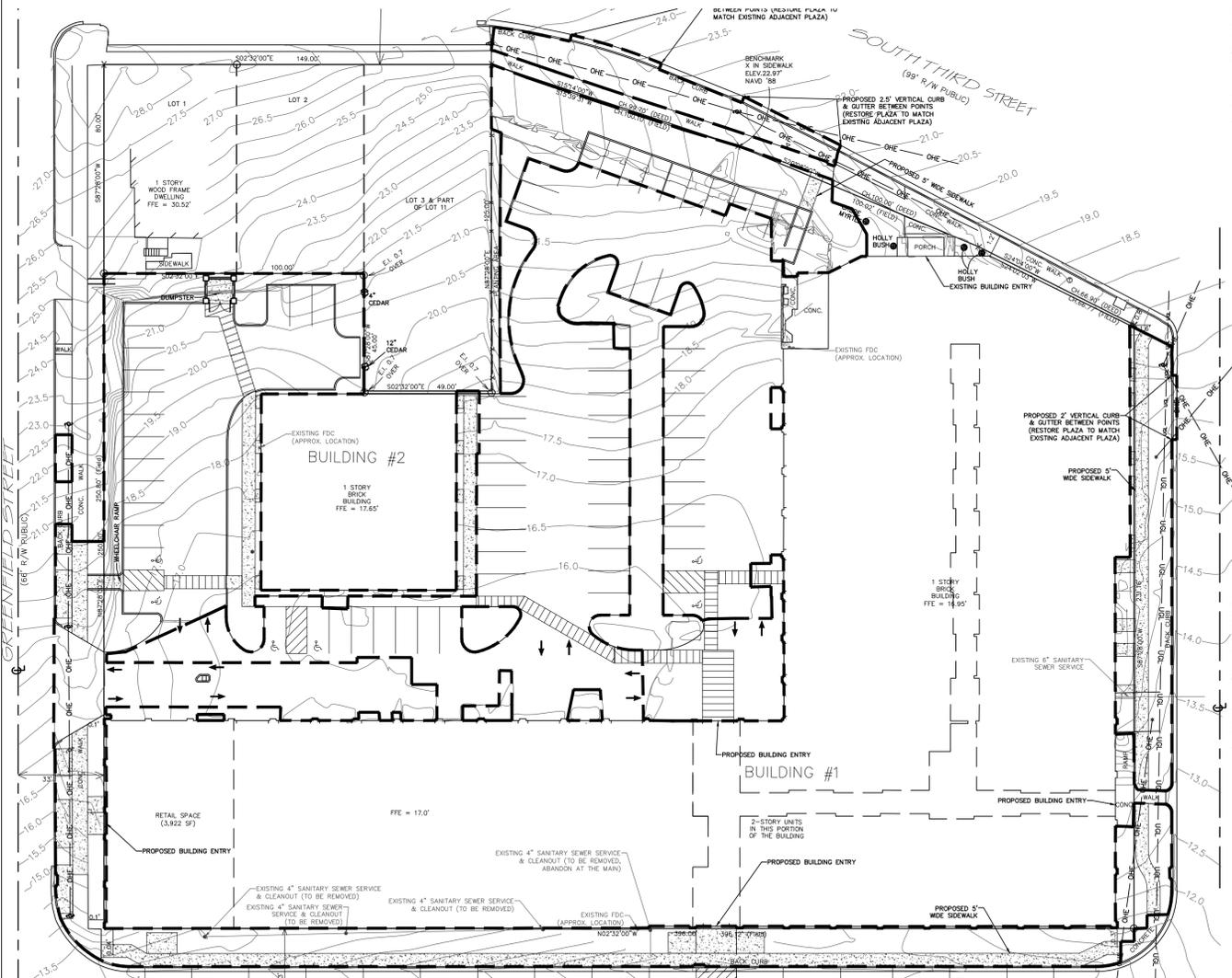
STANDARD DETAIL
CATCH BASIN GRATE FOR 30" HOOD AND GRATE

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

SD 2-20



NOTE: DRIVEWAYS & TRAFFIC SIGNALS TRACED FROM NHC GIS 2010 AERIAL.
 DRIVEWAYS WITHIN 500' OF SITE ALONG 3RD STREET
 SCALE: 1"=40'



LIMITS OF DISTURBANCE AREAS
 SCALE: 1"=30'

INDUSTRIAL STRENGTH ALUMINUM
ECHOLON II MAJESTIC 2 3/4" RAIL
 DR: NJB SH: lof1 SCALE: DO NOT SCALE
 CK: BS Date: 2-07-12 REV: c

1555 N. Mingo
 Tulsa, OK 74116
 1-888-333-3422
 www.ameristarfence.com

3AMISO

DETAIL SHEET
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DATE: 9-18-15
 SCALE: N.T.S.
 DRAWN: JCB
 CHECKED: JEM
 PROJECT NO: 261

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____

FINAL DRAWING FOR REVIEW PURPOSES ONLY

PRELIMINARY PLAT NOT FOR RECORDATION, CONVEYANCES, OR SALES

DATE: 9-18-15
 SCALE: N.T.S.
 DRAWN: JCB
 CHECKED: JEM
 PROJECT NO: 261
 SHEET NO: 8
 OF: 11

SOUTH FRONT II

Land Design—South
Landscape Architecture/
Planning
Asla Associate



Donna Clemmons
105 Coral Drive
Wrightsville Beach, N.C.
28480
910 550 8788

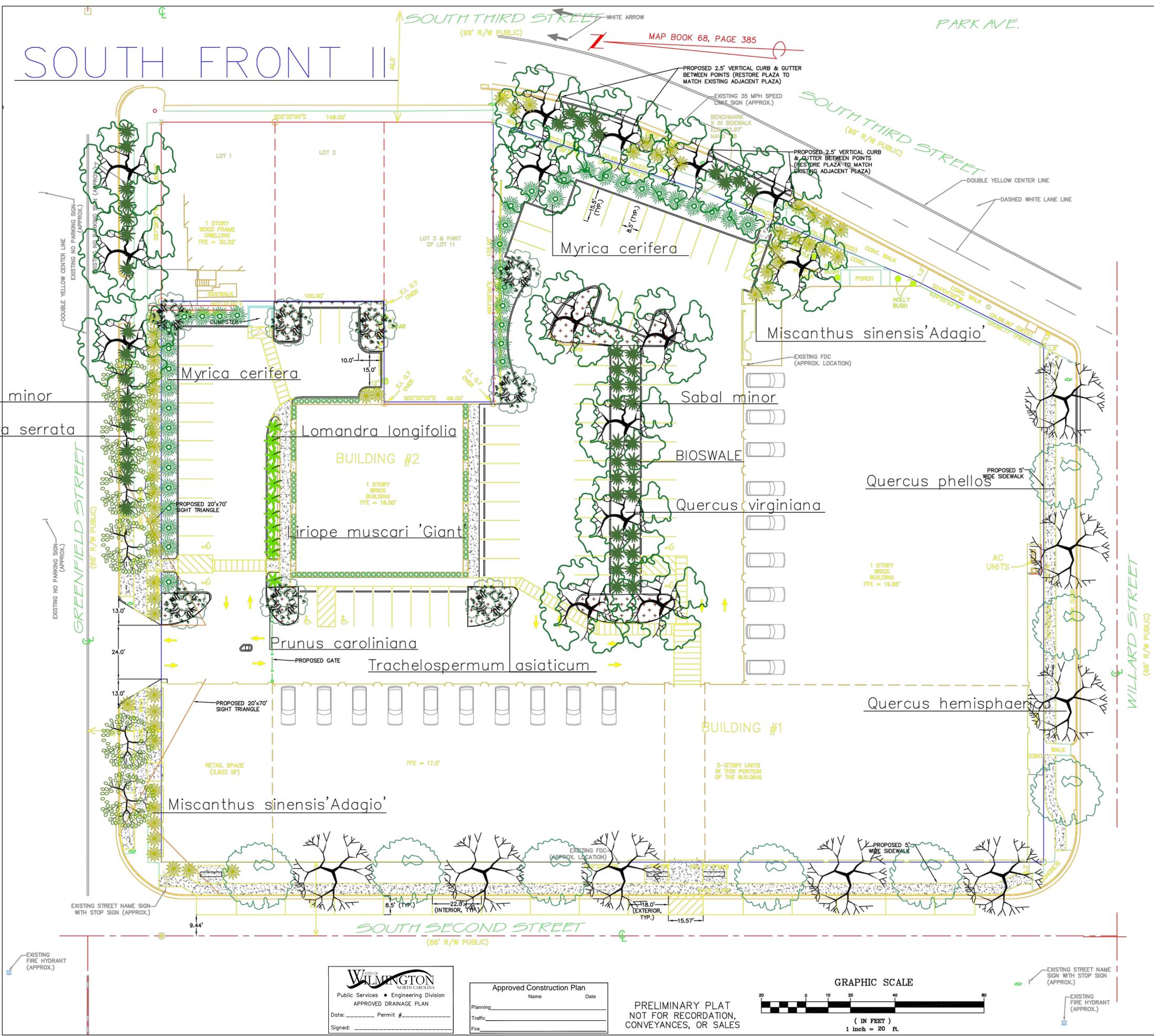
Owner:
Peachtree Ventures LLC
10 S. Cardinal Drive
Wilmington, N.C.
28403

SOUTH FRONT II
Landscape Plan

DATE:
9/16/2015

Drawn by; DDC

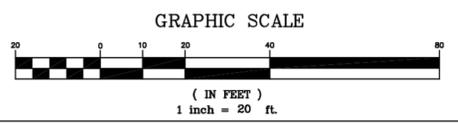
L-1



WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



EXISTING STREET NAME SIGN WITH STOP SIGN (APPROX.)
EXISTING FIRE HYDRANT (APPROX.)

SOUTH FRONT II

Plant Table

Broadleaf Deciduous

Quantity	Symbol	Scientific Name	Common Name	Planting Size
8		Quercus hemisphaerica	Laurel oak	2" caliper
6		Zelkova serrata	Japanese zelkova	2" caliper
15		Quercus virginiana	Southern live oak	2" caliper
8		Quercus phellos	Willow oak	2" caliper

Broadleaf Evergreen

Quantity	Symbol	Scientific Name	Common Name	Planting Size
38		Myrica cerifera	Southern wax-myrtle	3 gal
8		Prunus caroliniana	Carolina cherry laurel	10 to 12'

Palm

Quantity	Symbol	Scientific Name	Common Name	Planting Size
48		Sabal minor	Dwarf palmetto	3 gal

Quantity	Symbol	Scientific Name	Common Name	Planting Size
93		Liriope muscari 'Giant'	Giant blue lily turf	1 gal
52		Miscanthus sinensis 'Adagio'	Maiden grass	3 gal
11		Lomandra longifolia	Breeze grass	3 gal
475		Trachelospermum asiaticum	Asian jasmine	4" pot

LANDSCAPE NOTES:

Contractor shall locate all underground utilities and coordinate with all other trades on site prior to planting.

Create 2' to 1' bioswale in center parking island bed for sabal minors.

All plants shall conform to or exceed the standards for nursery stock as published by the American Association of Nurserymen.

The site shall be acceptable for landscaping when grade is established and areas provide positive drainage.

IRRIGATION NOTES:

Coordinate with construction supervisor to put sleeving for irrigation under parking and sidewalk areas before concrete is poured.

All foundation plantings to be irrigated with drip irrigation on a common timer.

Backflow preventer shall conform to the City of Wilmington for common water supply.

All components of irrigation system shall conform to the manufacturers guidelines including: sedimentation filters, wire gauge, valves and backflow preventers.

SITE DATA

Building site area = 2.43 acres
 S.F. of Parking Area = 11,103
 Shade calculation 20% of parking area req'd = 2,220.6
 6 Live oaks x 707 = 4242
 3 Cherry laurels x 707 = 2121
 5 Cherry laurels x 353.50 = 1767.50
 1 Live oak x 353.50 = 353.50
 Total shade calculation provided = 8484

BIOSWALE landscape plantings are not to be mulched.
 The BIOSWALE drains directly into a piping system.

PROPOSED 20X70 SITE TRIANGLE - TREE MAINTENANCE

The site proposed triangles at Second and Greenfield Streets must comply with a clear visual sight distance of 30" to 10' of the two trees in the Sight Distance Triangle.

Land Design—South
 Landscape Architecture/
 Planning
 Asla Associate



Donna Clemmons
 105 Coral Drive
 Wrightsville Beach, N.C.
 28480
 910 550 8788

Owner:
 Peachtree Ventures LLC
 10 S. Cardinal Drive
 Wilmington, N.C.
 28403

SOUTH FRONT II
 Landscape Plan

DATE:
 10/13/2015
 Drawn by; DDC

L-2



Approved Construction Plan	
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____