

SITE DATA

PARCEL ID: R06108-006-019-000
 ZONING: RO-RESIDENTIAL OFFICE
 CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION
 PROJECT ADDRESS: 5039 OLEANDER DR WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: 15,983 S.F. (.37 AC.)

SETBACKS:
 FRONT: REQUIRED: 55' PROPOSED: 55'
 SIDE: REQUIRED: 10' PROPOSED: 10' / 30-9'R
 REAR: REQUIRED: 25' PROPOSED: 83.8'

BUILDING SIZE IN SQUARE FEET: 2,099 S.F. FOOTPRINT
 BUILDING HEIGHT: 25 FT.

CALCULATION FOR BUILDING COVERAGE
 PROPOSED COVERAGE: 2,099 S.F. + 15,983 S.F. = 13.1 %

TOTAL DISTURBED AREA: ±0.37 AC

TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT BEFORE DEVELOPMENT

TOTAL	0 S.F. + 15,983 S.F. = 0%
AFTER DEVELOPMENT	
BUILDINGS	2,099 S.F.
CONCRETE SIDEWALKS	253 S.F.
CONCRETE PARKING	291 S.F.
GRAVEL DRIVE/PARKING	5,831 S.F.
TOTAL	8,474 S.F. + 15,983 S.F. = 53.0%

OFFSITE IMPERVIOUS (NEWLY CONSTRUCTED)
 CONCRETE SIDEWALKS: 392 S.F.
 GRAVEL DRIVE: 324 S.F.

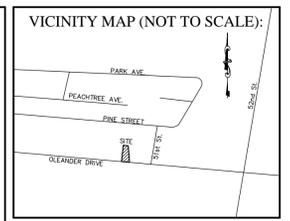
PARKING REQUIRED: 1 SPACE / 400 SF = 6 SPACES
 PARKING PROVIDED: 6 SPACES (1 H.C.)

PARKING LOT INTERIOR LANDSCAPING
 REQUIRED: 6,122 S.F. * 8% = 489.8 S.F.
 PROVIDED: 768 S.F.

PARKING LOT INTERIOR SHADING TO BE SHOWN ON LANDSCAPE PLAN

STREET YARD LANDSCAPING
 REQUIRED: 76' * 12' = 912 S.F.
 PROVIDED: 926 S.F.

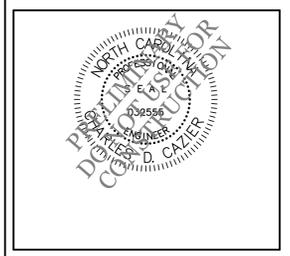
- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & CITY OF WILMINGTON REGULATIONS.
 - NO WETLANDS EXIST ON SITE.
- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS. EXISTING MAINS ARE SHOWN PER CFPUA GIS.
 - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPUA TECHNICAL SPECIFICATIONS & STANDARDS.
 - SOLID WASTE DISPOSAL BY ROLL OUT CARTS FOR CURBSIDE PICKUP. CARTS WILL BE STORED INSIDE BUILDING.
- NOTE: SURVEY PROVIDED BY C. I. GLOVER COMPANY
 N.C. LICENSE NO. C-2855
- NOTES:
- AREA = 0.37 AC ± / 15,983 S.F. (CALCULATED BY AUTODESK SURVEY PROGRAM)
 - RATIO OF PRECISION = 1:10,000 ±
 - PID: R06108-006-019-000
 - OWNER: G. PHILLIP DAVID
 - THIS LOT IS LOCATED IN ZONE X ACCORDING TO DFIRM MAP 3720314600J, DATED APRIL 3, 2006.
 - ELEVATION DATA IS SITE RELATIVE ONLY AND NOT TIED TO ANY PUBLISHED DATUM.
 - NO PAIR OF N.C. GRID MONUMENTS ARE FOUND WITHIN 2000'.
 - NO UNDERGROUND UTILITY INFORMATION OR MARKINGS WERE PROVIDED FOR THEIR LOCATION ON THIS SURVEY.
 - CAPE FEAR PUBLIC UTILITY AUTHORITY WAS CONTACTED FOR INFORMATION DISCLOSING LOCATION OF WATER AND SEWER MAINS. NONE WAS PROVIDED.
 - THIS SURVEY IS PREPARED WITHOUT THE BENEFIT OF A CERTIFIED TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT SUCH A REPORT MAY REVEAL.



REVISIONS

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PRELIMINARY SITE PLAN FOR 5039 OLEANDER DR. WILMINGTON, NC

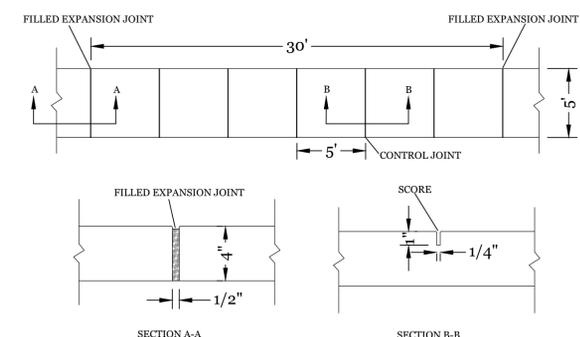


CLIENT INFORMATION:

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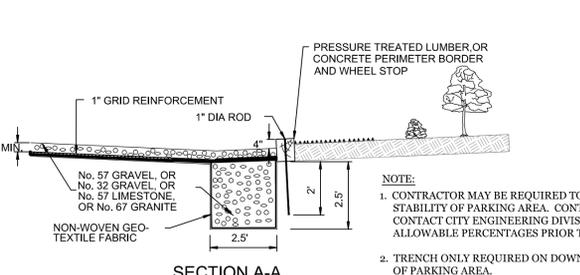
DRAWN: JAE	SHEET SIZE: 24X36
CHECKED: CDC	DATE: 1/27/16
APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2015-041	

DRAWING NUMBER: **C1**



- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD SIDEWALK DETAIL (SD 3-10)
 NTS



TYPICAL UNPAVED PARKING FACILITY UNDER 25 STALLS
 NTS
SD 15-10

LEGEND

- PROPERTY LINE
- EASEMENT
- PROPOSED WATER
- PROPOSED SEWER
- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE
- PROPOSED FENCE
- RUNOFF DIRECTION
- SPOT ELEVATION
- LANDSCAPING

Scale: 1" = 20'