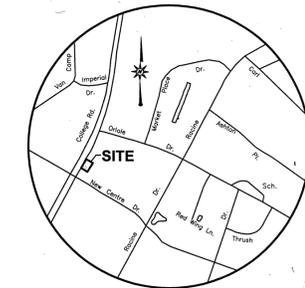


SHOPS AT COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

SUBMITTED TO CITY OF WILMINGTON - OCTOBER 25, 2013



VICINITY MAP
NOT TO SCALE

SITE INFORMATION

LOCATION: 309 S. COLLEGE RD.
WILMINGTON, NC

COUNTY: NEW HANOVER COUNTY

TOWNSHIP: WILMINGTON

TOTAL PROP. ACREAGE: 1.05 AC

PARCEL ID: PORTION OF PARCEL
R04920-003-005-000
[SUBDIVISION IN PROCESS]

DEED BOOK/PAGE: 2882/1910

ZONING: RB

LAND CLASS: CURRENT = COM

EXISTING USE: 528 - NEIGHBORHOOD RETAIL

WATERSHED: BRADLEY CREEK

CAMA CLASSIFICATION: URBAN

MUNICIPALITY: CITY OF WILMINGTON

AREA DISTURBED: 1.43 AC

MINIMUM BUILDING SETBACKS:

FRONT: 25'

REAR: 15'

SIDE: 0'

MAX. BLDG. HT: 35'

MAX. LOT COVERAGE: 40%

PROPOSED BUILDING SETBACKS:

FRONT (COLLEGE): 97'

REAR: 68'

SIDE: 43', 21'

BLDG. HT: 21'4"

LOT COVERAGE: 18.2%

BUILDING DATA:

PROPOSED USE: RETAIL/RESTAURANT/FURNITURE STORE

TOTAL BUILDING SIZE: 8,336 SF

CONSTRUCTION TYPE: IIB

PARKING:

TOTAL REQUIRED PARKING: 1 SPACE/80 SF RESTAURANT MIN.*
=> 900SF*/80SF = 12 SPACES

1 SPACE/1,000 SF FURNITURE
=> 3,692SF/1,000SF = 4 SPACES

1 SPACE/400 SF RETAIL
=> 2,751SF/400SF = 7 SPACES

TOTAL PARKING REQUIRED = 23 SPACES

*DOES NOT INCLUDE KITCHEN AND BATHROOM AREA

LOADING SPACES REQUIRED: 1

HANDICAP SPACES REQUIRED: 2

BICYCLE PARKING REQUIRED: 5

PARKING PROVIDED:

REGULAR 9x18' 25

H.C. (REGULAR) 0

H.C. (VAN ACCESSIBLE) 2

LOADING AREA 1

TOTAL: 27

BICYCLE PARKING PROVIDED: 10

BEST BUY PARKING:

TOTAL REQUIRED PARKING: 1 SPACE/400 SF RETAIL
=> 45,520 SF/ 400 = 114 SPACES

TOTAL EXISTING PARKING: 291 SPACES

REMOVED SPACES: 101 SPACES

TOTAL BEST BUY PARKING: 180 SPACES

UTILITY AGENCIES:

WATER & SEWER
CAPE FEAR
PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DR.
WILMINGTON, NC 28403
910-332-6550

NATURAL GAS
PIEDMONT NATURAL GAS
4720 PIEDMONT ROW DR.
CHARLOTTE, NC 28210
1-800-752-7304

ELECTRIC
PROGRESS ENERGY BUSINESS
SERVICES
PO BOX 1551
RALEIGH, NC 27602
866-582-6345

TELEPHONE
BELL SOUTH
WILMINGTON, NC
910-392-8712
CONTACT: MR. STEVE DAYVAULT

TELEVISION
TIME WARNER CABLE
910-763-4638

GOVERNING AGENCIES:

PLANNING
CITY OF WILMINGTON
305 CHESTNUT STREET
WILMINGTON, NC 28401
910-341-3260
CONTACT: KATHRYN THURSTON

ENGINEERING
CITY OF WILMINGTON
ENGINEERING DIVISION
212 OPERATIONS CENTER DRIVE
WILMINGTON, NC 28412
910-341-5856
CONTACT: ROB GORDON

NCDDOT-DIV. 3, DIST. 3
NCDDOT-DIV. 3, DIST. 3 OFFICE
700 DIVISION DR.
WILMINGTON, NC 28401
910-251-2655
CONTACT: MR. ANTHONY LAW, PE
alaw@ncdot.gov

General Notes:

- Topographical data performed by Michael Underwood & Associates, PA. Contours and boundary information shown hereon are from an actual field survey.
- The Contractor shall notify and cooperate with all utility companies of firms having facilities on or adjacent to the site before disturbing, altering, removing, relocating, adjusting or connecting to said facilities. The Owner shall pay all costs in connection with alteration of or relocation of any existing facilities.
- All excavation is unclassified and shall include all materials encountered.
- All structural fill material shall be free of all sticks, rocks, and clumps of mud.
- Unusable excavated materials and all waste resulting from clearing and grubbing shall be disposed of off-site by the Contractor in an approved solid waste landfill.
- The proposed building will not be sprinkled.
- There is existing underground water, sewer, electrical, natural gas and FIBER OPTIC on-site or within close proximity. Contractors shall dig with extreme caution.
- Concrete Sub shall be responsible for all score joints and expansion joints. Should a question arise about the proposed pattern consult with the Engineer prior to pouring.
- Contractor to furnish all pavement markings as shown.
- Location of underground utilities are approximate and must be field verified. Contact the NC One Call Center at least 48 hours prior to digging @ 1.800.632.4949. Michael Underwood & Associates, PA. has only located the utilities that are above ground at the time of field survey. Underground lines shown hereon are approximate or as reported by various responsible parties. The surveyor does not guarantee that any underground structures such as utilities, tanks and pipes are located hereon.
- All pipe lengths are horizontal distances and are approximate.
- All work shall comply with all applicable codes, regulations, and/or local standards imposed by City of Wilmington.
- All construction and materials shall meet City of Wilmington Utility Specifications and Standards, latest edition. All work within NCDOT right-of-way shall meet the specifications and standards of NCDOT.
- All concrete pipe is to be ASTM C-76, Class III with ram-nek.
- This property is located in zone "X" per FEMA Community Map #: 37017131475. Dated April 3, 2006
- All lot dimensions shown are approximate. Consult the boundary survey of actual site boundary information.
- Wetlands and ponds are not present on site.
- The Contractor shall be responsible for all work zone traffic control in or adjacent to NCDOT right-of-way. All signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), latest edition.
- Prior to placing CABC stone base, the Contractor should notify the Project Engineer to inspect and proof roll the subgrade. Any stone place without prior approval will be the sole responsibility of the Contractor.
- DESIGN/FIELD CONDITIONS quite easily may vary from that represented in the initial soils report and/or topographical report. Isolated areas may show up weak and adverse soils or groundwater conditions may be discovered that were not revealed during the initial soils investigation. Therefore, the Owner/Client is to be aware that Curry Engineering Group, PLLC will not and cannot be held responsible for any failures to either a street or parking lot pavement design unless we can be fully and totally involved in the construction process which may include, but may not necessarily be limited to, testing subgrade and base density, engaging the Design Engineer for the evaluation of the subgrade and for the observation of proof rolling subgrade and base at various steps of construction, opportunity for the Design Engineer to call in a soils Engineer for consultation and advice, etc. - steps which taken altogether with the initial design shown on the plans, constitute the complete design of the road, street or parking area (private or public). The Design Engineer must be given the full latitude and opportunity to complete the design by fully participating in the construction process. Plan design is a small portion of the design and cannot be separated from the construction process if the Owner's/Client's desire is to have the Design Engineer stand behind the completed designed Project.
- All utility services, (power, telephone, cable, etc.) are proposed to be underground. Do not seed or mulch disturbed areas until all underground utilities have been installed.
- Property is to be served by Cape Fear Public Utility Authority (Typ. 44, 46, 68, 69, 70, 71).
- The building setback lines shown on this plan are for the Engineer's use in establishing minimum lot frontages at the setback line and for reserving sufficient building area. Building Contractors are to verify lot line setbacks before setting forms or digging footings.
- Regulatory signs, stop signs and street name signs shall be manufactured from high intensity reflective materials.
- All excess topsoil and unclassified excavation is to be hauled off-site, unless otherwise directed by the Owner.
- All site construction must be inspected by The Project Engineer at the following stages:
A. Completion of grading subgrade prior to placing Stone Base.
B. Completion of Stone placement prior to paving.
C. Final inspection when all work is complete.
- The Surveyor did not visibly see any cemeteries in any open areas unless otherwise noted.
- This property does not depict encroachments that are found during a thorough title search.
- All HVAC units for the proposed building will be screened from public right of way.
- All curb and gutter to be 24" standard curb and gutter. All curb and gutter within NCDOT or R/W shall be 30" standard.
- All curb and gutter and sidewalk concrete is to be minimum 3,000 psi at 28 days, air entrained.
- All dimensions are to face of curb unless indicated otherwise.
- Provide handicap signs, marking and ramps as shown.
- Handicap ramps are to meet "ADA Accessibility Guidelines for Buildings and Facilities" as detailed in the Federal Register, Volume 56, Number 144 dated July 26, 1991, rules and regulations activated January 26, 1992. For additional information, refer to the NC State Building Code Volume 1-C, "Making Buildings and Facilities Accessible to the Useable by the Physically Handicapped", 1991 edition. All street returns to have H.C. Ramps.
- Contractor SHALL NOT POUR any concrete before forms are inspected by the Project Engineer and/or Owner. Any concrete that has not been approved by the Engineer and/or Owner will be the responsibility of the Contractor.
- All areas not covered by building or parking shall be covered with 4" minimum of topsoil, free of root matter and rocks and grassed.
- Contractor shall saw-cut to provide smooth transitions where existing asphalt and/or curb and gutter is to be removed.
- The Contractor shall provide all the material and appurtenances necessary for the complete installation of the utilities. All pipe and fittings shall be inspected prior to being covered.

INDEX

- C-00 COVER SHEET
- C-01 EXISTING CONDITIONS
- C-02 OVERALL EXISTING CONDITIONS
- C-03 DEMOLITION PLAN
- C-04 SITE / UTILITY PLAN
- C-05 GRADING / DRAINAGE PLAN
- C-06 EROSION CONTROL PLAN
- C-07 LANDSCAPING PLAN
- C-08 LIGHTING PLAN
- C-09 TREE PRESERVATION PLAN
- D-01 SANITARY SEWER DETAILS 1
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- D-05 WATER DETAILS 1
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- D-08 SITE DETAILS 1
- D-09 SITE DETAILS 2
- D-10 LANDSCAPING DETAILS
- D-11 EROSION CONTROL DETAILS SEALED SURVEY

WILMINGTON
NORTH CAROLINA
Public Services & Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

| Name | Date |
|----------------|------|
| Planning _____ | |
| Traffic _____ | |
| Fire _____ | |

IMPERVIOUS AREA CALCULATIONS

PROPOSED IMPERVIOUS AREAS:

BUILDING 8,336 SF (18%)

TOTAL SITE ACREAGE 45,738 SF (1.05 AC)

EXISTING IMPERVIOUS (ONSITE) 27,156 SF (59%)

PROPOSED IMPERVIOUS AREA (ONSITE) 29,456 SF (64%)

Owner:

PHD @ COLLEGE, LLC
3930 Max Pl.
Boynton Beach, FL 33436
919.610.0556 (v)
email: rob@phdevelopers.com
Contact: Rob Hicks

Civil Engineering:

The Curry Engineering Group, PLLC
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (v)
919.552.2043 (f)
email: mat@curryeng.com
Contact: Mat Trowbridge, EI

Architect:

Finley Design, PA
1415 W NC Hwy 54,
Suite 206 Durham, NC 27707
919.493.8200 (v)
email: kerry@finleydesignarch.com
Contact: Kerry Gray Finley, AIA

Surveyor:

Michael Underwood and Associates, PA
102 Cinema Drive, Suite A
Wilmington, NC 28403
910.815.0650 (v)
e-mail: mua@biztec.com
Contact: Michael Underwood, PLS



NOT FOR CONSTRUCTION

SHOPS AT COLLEGE RD. - WILMINGTON, NC

The Curry Engineering Group, PLLC

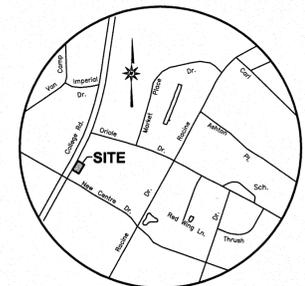
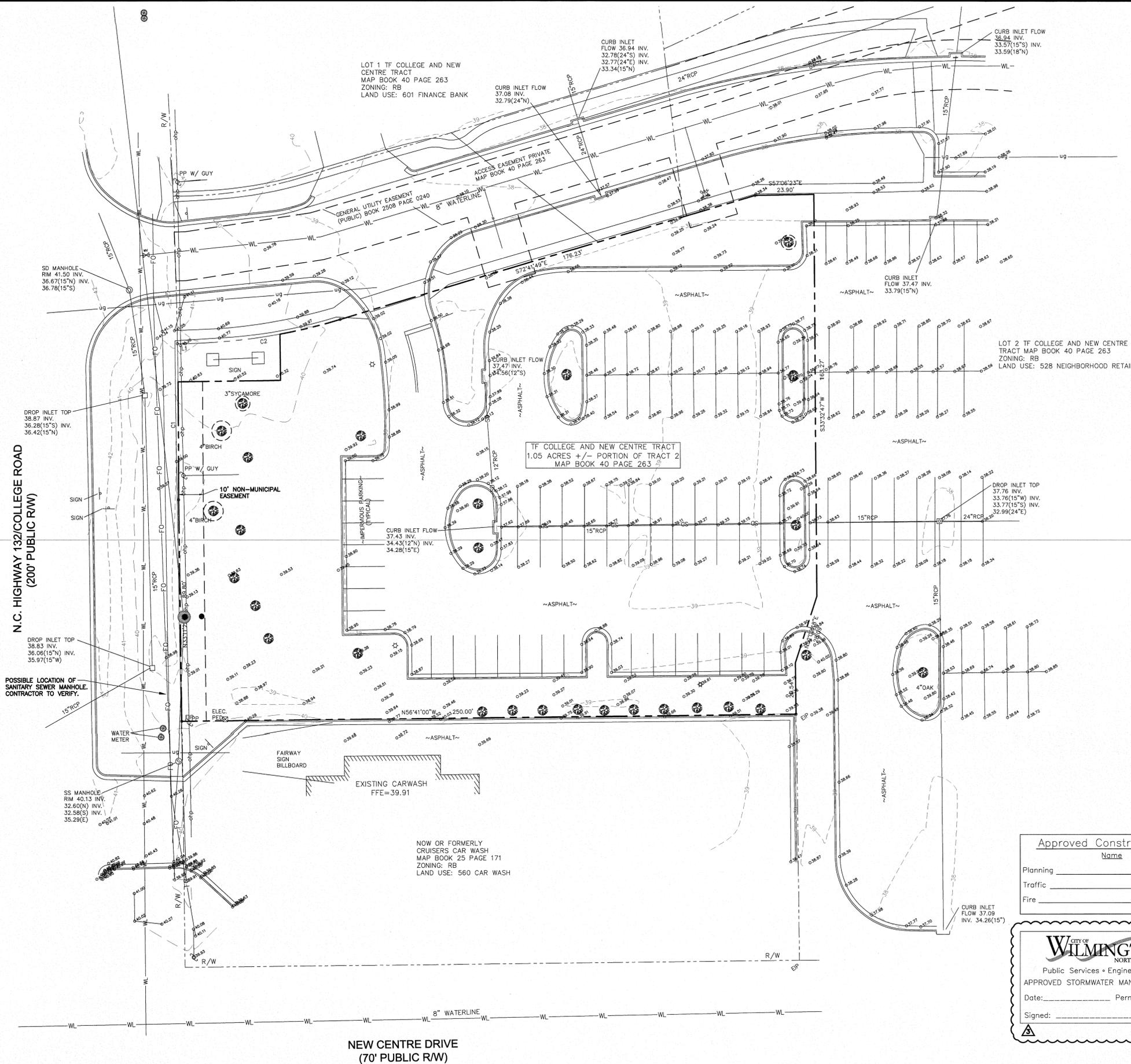
C-00

COVER SHEET

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|--|
| 1 | 12/20/13 | CITY OF WILMINGTON COMMENTS #1 |
| 2 | 07/13/14 | REVISE DIMENSION LOCATION PER BEST BUY |
| 3 | 07/13/14 | REVISE DIMENSION LOCATION PER BEST BUY |
| 4 | 07/13/14 | CITY OF WILMINGTON REVIEW COMMENTS #2 |

DATE: OCTOBER, 2013
FILE NO.: 2013 - 007
HORIZ. SCALE:
VERT. SCALE:
ORG. SHEET SIZE: 24 x 36



LEGEND

| | |
|--|------------------------------|
| | LIGHT POLE |
| | UTILITY POLE |
| | CURB AND GUTTER |
| | STORM DRAIN MANHOLE |
| | SANITARY SEWER MANHOLE |
| | FIRE HYDRANT |
| | WATER VALVE |
| | SEWER LINE |
| | WATER LINE |
| | FENCE |
| | UNDERGROUND UTILITY ELECTRIC |
| | STORM DRAINAGE |
| | CONCRETE PAVEMENT |
| | EXISTING IRON PIPE |
| | IRON PIPE SET |
| | POWER POLE |
| | TELEPHONE POLE |
| | CLEANOUT |
| | OVERHEAD ELECTRIC |
| | OVERHEAD TELEPHONE |

Surveyor:
Michael Underwood and Associates, PA
 102 Cinema Drive, Suite A
 Wilmington, NC 28403

910.815.0650 (v)
 910.815.0393 (f)
 email: mua@bizccr.com
 Contact: Michael Underwood

Approved Construction Plan

| | |
|----------|------|
| Name | Date |
| Planning | |
| Traffic | |
| Fire | |

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



SCALE: 1" = 20'
 0 20 40 50 60
 NOT FOR CONSTRUCTION

REVISIONS

| | | |
|---|----------|---------------------------------------|
| 1 | 07/29/13 | CITY OF WILMINGTON COMMENTS #1 |
| 2 | 08/14/13 | REVISIONS |
| 3 | 02/17/14 | CITY OF WILMINGTON COMMENTS #2 |
| 4 | 07/13/14 | CITY OF WILMINGTON REVIEW COMMENTS #3 |

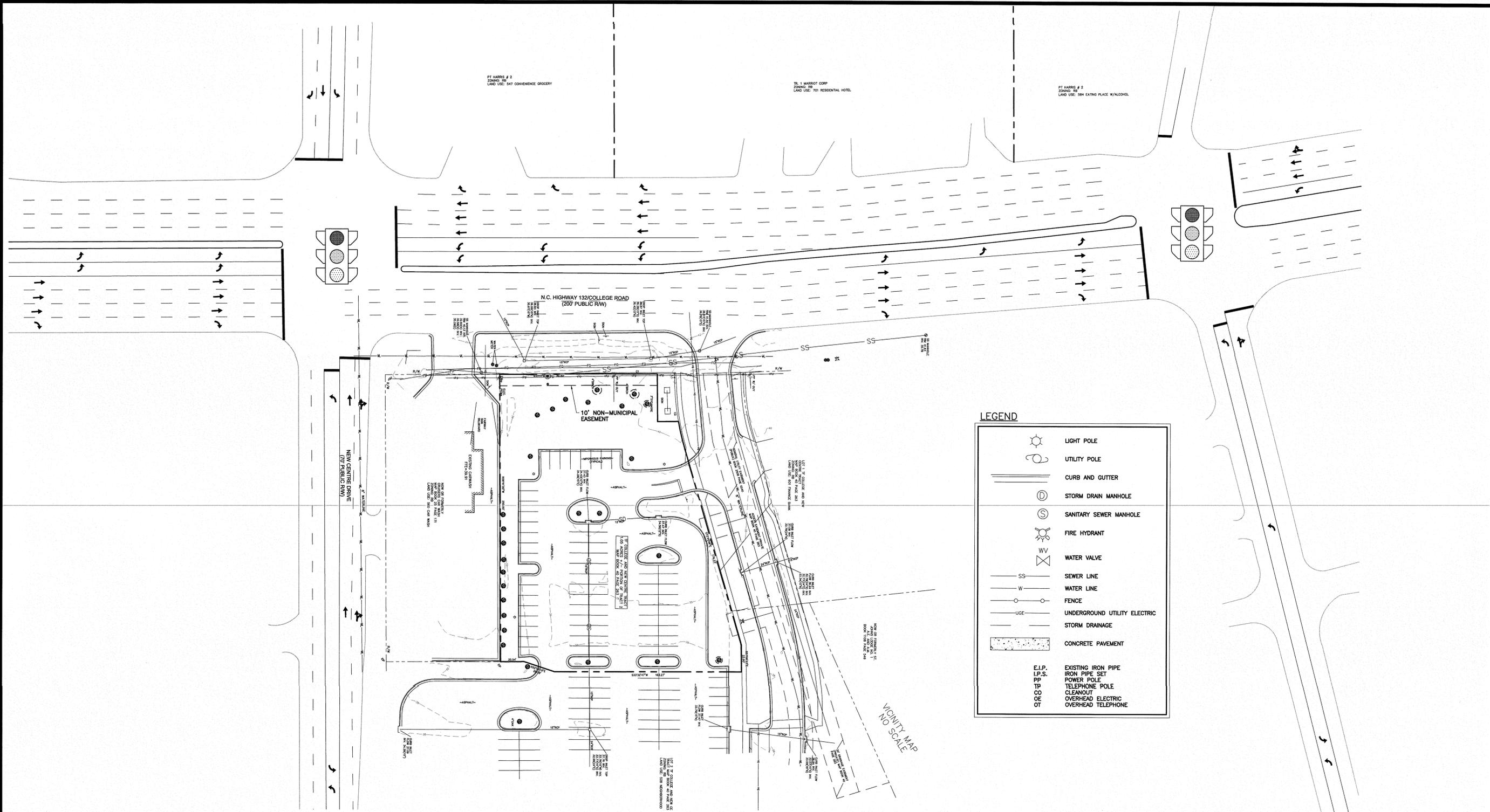
DATE: OCTOBER, 2013
 FILE NO. 2013 - 007
 HORZ. SCALE: 1" = 20'
 ORIG. SHEET SIZE: 24 x 36

SHOPS AT COLLEGE RD. - WILMINGTON, NC
EXISTING CONDITIONS

PO BOX 308
 205 S. FLOYD AVE.
 FLOYD-VARINA, NC
 27536
 PHONE: (919) 553-6849
 FAX: (919) 553-2343
 MOBILE: (919) 880-8857
 NC LIC. NO. P-9799

The Curry Engineering Group, PLLC
 www.curryeng.com

C-01



LEGEND

| | |
|--|------------------------------|
| | LIGHT POLE |
| | UTILITY POLE |
| | CURB AND GUTTER |
| | STORM DRAIN MANHOLE |
| | SANITARY SEWER MANHOLE |
| | FIRE HYDRANT |
| | WATER VALVE |
| | SEWER LINE |
| | WATER LINE |
| | FENCE |
| | UNDERGROUND UTILITY ELECTRIC |
| | STORM DRAINAGE |
| | CONCRETE PAVEMENT |
| | EXISTING IRON PIPE |
| | IRON PIPE SET |
| | POWER POLE |
| | TELEPHONE POLE |
| | CLEANOUT |
| | OVERHEAD ELECTRIC |
| | OVERHEAD TELEPHONE |

Approved Construction Plan

| Name | Date |
|----------------|-------|
| Planning _____ | _____ |
| Traffic _____ | _____ |
| Fire _____ | _____ |

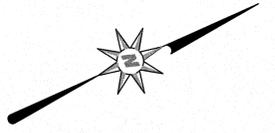
CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____



SCALE: 1" = 40'

0 40 80 100 120

NOT FOR CONSTRUCTION

REVISIONS

| NO. | DATE | BY | REASON |
|-----|----------|----|--------------------------------|
| 1 | 12/29/13 | | CITY OF WILMINGTON COMMENTS #1 |
| 2 | 01/17/14 | | CITY OF WILMINGTON COMMENTS #2 |
| 3 | 07/17/14 | | CITY OF WILMINGTON COMMENTS #3 |
| 4 | 09/13/14 | | CITY OF WILMINGTON COMMENTS #4 |

DATE: OCTOBER, 2013

FILE NO.: 2013 - 007

HORIZ. SCALE: 1" = 40'

ORIG. SHEET SIZE: 24 x 36

SHOPS AT COLLEGE RD. - WILMINGTON, NC

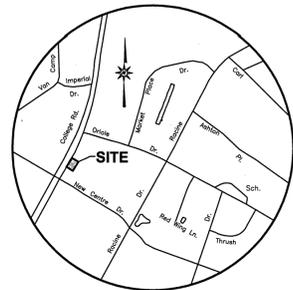
OVERALL EXISTING CONDITIONS

PO BOX 2018
206 S. FLOUAY AVE.
WILMINGTON, N.C. 27206
PHONE: (910) 552-0849
FAX: (910) 552-2043
MOBILE: (910) 880-9857
N.C. LIC. NO. P-0799

The Curry Engineering Group, PLLC

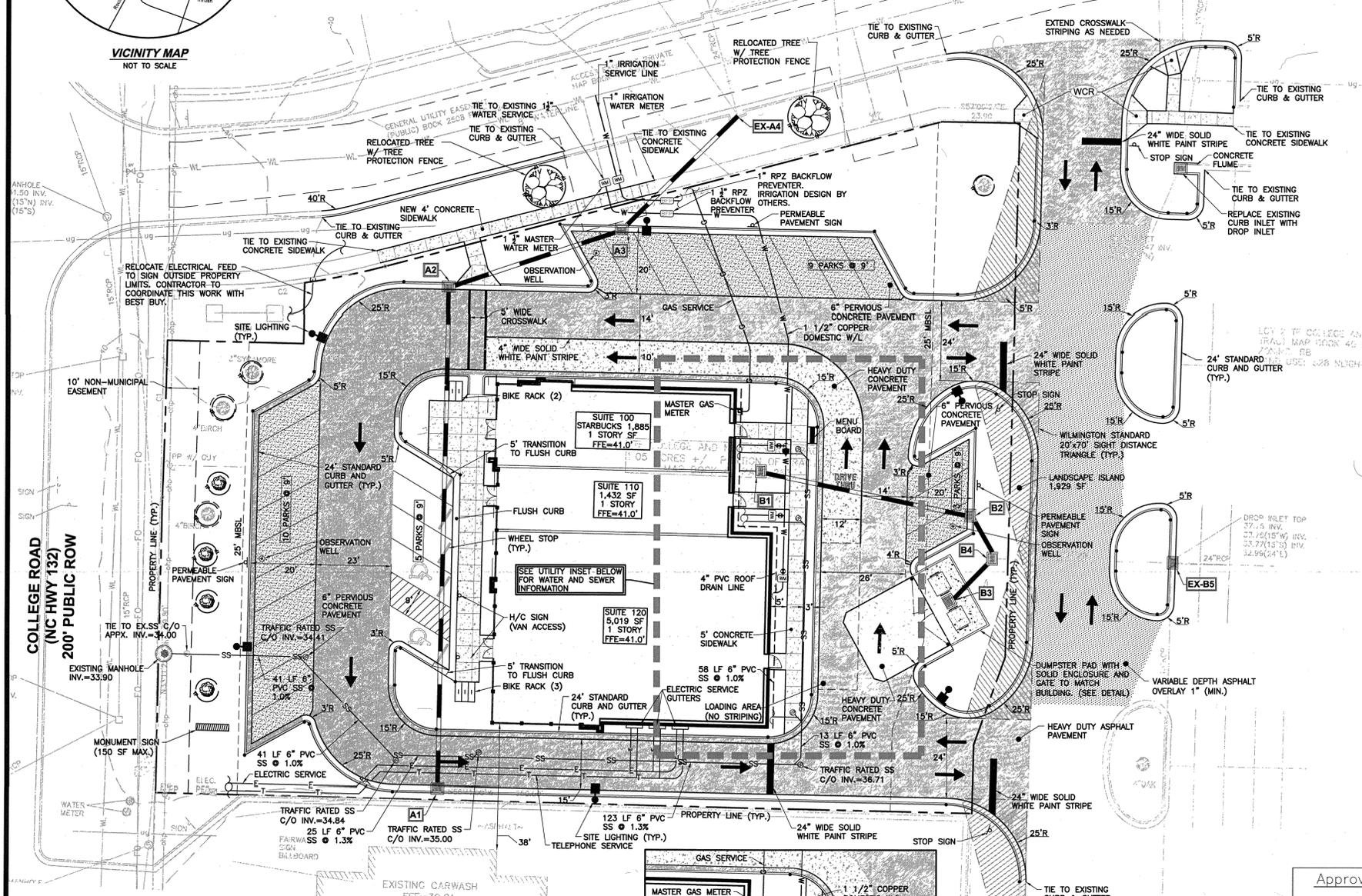
www.curryeng.com

C-02



VICINITY MAP
NOT TO SCALE

LOT 1 IF COLLEGE AND NEW CENTRE TRACT
MAP BOOK 40 PAGE 263
ZONING: RB
LAND USE: 601 FINANCE BANK



- NOTES:**
- ALL PROPOSED SIGNAGE SHALL COMPLY WITH CITY OF WILMINGTON SIGN ORDINANCE.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK.
 - ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS SHOWN OTHERWISE.
 - ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF WILMINGTON, NEW HANOVER COUNTY, AND CAPE FEAR PUBLIC UTILITY AUTHORITY AS APPLICABLE.
 - THIS SITE IS SERVED BY CAPE FEAR PUBLIC UTILITY AUTHORITY.
 - THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FDC POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN THE WATER METER AND ITS CITY OF WILMINGTON REQUIRED BACKFLOW PREVENTERS.
 - REDUCED PRESSURE PRINCIPLE-DETECTOR ASSEMBLIES TO BE INSTALLED ABOVE-GROUND WITH INSULATED ENCLOSURE PER CITY REQUIREMENTS. THE FOLLOWING MODEL NUMBERS SHALL BE PROVIDED: - 3/4" AND 1.5" BACKFLOW-WAITS MODEL 909M1QT
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
 - MAINTAIN MINIMUM 3' COVER FOR ALL WATER PIPE.
 - ALL SANITARY SEWER CLEANOUTS IN PAVEMENT AREAS SHALL BE TRAFFIC RATED.
 - ALL P.V.M.T. MARKINGS SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STALLS.
 - CROSSWALKS SHALL BE 8" WIDE SOLID WHITE THERMOPLASTIC.
 - STOP BARS SHALL 4' BEHIND THE CROSSWALK, AND 24" WIDE, SOLID WHITE THERMOPLASTIC.
 - MAX. SIDEWALK CROSS-SLOPE IS 2%.
 - FINAL SURFACE COARSE SHALL OVERLAP SAWCUT JOINT AND INTERFACE OF ASPHALT OVERLAY AND NEW/EXISTING ASPHALT PAVEMENT. (2' MIN.)
 - SCARIFY EXISTING ASPHALT AND APPLY TACK COAT PRIOR TO INSTALLING OVERLAY.
 - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - INSTALL REFLECTORS PER CITY & MCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
 - PERMEABLE PAVEMENT SHALL NOT BE INSTALLED UNTIL ADJACENT AREAS HAVE BEEN STABILIZED.
 - A UTILITY CUT PERMIT IS REQUIRED AS NEEDED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR ADDITIONAL DETAILS.
 - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

SITE INFORMATION

LOCATION: 309 S. COLLEGE RD. WILMINGTON, NC

COUNTY: NEW HANOVER COUNTY

TOWNSHIP: WILMINGTON

TOTAL PROP. ACREAGE: 1.05 AC

PARCEL ID: PORTION OF PARCEL R04920-003-005-000 (SUBDIVISION IN PROCESS)

DEED BOOK/PAGE: 2882/1910

ZONING: RB

LAND CLASS: CURRENT = COM

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WATERSHED: BRADLEY CREEK

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FRONT (COLLEGE): 97'

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WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

SITE / UTILITY LEGEND

| | |
|---------------------------|---------------------------|
| CONC. CURB & GUTTER | TRAVEL DIRECTIONAL ARROWS |
| STORMWATER RETENTION POND | SITE LIGHTING (FIXTURE) |
| SANITARY SEWER LINE | DROP INLET/YARD INLET |
| WATER LINE | CURB INLET |
| TELEPHONE LINE | FLARED END SECTION |
| ELECTRIC LINE | HANDICAP PARK |
| MBSL | WHEELSTOP |
| STORMWATER LINE | SANITARY SEWER CLEANOUT |
| FIRE HYDRANT ASSEMBLY | WHEELCHAIR RAMP |
| GATE VALVE | EXISTING CONTOUR |
| TEE | SPILL CURB |
| REACTION BLOCKING | OBSERVATION WELL |
| HEAVY-DUTY PAVEMENT | |

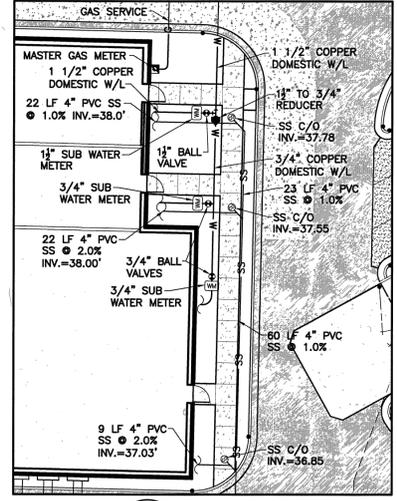
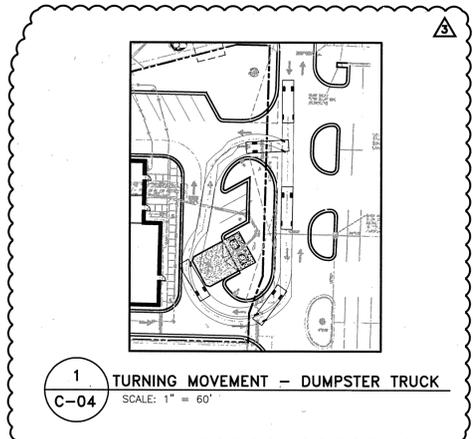
Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

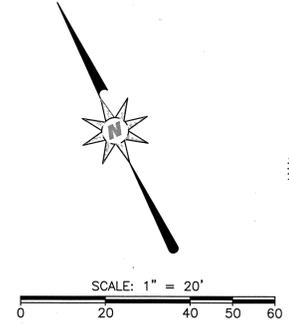


IMPERVIOUS AREA CALCULATIONS

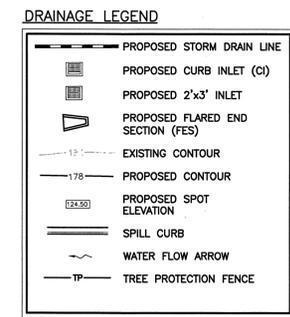
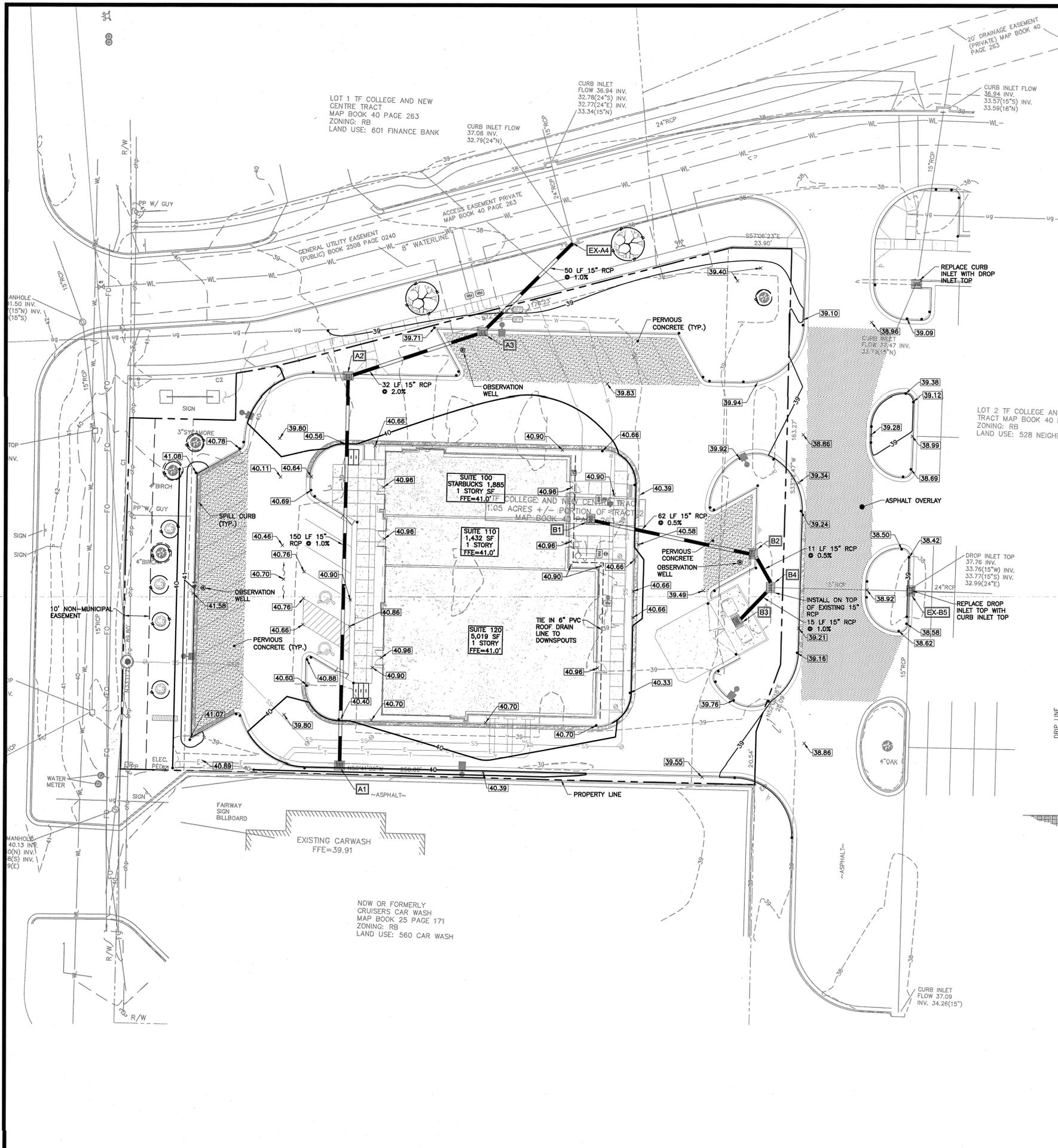
| | |
|-----------------------------------|---------------------|
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BEFORE YOU DIG
CALL TOLL FREE
1 800 632 4949

NORTH CAROLINA ONE-CALL CENTER



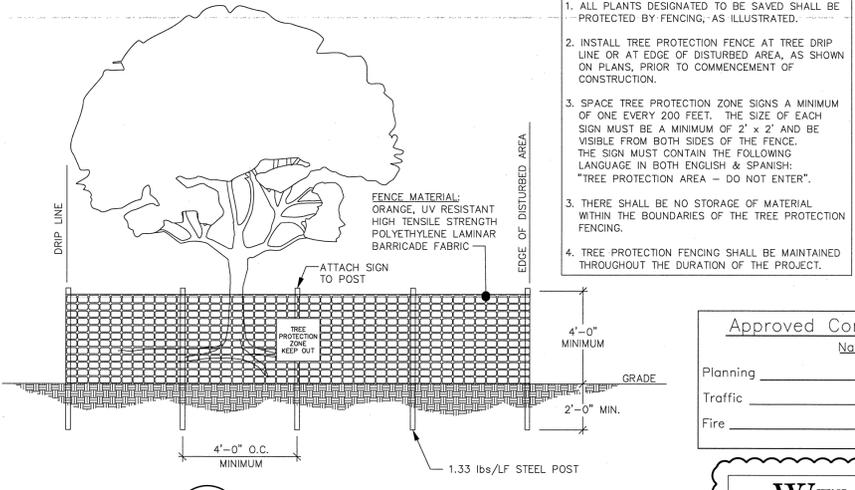
NOT FOR CONSTRUCTION



- NOTES:**
- ALL STORM DRAINAGE PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDENR, NEW HANOVER COUNTY, AND CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE ALL GRADING OPERATIONS WITH THE OWNER'S GEOTECHNICAL ENGINEER, AS APPROPRIATE.
 - CONTRACTOR SHALL MAINTAIN POSITIVE SLOPE AND OUTFALL OF ANY FOUNDATION DRAIN SYSTEMS.
 - SPOT ELEVATIONS ON CURB REFER TO THE BACK OR TOP OF CURB (TOC) ELEVATION. ELEVATIONS ON STORM DRAINAGE TABULATIONS (SEE DETAIL SHEET) REFER TO EDGE OF PAVEMENT (EOP) ELEVATION.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
 - PROPOSED BMP COMPLES WITH NCDENR AND CITY OF WILMINGTON STORMWATER ORDINANCE.
 - MAXIMUM SLOPE OF PERVIOUS CONCRETE SUBGRADE IS 0.50%.
 - NO TREE REMOVAL OR RELOCATION MAY TAKE PLACE UNTIL A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE CITY OF WILMINGTON.

| INLET # | CATCH BASIN TYPE | GRATE TYPE | ROADWAY | RIM ELEV (EOP) | PIPE SIZE (in) & INV. IN | PIPE SIZE (in) & INV. OUT |
|---------|-------------------|------------|-------------------------|----------------|------------------------------|---------------------------|
| A1 | NCDOT STD. 840.02 | TYPE 'E' | SOUTH - CURB INLET | 39.40 | N/A | 15 36.15 |
| A2 | NCDOT STD. 840.02 | TYPE 'E' | NORTH - CURB INLET | 39.49 | 15 34.65 | 15 34.45 |
| A3 | NCDOT STD. 840.02 | TYPE 'E' | PERVIOUS CONC. OVERFLOW | 39.10 | 15 33.81 | 15 33.71 |
| EXA4 | NCDOT STD. 840.02 | TYPE 'E' | EXISTING CURB INLET | 37.08 | 15 33.21 | 24 32.79 |
| B1 | 2'x2' YARD INLET | STD. TOP | ADJACENT TO BUILDING | 40.00 | N/A | 15 34.75 |
| B2 | NCDOT STD. 840.02 | TYPE 'E' | PERVIOUS CONC. OVERFLOW | 39.14 | 15 34.41 | 15 34.31 |
| B3 | NCDOT STD. 840.02 | TYPE 'E' | DUMPSTER ENCLOSURE | 39.10 | N/A | 15 35.85 |
| B4 | NCDOT STD. 840.02 | TYPE 'E' | LANDSCAPE ISLAND | 38.75 | #2 -15 34.01 #3 -15 34.08 | 15 33.92 |

1 STORM DRAINAGE TABULATIONS
SCALE: N.T.S.



- NOTES:**
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 - INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 200 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION AREA - DO NOT ENTER".
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

2 TREE PROTECTION FENCE
SCALE: N.T.S.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

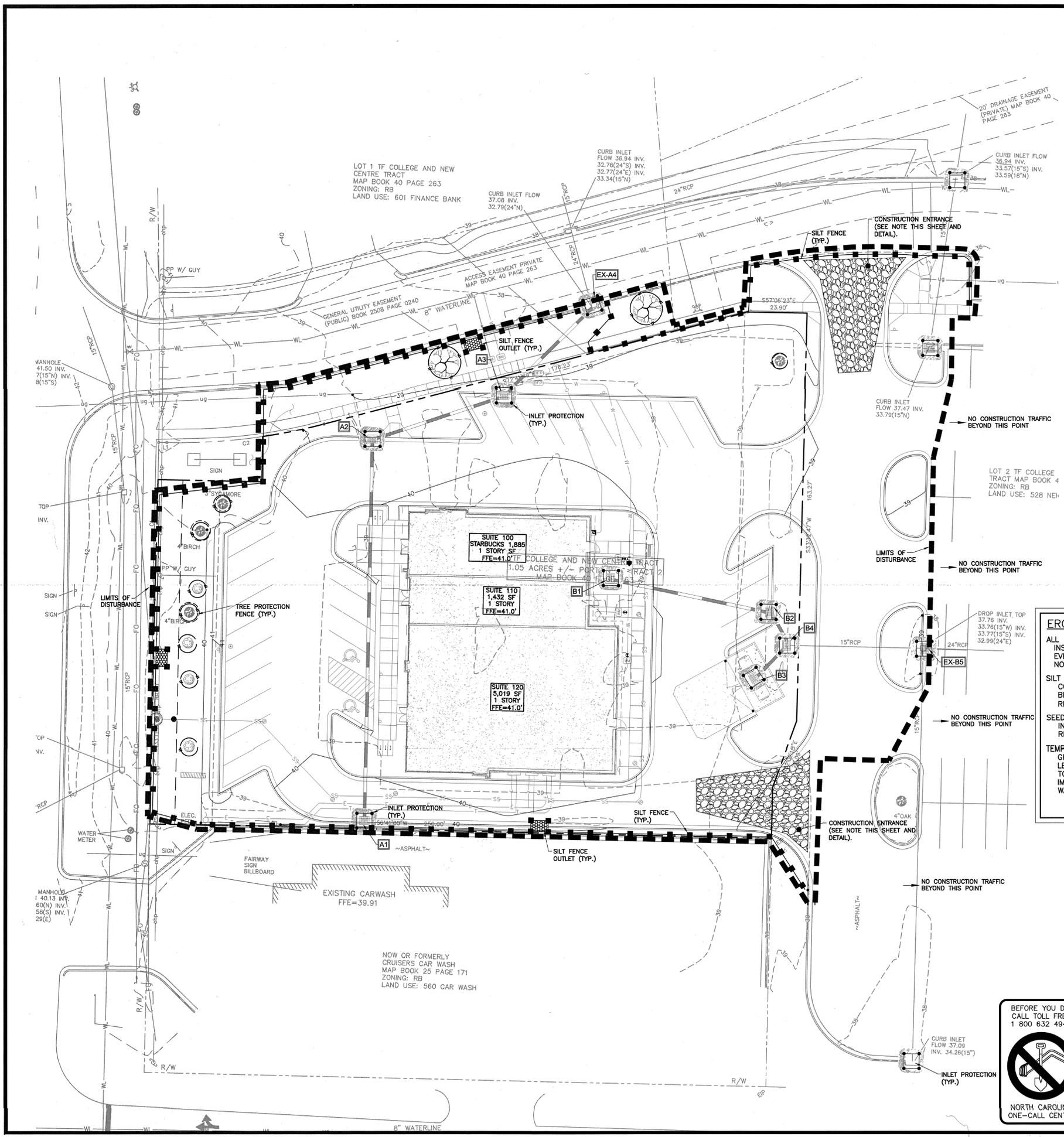
Date: _____ Permit # _____

Signed: _____



SCALE: 1" = 20'
0 20 40 50 60

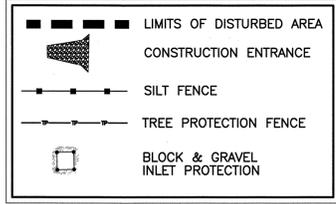
NOT FOR CONSTRUCTION



MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
4. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
6. SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLOADED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
7. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLOADED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
8. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
9. FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

EROSION CONTROL LEGEND



EROSION CONTROL NOTES:

1. THE TEMPORARY DIVERSION DITCHES, SILT FENCE, AND LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS OF THE ACTUAL EROSION CONTROL MEASURES THAT WILL BE INSTALLED UNDER THIS PROJECT. DO TO THE SCALE OF THIS DRAWING, THESE MEASURES ARE GRAPHICALLY DEPICTED BEYOND WHERE THEY WILL ACTUALLY BE INSTALLED IN THE FIELD.
2. DIST AREA = 1.43 AC
3. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN IN THE PLAN IS A VIOLATION OF THE NEW HANOVER COUNTY EROSION CONTROL ORDINANCE & IS SUBJECT TO A FINE.
4. GRADING MORE THAN 1 ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NEW HANOVER COUNTY EROSION CONTROL ORDINANCE & IS SUBJECT TO A FINE.
5. ALL AREAS MUST BE SEED & MULCHED WITHIN 7 OR 14 CALENDAR DAYS. REFER TO EROSION CONTROL DETAILS AND EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
6. A PRECONSTRUCTION MEETING WITH NEW HANOVER COUNTY IS REQUIRED PRIOR TO ANY ACTIVITY ON SITE. CONTACT NEW HANOVER COUNTY ENGINEERING AT 910-798-7138.

EROSION CONTROL MAINTENANCE PLAN

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. STRUCTURES THAT SHALL BE INSPECTED INCLUDE BUT ARE NOT LIMITED TO:

SILT FENCE AND FABRIC INLET PROTECTION ANY FABRIC WHICH COLLAPSES, TEARS, DECOMPOSES, OR BECOMES INEFFECTIVE SHALL BE REPLACED IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN SEDIMENT BEHIND THE FENCE REACHES 6".

SEEDING, FERTILIZING, AND MULCHING SEEDING AREAS SHALL BE INSPECTED FOR FAILURE AND NECESSARY REPAIRS AND RE-SEEDING SHALL BE MADE WITHIN THE SAME SEASON.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE. AFTER A RAINFALL, IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO ROADWAYS.

HARDWARE CLOTH AND GRAVEL INLET PROTECTION INSPECT THE BARRIER AFTER EACH RAIN. REMOVE SEDIMENT WHEN HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. UPON STABILIZATION OF DRAINAGE AREA, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, EITHER SALVAGE OR DISPOSE OF PROPERLY. BRING DISTURBED DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. STABILIZE ALL BARE AREAS AROUND THE INLET.

TEMPORARY PIPE INLET PROTECTION TEMPORARY PIPE INLET PROTECTION MUST BE ROUTINELY INSPECTED AFTER RAINFALL EVENTS AND MAINTAINED AS NEEDED TO ENSURE THE MEASURE IS IN PROPER WORKING CONDITION. METAL POSTS SHALL BE REPLACED IS DAMAGED. ACCUMULATED SEDIMENT SHALL BE REMOVED. ANY SILT WHICH COLLAPSES, TEARS, DECOMPOSES, OR BECOMES INEFFECTIVE SHALL BE REPLACED IMMEDIATELY.

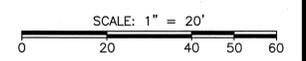
PIPE OUTLET PROTECTION STONE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. DISLOCATED STONE SHALL BE REPLACED IMMEDIATELY AND ANY SCOUR OR ERODED AREAS SHALL BE REPAIRED IMMEDIATELY.

Approved Construction Plan

| Name | Date |
|----------------|-------|
| Planning _____ | _____ |
| Traffic _____ | _____ |
| Fire _____ | _____ |



CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



NOT FOR CONSTRUCTION

SHOPS AT COLLEGE RD. - WILMINGTON, NC
EROSION CONTROL PLAN

PO BOX 2018 WYOMING AVE
FLOUARY-VARRANO, NC
27526
PHONE: (919) 552-0849
FAX: (919) 893-0857
NC LIC. NO. P40799

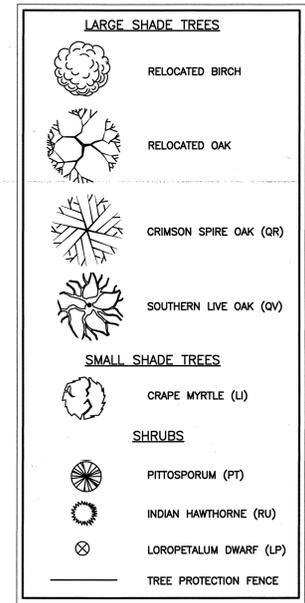
The Curry Engineering Group, PLLC
www.curryeng.com

NOTES:

- LANDSCAPING SHALL COMPLY WITH THE CITY OF WILMINGTON LANDSCAPING ORDINANCE.
- ALL DISTURBED AREAS NOT IDENTIFIED FOR PLANTINGS AND MULCH SHALL BE SEEDED. SEE DETAIL SHEETS FOR REQUIREMENTS.
- FOR ALL EVERGREEN AND CANOPY TREES, THE MIN. CALIPER INCHES AT PLANTING IS 2".
- MINIMUM HEIGHT FOR SHRUBS AT THE DUMPSTER SCREEN IS 36"
- ALL PLANTED AND RETAINED LIVING MATERIAL, REQUIRED TO MEET THE CITY OF WILMINGTON LANDSCAPING REGULATIONS SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
- IF AN IRRIGATION SYSTEM IS INSTALLED IT SHALL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR.
- NO OBSTRUCTION SHALL BE PERMITTED BETWEEN 30" AND 10' HIGH WITHIN THE SIGHT DISTANCE TRIANGLES.
- CRITICAL ROOT ZONES RANGE BETWEEN 3'-4' RADIUS AROUND ALL PROTECTED TREES. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCE IN A 6' RADIUS AROUND ALL PROTECTED TREES, BOTH EXISTING AND RELOCATED.
- NO TREE REMOVAL OR RELOCATION MAY TAKE PLACE UNTIL A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE CITY OF WILMINGTON.

| KEY | QTY. | BOTANICAL NAME | COMMON NAME | TYPE | SIZE | HEIGHT |
|---------------|------|--------------------------------------|-------------------|---------|------|----------|
| QV | 12 | Quercus Virginiana | Southern Live Oak | Evergm. | 2" c | Min. 8' |
| QR | 1 | Quercus robur x Q. alba chrymschmidt | Crimson Spire Oak | Decid. | 2" c | Min. 8' |
| LI | 3 | Lagerstroemia indica | Crape Myrtle | Decid. | 2" c | Min. 6' |
| SHRUBS | | | | | | |
| LP | 103 | Loropetalum chinensis 'daruma' | Loropetalum Dwarf | Decid. | 18" | Min. 18" |
| PT | 75 | Pittosporum tobira | Pittosporum | Evergm. | 36" | Min. 36" |
| RU | 31 | Rhaphiolepis indica | Indian Hawthorne | Evergm. | 18" | Min. 18" |

LANDSCAPE LEGEND:



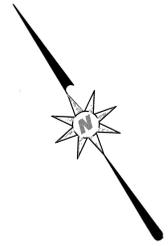
LANDSCAPING CALCULATIONS:

- PRIMARY STREETYARD (COLLEGE RD.)**
 SEC. 18-477
 REQUIRED (PER 600 SF) = 1 CANOPY SHADE TREE, 6 SHRUBS
 TOTAL SF = 3,450 (138' x 25')
 REQUIRED = 6 CANOPY TREES, 36 SHRUBS
 PROVIDED = 6 CANOPY TREES, 36 SHRUBS
- FOUNDATION PLANTINGS:**
 SEC. 18-490
 REQUIRED PLANTING AREA = 12% * AREA OF BUILDING FACE
 REQUIRED PLANTING AREA (SOUTH) = 0.12 x 23'H x 85 LF = 235 SF
 PROVIDED PLANTING AREA (SOUTH) = 235 SF
 REQUIRED PLANTING AREA (WEST) = 0.12 x 23'H x 105 LF = 290 SF
 PROVIDED PLANTING AREA (WEST) = 321 SF
 REQUIRED PLANTING AREA (NORTH) = EXEMPT (DRIVE-THRU)
 REQUIRED PLANTING AREA (EAST) = 0.12 x 23'H x 115 LF = 318 SF
 PROVIDED PLANTING AREA (EAST) = 515 SF
- INTERIOR LANDSCAPING:**
 SEC. 18-481
 *PARKING FACILITY SHALL BE SHADED BY CANOPY TREES TO PROVIDE AT LEAST 20% PARKING LOT COVERAGE AT MATURITY.
 *PROVIDE AT LEAST ONE TREE PER 12'x18' PLANTING ISLANDS
 *AT LEAST 75% OF TREES PROVIDED UNDER INTERIOR LANDSCAPING SHALL BE A LARGE SHADE/CANOPY SPECIES.
 *MAX DISTANCE FROM A SHADE TREE TO A PARKING SPACE = 120'
 PARKING LOT AREA = 23,855 SF
 REQUIRED COVERAGE (20%) = 0.20 * 23,855 SF = 4,771 SF
 PROVIDED COVERAGE = 4 TREES x 707 SF/EA x 0.5 = 1,414 SF
 7 TREES x 707 SF/EA = 4,949 SF
 TOTAL = 6,363 SF
- OVERALL SITE REQUIREMENT**
 REQUIRED = 15 TREES/ACRE = 1.05*15 = 16 TREES
 PROVIDED = 17 TREES
- GROUND COVER**
 NONE PROVIDED

Approved Construction Plan

Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services - Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



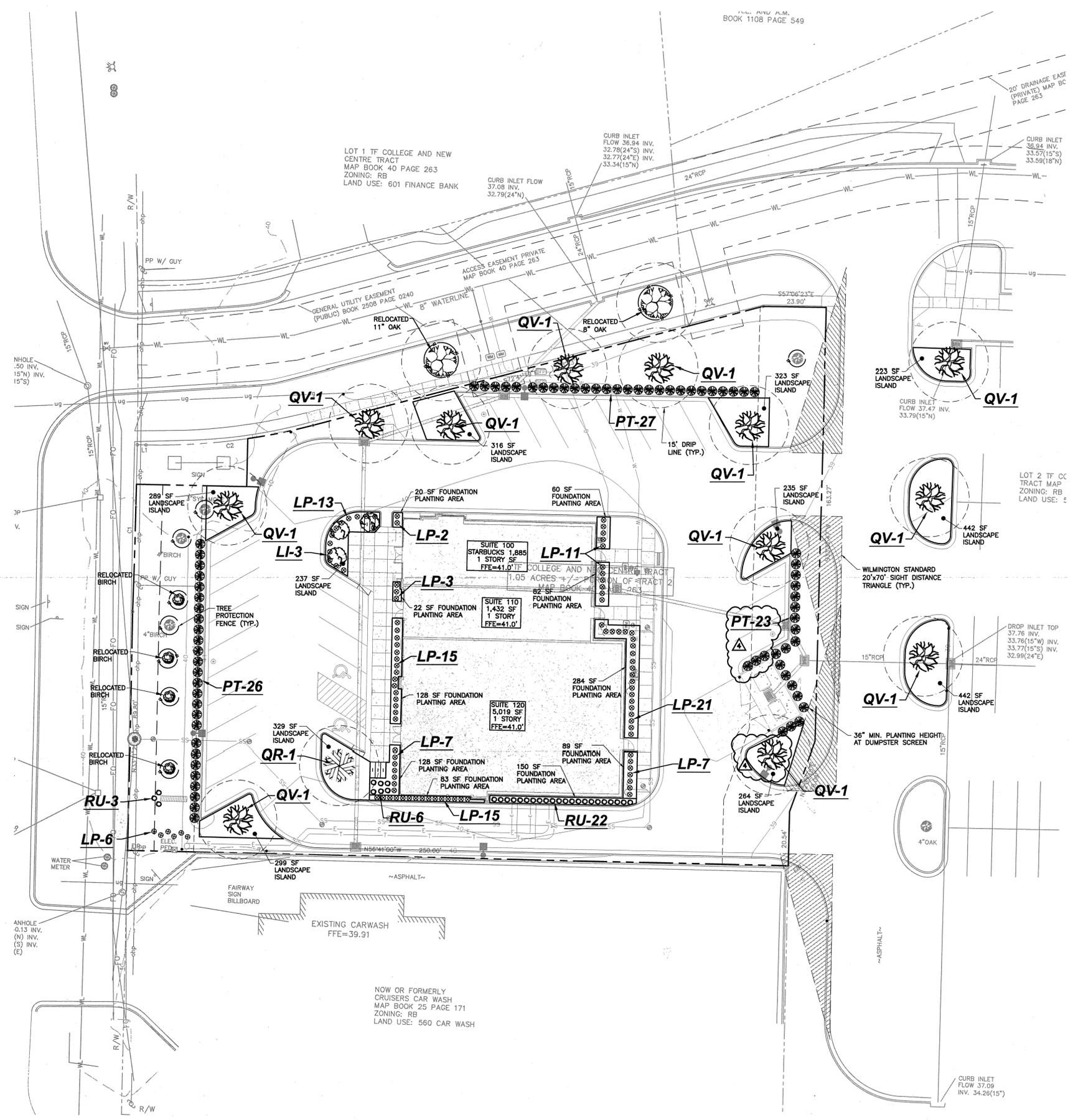
SCALE: 1" = 20'
 0 20 40 50 60

NOT FOR CONSTRUCTION

SHOPS AT COLLEGE RD. - WILMINGTON, NC
 LANDSCAPING PLAN

PO BOX 2018
 1000 N. COLLEGE RD.
 FLOUQUA, N.C. 27836
 PHONE: (919) 552-0849
 FAX: (919) 552-0883
 NC LIC. NO. P-0799

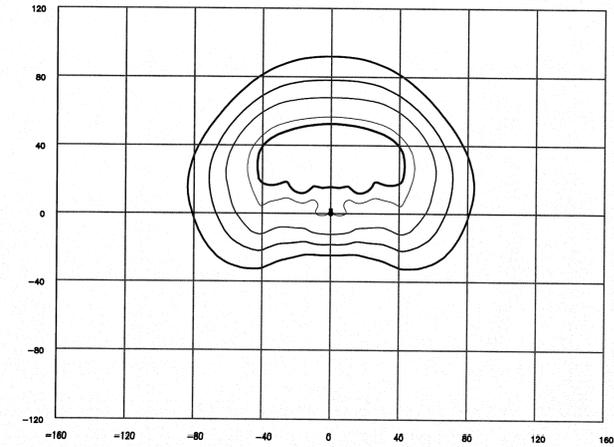
The Curry Engineering Group, PLLC
 www.curryeng.com
 C-07



ISOFOOTCANDLE CURVES

FIXTURE: LED205, EAMM
 MOUNTING HEIGHT: 30 FT
 LIGHT SOURCE: 180 LED'S, 4000K
 PATTERN: TYPE III, B2-U0-G2 (zero light at or above 90 degrees)
 ASSY# L12KLED205LS3MC
 POLE ASSY# PLS30ABDSQLC (BLACK)

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



| AREA NAME | DIMENSIONS | GRID / TYPE | # PTS | SPAC | GROUP | AVE | MAX | MIN | MAX/MIN | AVE/MIN |
|-----------|-----------------|---------------|-------|-------|-------|------|------|------|---------|---------|
| parking | 496.50x440.89ft | parking / H-H | 230 | 10.00 | <+> | 1.89 | 4.08 | 0.50 | 8.12 | 3.77 |

| Shops at College Rd (13-0160) LUMINAIRE SCHEDULE | | | | | | | | | |
|--|--------|--|-----------|--------|-----------------------------|------|-----|--|--|
| TYP | SYMBOL | DESCRIPTION | LAMP | LUMENS | MOUNTING/BALLAST | LLF | QTY | | |
| 253A | ⬢ | GE LIGHTING LED205_3_1/POLE (1) 2053' LED205_3_1/POLE | (1) 4000K | 13620 | 30' MT HT SiteLighter II | 0.85 | 7 | | |

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

PROPRIETARY & CONFIDENTIAL

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| | |
|-----------------------|----------------------------|
| SHOPS AT COLLEGE ROAD | |
| WILMINGTON NC | |
| SITE LIGHTING PLAN | |
| Designed by | DEP LIGHTING SOLUTIONS |
| Reviewed by | R. Simpkins Scale 1" = 30' |
| Date | 12/05/2013 Size "Arch D" |
| Description | LED205 fixtures |
| Drawing No. | 13-0160A Sht. 1 OF 1 |



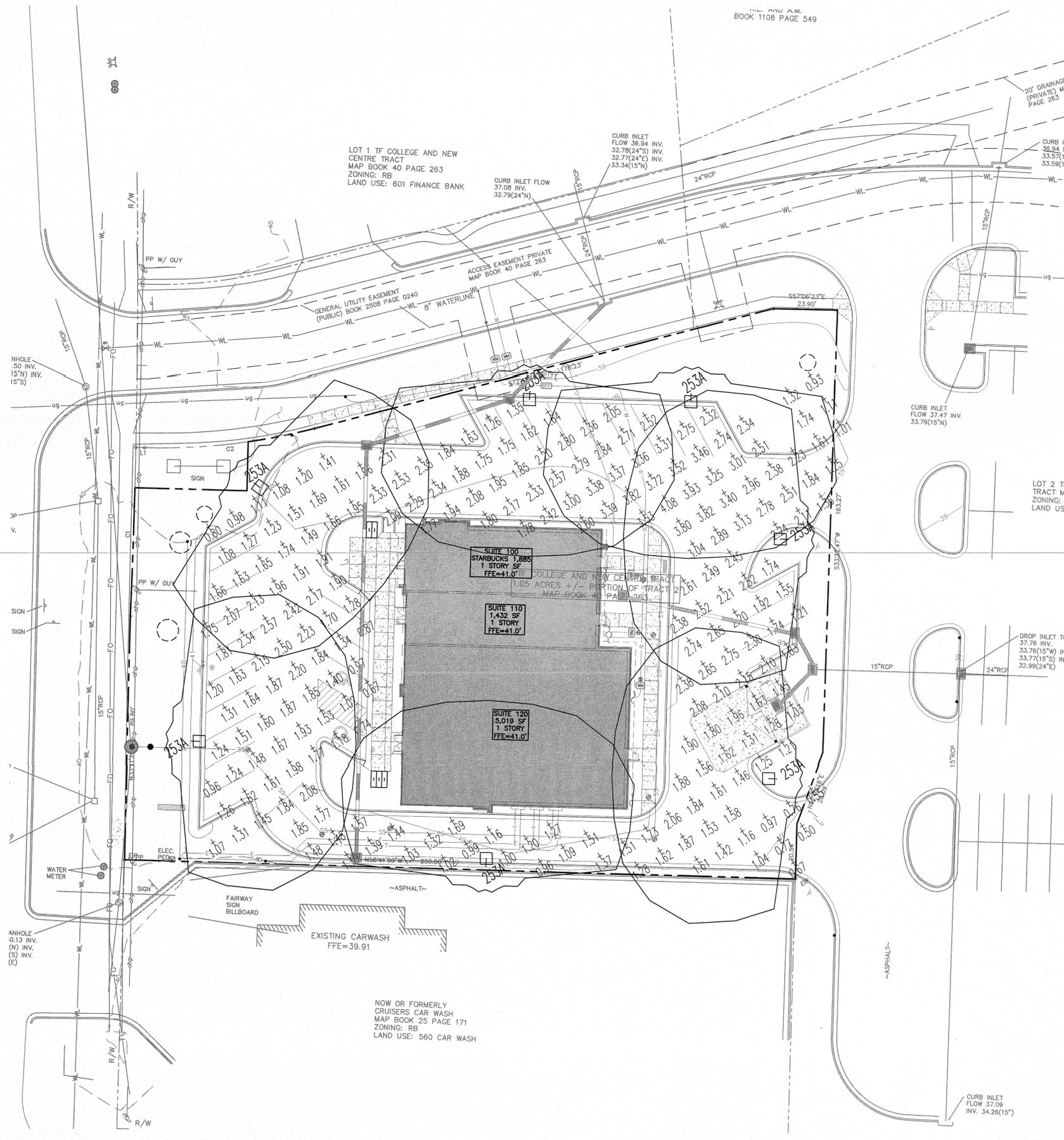
Approved Construction Plan

| Name | Date |
|----------|------|
| Planning | |
| Traffic | |
| Fire | |

City of WILMINGTON NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



SCALE: 1" = 20'
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 NOT FOR CONSTRUCTION



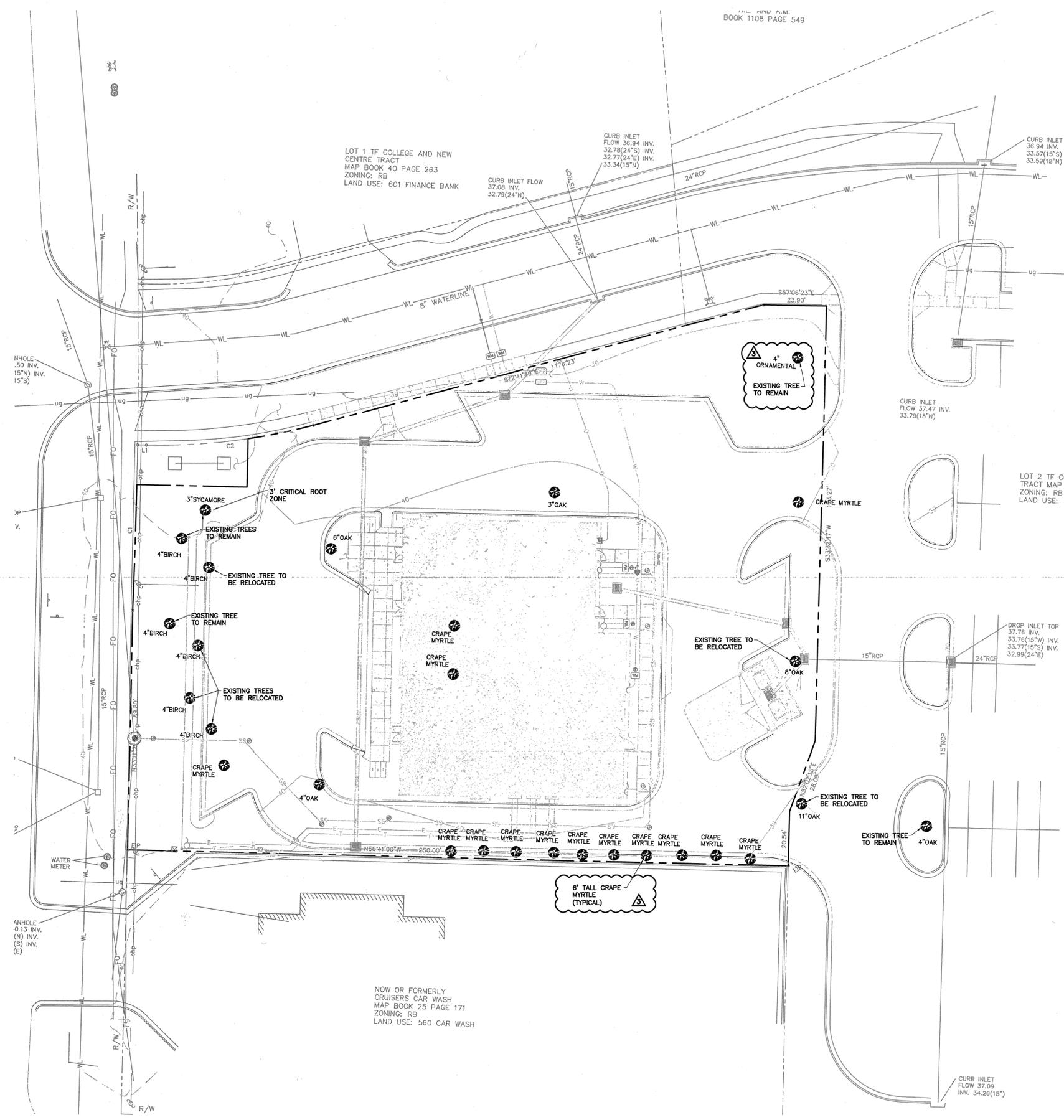
SHOPS AT COLLEGE RD. - WILMINGTON, NC
 LIGHTING PLAN

The Curry Engineering Group, PLLC
 www.curryeng.com
 C-08

REVISIONS

| | | |
|---|----------|--|
| 1 | 12/26/13 | CITY OF WILMINGTON COMMENTS #1 |
| 2 | 02/11/14 | REVISION OF WILMINGTON COMMENTS BEST BUY |
| 3 | 02/11/14 | REVISION OF WILMINGTON COMMENTS BEST BUY |
| 4 | 03/17/14 | CITY OF WILMINGTON REVIEW COMMENTS #3 |

DATE: OCTOBER, 2013
 FILE NO. 2013 - 007
 HORIZ. SCALE: 1" = 20'
 ORIG. SHEET SIZE: 24" x 36"



LOT 1 TF COLLEGE AND NEW CENTRE TRACT
 MAP BOOK 40 PAGE 263
 ZONING: RB
 LAND USE: 601 FINANCE BANK

PL. AND PLM.
 BOOK 1108 PAGE 549

CURB INLET
 FLOW 36.94 INV.
 33.57(15\"/>

CURB INLET FLOW
 37.08 INV.
 32.79(24\"/>

CURB INLET
 FLOW 37.47 INV.
 33.79(15\"/>

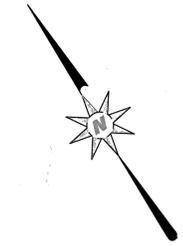
LOT 2 TF CC TRACT
 MAP BOOK 25 PAGE 171
 ZONING: RB
 LAND USE: E

- NOTES:
1. REFER TO LANDSCAPE PLAN FOR LOCATIONS OF ALL RELOCATED TREES.
 2. ALL TREES SHOWN ON THIS PLAN THAT ARE NOT CALLED OUT TO BE RELOCATED OR TO REMAIN SHALL BE REMOVED.
 3. CRITICAL ROOT ZONES RANGE BETWEEN 3'-4' RADIUS AROUND PROTECTED TREES. CONTRACTOR TO INSTALL TREE PROTECTION FENCE IN A 6' RADIUS AROUND ALL PROTECTED TREES AND TREES TO BE RELOCATED.
 4. NO TREE REMOVAL OR RELOCATION MAY TAKE PLACE UNTIL A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE CITY OF WILMINGTON.

Approved Construction Plan

| Name | Date |
|----------|------|
| Planning | |
| Traffic | |
| Fire | |

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



SCALE: 1" = 20'
 0 20 40 50 60

NOT FOR CONSTRUCTION

| REVISIONS | DATE | DESCRIPTION |
|-----------|----------|---|
| 1 | 12/20/13 | CITY OF WILMINGTON COMMENTS #1 |
| 2 | 07/17/14 | REVISE DIMENSION LOCATION PER BEST PRACTICE |
| 3 | 07/17/14 | CITY OF WILMINGTON REVIEW COMMENTS #2 |
| 4 | 07/17/14 | CITY OF WILMINGTON REVIEW COMMENTS #3 |

DATE: OCTOBER 2013
 FILE NO. 2013 - 007
 HORIZ. SCALE: 1" = 20'
 CORR. SHEET SIZE: 24" x 36"

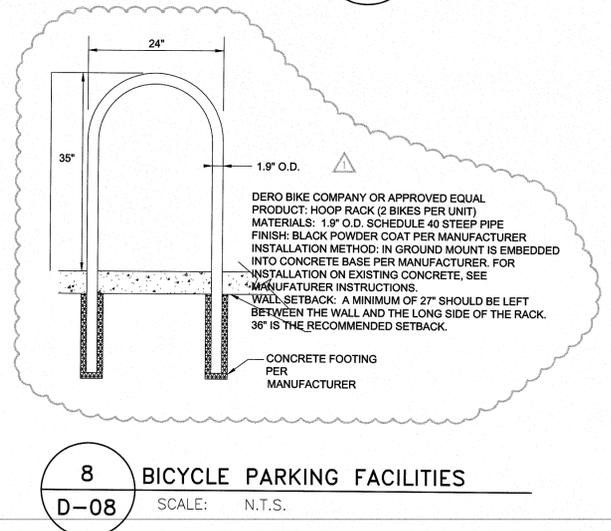
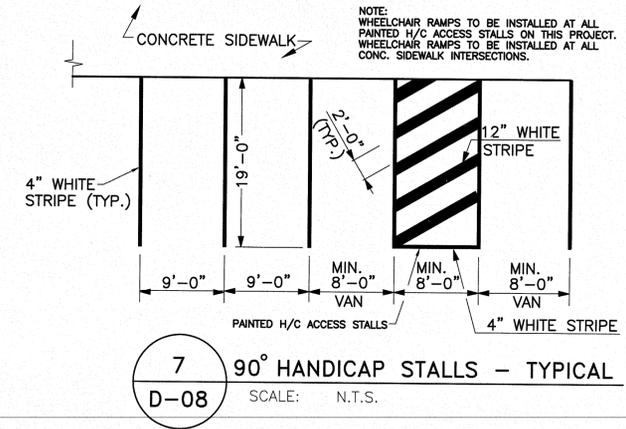
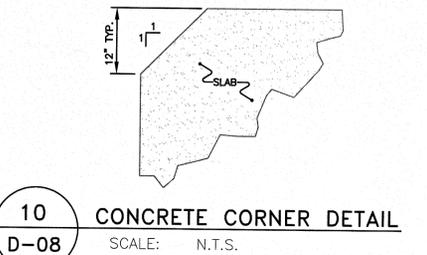
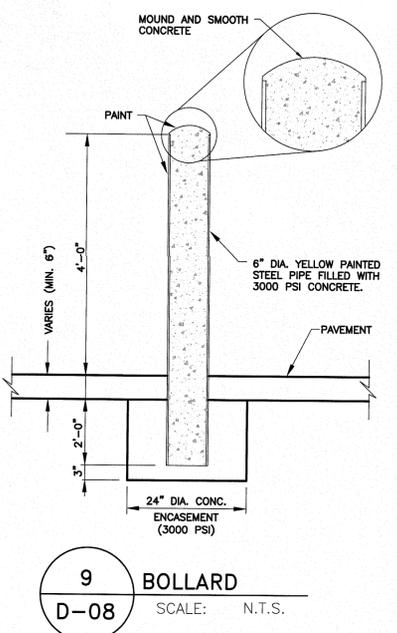
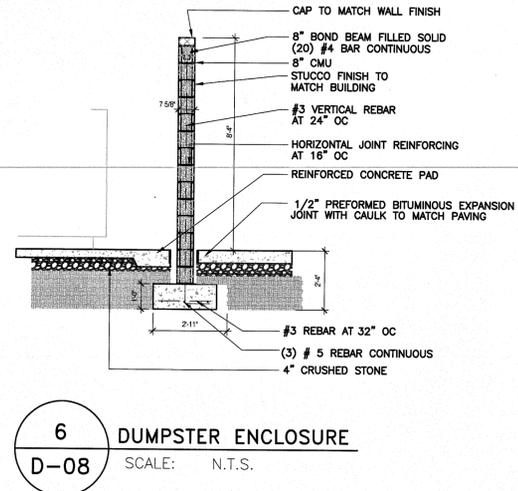
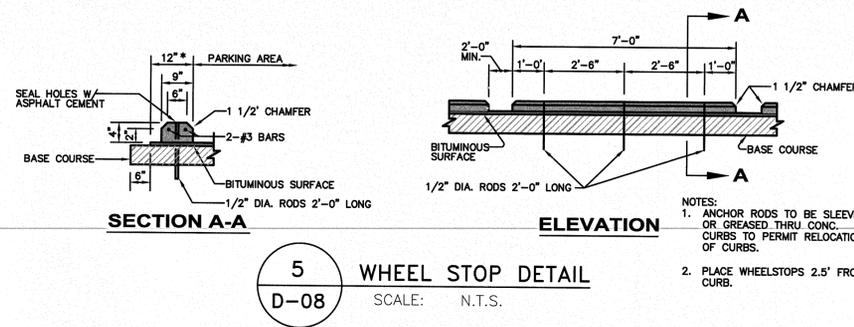
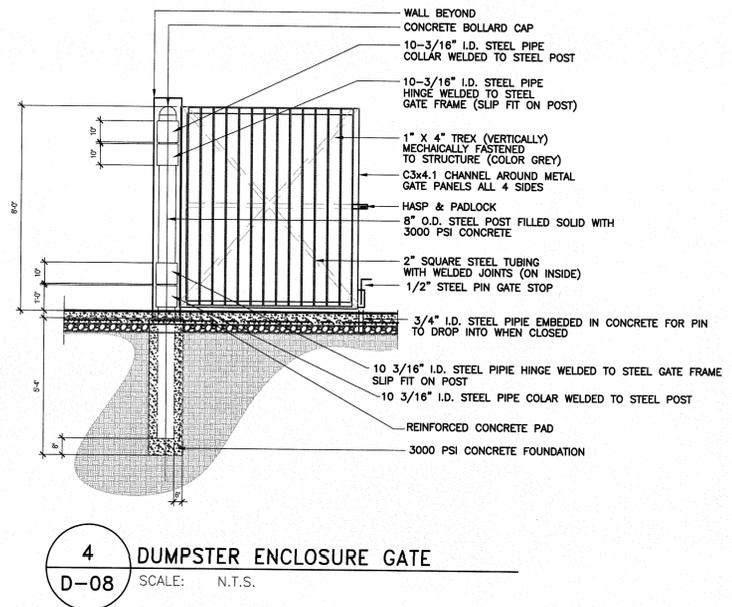
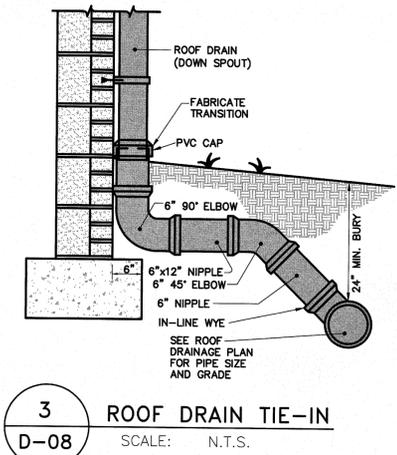
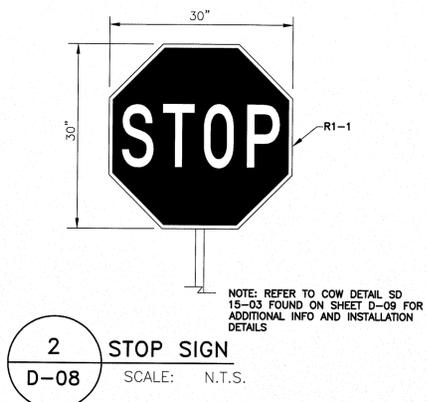
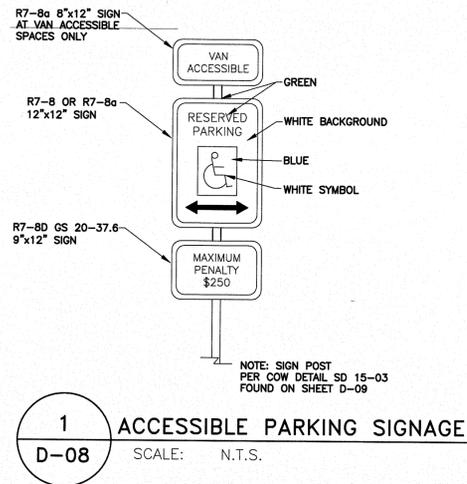
SHOPS AT COLLEGE RD. - WILMINGTON, NC
TREE PRESERVATION PLAN

PO BOX 3018 WYOMING AVE.
 FLOUAY-VARIANA, NC 27526
 PHONE: (919) 552-0819
 MOBILE: (919) 880-8857
 NC LIC. NO. P-4709

The Curry Engineering Group, PLLC
 www.curryeng.com

C-09





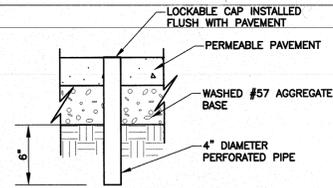
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

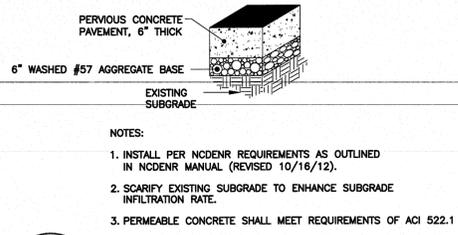


NOT FOR CONSTRUCTION

1 PERMEABLE PAVEMENT OBSERVATION WELL
D-09 SCALE: N.T.S.

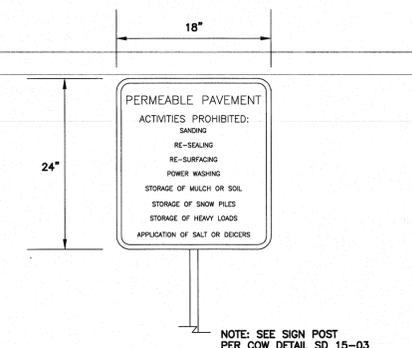


2 PERMEABLE CONCRETE PAVEMENT
D-09 SCALE: N.T.S.

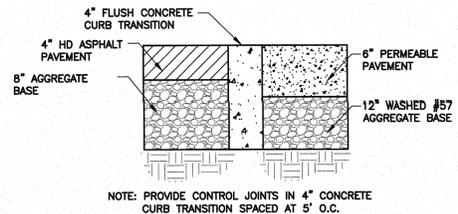


- NOTES:
1. INSTALL PER NCDENR REQUIREMENTS AS OUTLINED IN NCDENR MANUAL (REVISED 10/18/12).
 2. SCARIFY EXISTING SUBGRADE TO ENHANCE SUBGRADE INFILTRATION RATE.
 3. PERMEABLE CONCRETE SHALL MEET REQUIREMENTS OF ACI 522.1

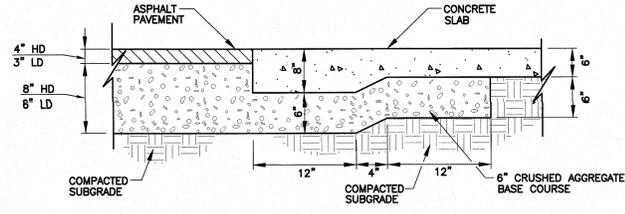
3 PERMEABLE PAVEMENT SIGNAGE
D-09 SCALE: N.T.S.



4 PERM./ASPHALT PAVEMENT INTERFACE
D-09 SCALE: N.T.S.



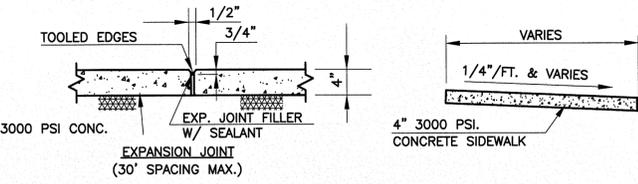
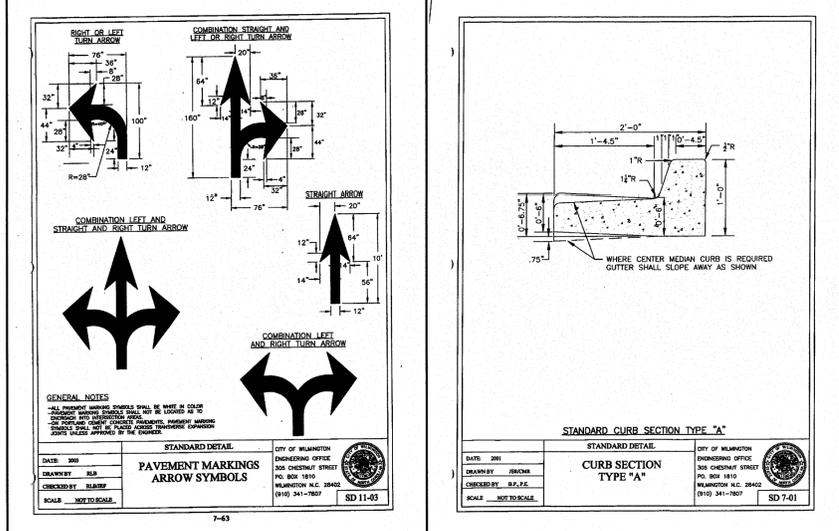
5 CONCRETE/BITUMINOUS PAVEMENT INTERFACE
D-09 SCALE: N.T.S.



PAVEMENT SECTIONS

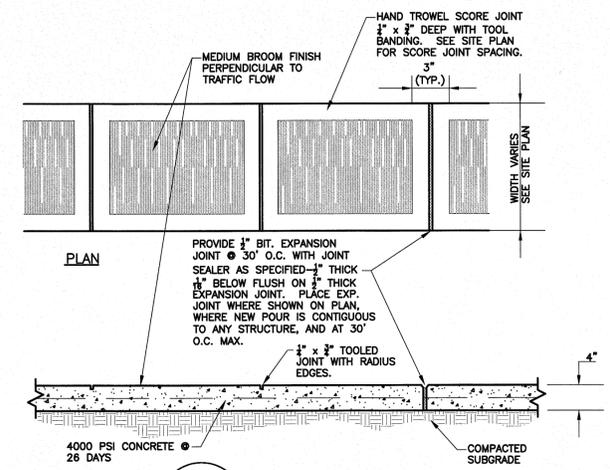
| | |
|--|---|
| <p>HEAVY DUTY FLEXIBLE PAVEMENT NOT TO SCALE</p> | <p>LIGHT DUTY FLEXIBLE PAVEMENT NOT TO SCALE</p> |
| <p>DUMPSTER PAD & LOADING AREA HEAVY DUTY RIGID PAVEMENT NOT TO SCALE</p> | <p>SIDEWALKS & H.C. RAMPS LIGHT DUTY RIGID PAVEMENT NOT TO SCALE</p> |

6 PAVEMENT MARKINGS
D-09 SCALE: N.T.S.

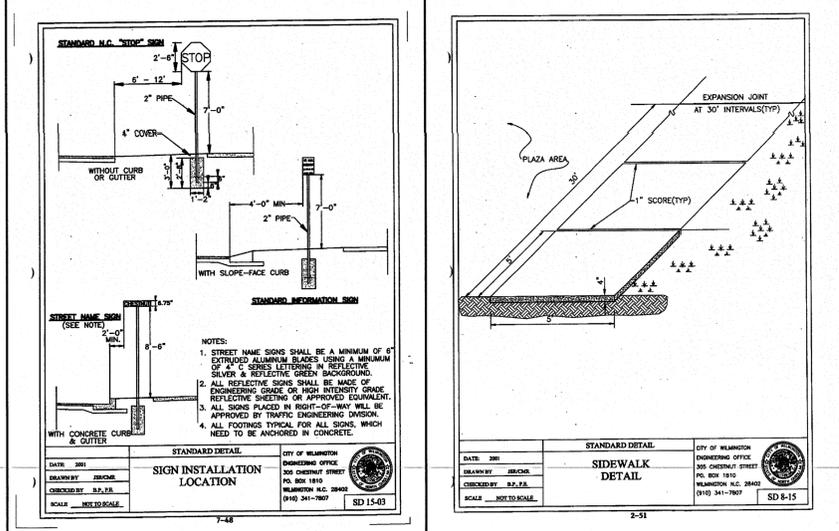


- NOTES:
1. CONCRETE SHALL BE 3,000 P.S.I.
 2. CONTRACTION JOINTS SHALL BE SPACED AT 5' INTERVALS.
 3. FINISH ALL CONCRETE WITH CURING COMPOUND.
 4. INSTALL 1/2" JOINT FILLER AND SEALANT WHERE CONCRETE SIDEWALK ABUTS TO 24" CONC. CURB & GUTTER.

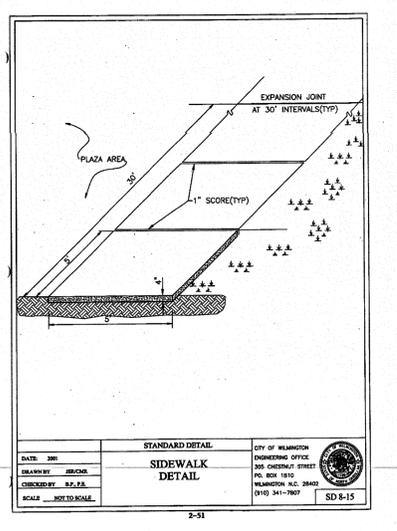
7 CONCRETE SIDEWALK
D-09 SCALE: N.T.S.



8 CONCRETE SIDEWALK - SITE
D-09 SCALE: N.T.S.



7-48 SIGN INSTALLATION LOCATION
D-09 SCALE: N.T.S.



7-51 SIDEWALK DETAIL
D-09 SCALE: N.T.S.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

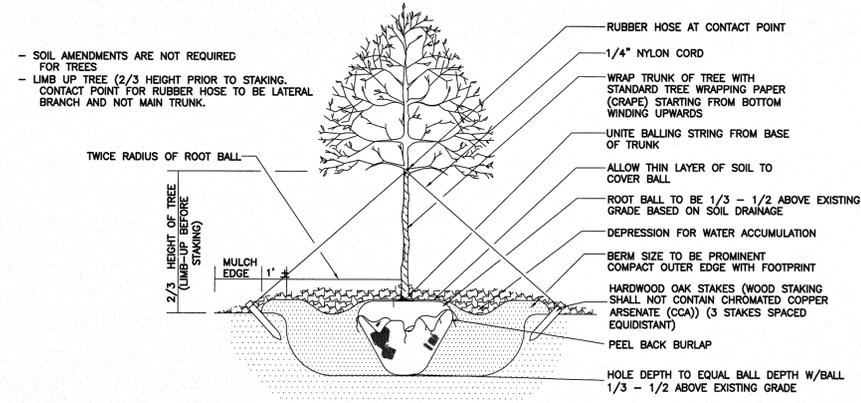


NOT FOR CONSTRUCTION

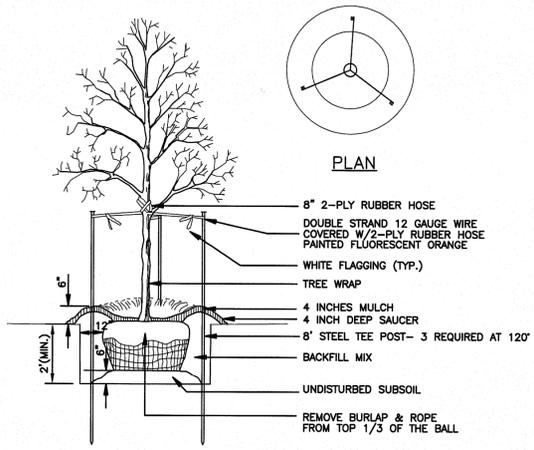
SHOPS AT COLLEGE RD. - WILMINGTON, NC
SITE DETAILS 2

The Curry Engineering Group, PLLC
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PO BOX 2018 • WILMINGTON, NC 28402
PHONE: (910) 552-0849
FAX: (910) 552-0857
NC LIC. NO. P-45799

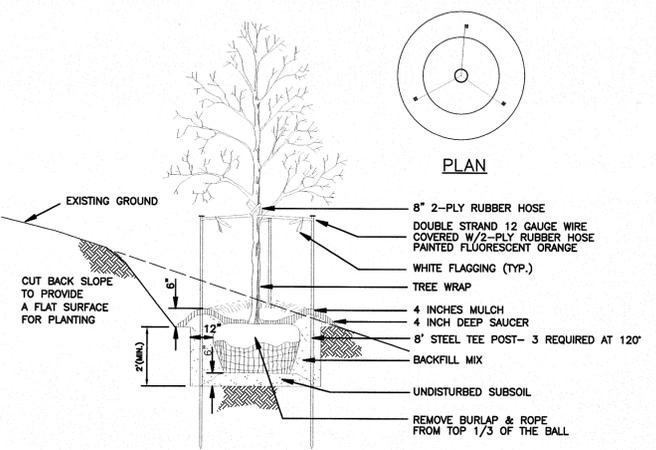
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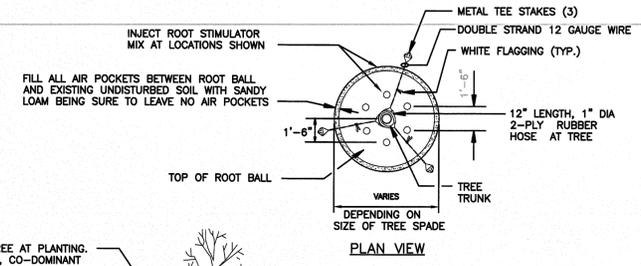
1 TREE STAKING & PLANTING DETAIL
D-10 SCALE: N.T.S.



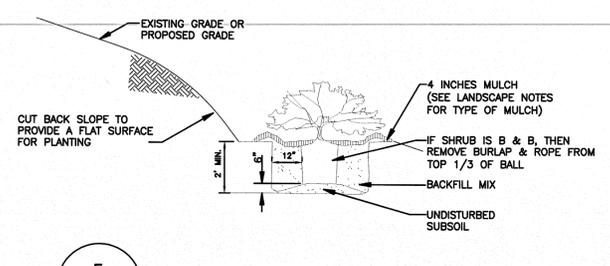
2 TREE PLANTING
D-10 SCALE: N.T.S.



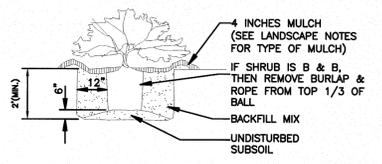
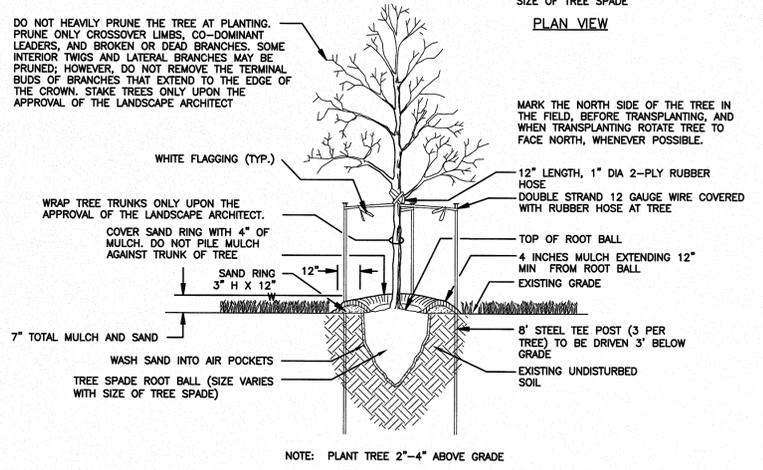
3 TREE PLANTING ON SLOPE
D-10 SCALE: N.T.S.



4 MACHINE DUG TREE PLANTING
D-10 SCALE: N.T.S.



5 SHRUB PLANTING ON SLOPE
D-10 SCALE: N.T.S.



6 SHRUB PLANTING
D-10 SCALE: N.T.S.

- NOTE:**
1. PLANT TREES WITH A MINIMUM CALIPER OF TWO INCHES MEASURED SIX INCHES ABOVE THE GROUND AND A ROOT BALL NO SMALLER THAN TWO FEET IN DIAMETER AND 16 INCHES IN DEPTH.
 2. THE BEST TIMES FOR PLANTING ARE EARLY SPRING AND EARLY FALL. TREES PLANTED IN THE SUMMER RUN THE RISK OF DEHYDRATION.
 3. PLANT ALL TREES AT LEAST THREE-AND-A-HALF FEET FROM THE END OF HEAD-IN PARKING SPACES IN ORDER TO PREVENT DAMAGE FROM CAR OVERHANGS.
 4. DIG THE TREE PIT AT LEAST TWO FOOT WIDER THAN THE ROOT BALL AND AT LEAST SIX INCHES DEEPER THAN THE BALL VERTICAL DIMENSION.
 5. ESPECIALLY IN AREAS WHERE CONSTRUCTION ACTIVITY HAS COMPACTED THE SOIL, THE BOTTOM OF THE PIT SHOULD BE SCARIFIED OR LOOSENED WITH A PICK AX OR SHOVEL.
 6. AFTER THE PIT IS DUG, OBSERVE SUB-SURFACE DRAINAGE CONDITIONS. WHERE POOR DRAINAGE EXISTS, THE TREE PIT SHOULD BE DUG AT LEAST AN ADDITIONAL TWELVE INCHES WIDER AND THE SOIL AMENDED TO ALLOW ROOTS GROW PROPERLY.
 7. BACKFILL SHOULD INCLUDE A PROPER MIX OF SOIL AND FERTILIZER. ALL ROOTS MUST BE COMPLETELY COVERED. BACKFILL SHOULD BE THOROUGHLY WATERED AS IT IS PLACED AROUND THE ROOTS.
 8. IMMEDIATELY AFTER IT IS PLANTED, THE TREE SHOULD BE SUPPORTED WITH STAKES AND STRAPS TO FIRMLY HOLD IT IN PLACE AS ITS ROOT SYSTEM BEGINS TO DEVELOP. REMOVE STAKES AND TIES AFTER ONE YEAR.
 9. SPREAD AT LEAST THREE INCHES OF MULCH OVER THE ENTIRE EXCAVATION IN ORDER TO RETAIN MOISTURE AND KEEP DOWN WEEDS. AN ADDITIONAL THREE-INCH SAUCER AND MULCH SHOULD BE PROVIDED TO FORM A BASIN AROUND THE TRUNK OF THE TREE. THIS SAUCER HELPS CATCH AND RETAIN MOISTURE.
 10. CONSCIENTIOUS POST-PLANTING CARE, ESPECIALLY WATERING, PRUNING AND FERTILIZING, IS A MUST FOR STREET AND PARKING LOT TREES. PRUNE OFF BROKEN OR DAMAGED BRANCHES.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



NOT FOR CONSTRUCTION

REVISIONS

| | | |
|---|----------|---------------------------------------|
| 1 | 12/29/13 | CITY OF WILMINGTON COMMENTS #1 |
| 2 | 02/11/14 | REVISIONS TO PERMIT #1 |
| 3 | 02/11/14 | CITY OF WILMINGTON COMMENTS #2 |
| 4 | 02/13/14 | CITY OF WILMINGTON REVIEW COMMENTS #3 |

DATE: OCTOBER, 2013
FILE NO. 2013 - 007
HORZ. SCALE: 24 x 36

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

The purpose of this project is for grading & fill operations. The project is owned by PHD College, LLC. The site is currently not occupied. Approximately 1.43 acres will be disturbed during construction. The maximum fill will be 2-3 feet.

The project is scheduled to begin construction in Winter 2014 with project completion and final stabilization by Spring 2014. The erosion and sediment control program for this project will include the installation of a suitable construction entrance, silt fence and inlet protection. Approximately 6,400sf of existing asphalt will remain through construction and be overlaid prior to completion.

ADJACENT PROPERTY

Adjacent property owners are noted on the Existing Conditions sheet.

SOILS

The soils at this site are silty sand.

EROSION AND SEDIMENT CONTROL MEASURES

All vegetative and structural erosion and sediment control practices shall be constructed and maintained by the contractor according to these plans and specifications and the minimum standards of the Dept. of Environmental Management, Land Quality Section and New Hanover County. The contractor shall also follow any additional requirements as outlined by the Project Engineer.

STRUCTURAL PRACTICES

- Vehicle wheels shall be clean when leaving the site to prevent the tracking of mud on paved roads.
- Construction Road Stabilization: Construction traffic shall be limited to stabilized areas. At a minimum, a temporary gravel construction entrance shall be provided as shown on this drawing.
- Silt Fence: Silt fences shall be provided where shown and as needed on the site plan. These barriers shall be used to contain sediment.
- Rip Rap/Gravel Filter Sediment Basins: Construct basin to the shape and dimensions shown in the details. The basin is to be placed below the existing ditch flow line by 2' with the berm built above as dimensioned.

VEGETATIVE PRACTICES

Temporary Seeding: All denuded areas shall receive temporary seeding within 14 days of completing initial earthwork. Temporary seeding shall also be used to stabilize finished grade areas if the time of year is outside the specified permanent seeding periods. Temporary seeding shall be in accordance with temporary seeding specifications.

MANAGEMENT STRATEGIES

- Perimeter measures are to be installed prior to grubbing or grading.
- Stockpile and/or waste areas must be maintained within the limits of the areas protected by the proposed measures and otherwise temporarily seeded if to be left stockpiled over 14 calendar days.
- Construction shall be planned so that grading operations can begin and end as quickly as possible.
- Silt Fences and tree protection fence shall also be installed prior to or as a first step in construction.
- The Contractor shall be responsible for the installation and maintenance of all erosion and sediment control practices. Vegetative Ground Cover Immediately following grading, all areas shall receive either permanent or temporary seeding, as applicable, as follows:

| | Feb-May | June-Sept | Oct-Jan |
|-----------------|---------------------------|--------------------------------------|---------------------------|
| Permanent Seed: | K-31 Fescue 5#/1000 SF | K-31 Fescue 5#/1000 SF | K-31 Fescue 5#/1000 SF |
| Temporary Seed: | Winter Rye 50#/Ac | German Millet 40#/Ac | Winter Rye 50#/Ac |
| Fertilizer: | 10-10-10 @ 25#/1000 SF | Mulch: Straw @ 90#/1000 SF | |
| Lime: | 100#/1000 SF | Tack: 200 gallons/Ac on all mulching | |

MAINTENANCE:

- Reseed and mulch bare spots larger than 9 square feet (limited to 5% maximum of site area).
- Maintain all seeded areas until uniform stand is acceptable.
- If growth is not established by final project inspection, continue specified attention until the stand is acceptable.
- Correct and repair all undue settling and erosion within 1 year after final inspection.
- Remove from the site, all erosion control structures after complete stabilization at end of construction period.
- Remove silt from sediment pits and from behind check dams when silt is within half depth of the pit or spillway. Dispose of in an area where silt cannot re-enter pit/trap.

CALCULATIONS:

The practice utilized for the proposed site did not require formal calculations.

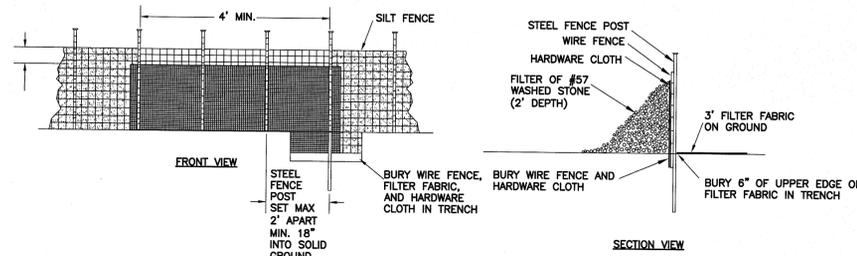
OWNER: PHD College, LLC, 3930 Max Pl. Boynton Beach, FL 33436

Erosion Control Notes:

- Obtain erosion control plan approval prior to beginning land disturbance. Retain a copy of the approved erosion control plan and permit on site.
- A preconstruction meeting is required with New Hanover County Engineering prior to any activity onsite. Schedule meeting with Beth Wetherill at 919-798-7139.
- Construct the construction entrance as shown on the plan. Maintain the construction entrance daily to ensure that mud and silt will not be tracked onto the paved surface. If mud is tracked onto the road surface, it is to be removed immediately.
- Construction entrance location may not vary without prior approval from Engineer and City of Wilmington.
- Clear the area needed to construct the perimeter erosion control measures including silt fence, and silt fence outlets. Erosion control measures downstream of all pipes shall remain in-place until permanent measures are stabilized.
- Install silt fence and silt fence outlets.
- Begin clearing, grubbing, and topsoil stripping for building pad and surrounding improvements.
- Rough grade the site.
- Construct sanitary sewer system throughout project. Do not excavate more than can be installed in that day's work. Seed, mulch, and tack disturbed areas after each day's work.
- Construct the storm sewer system throughout the project. Install inlet protection devices.
- Seed, straw and tack areas behind the curb and gutter that are graded to their final disposition.
- Contact City of Wilmington Erosion Control for inspection prior to removal of erosion control measures.
- Upon stabilization of seeded areas and approval from City of Wilmington, remove silt fence and silt fence outlets.
- Seed, straw and tack any remaining exposed areas.

MAINTENANCE NOTES:

- DO NOT LET ANY AREA REMAINED EXPOSED FOR MORE THAN 14 CALENDAR DAYS WITHOUT APPLYING TEMPORARY SEEDING.
- MAINTAIN ALL EROSION CONTROL MEASURES DAILY AND RESEED DISTURBED AREAS AS NEEDED.
- INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL EVENT. REPAIR AS NEEDED.
- AT THE END OF EACH DAY'S STORM DRAINAGE OPERATION, CONSTRUCT A TEMPORARY PIPE INLET PROTECTION DEVICE UNTIL THE NEXT DAY'S OPERATION CONTINUES.



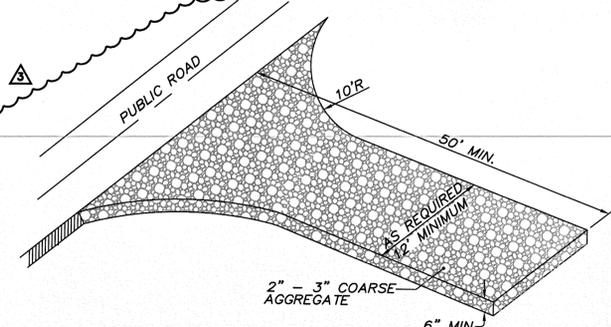
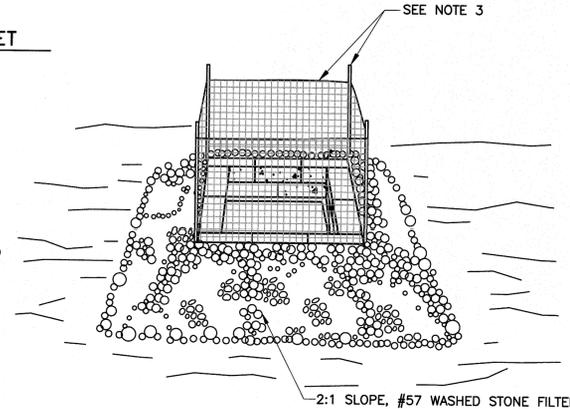
- NOTES:
- REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
 - REPLACE STONE AS NEEDED TO ENSURE DEWATERING.



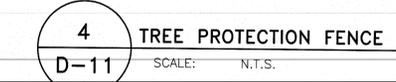
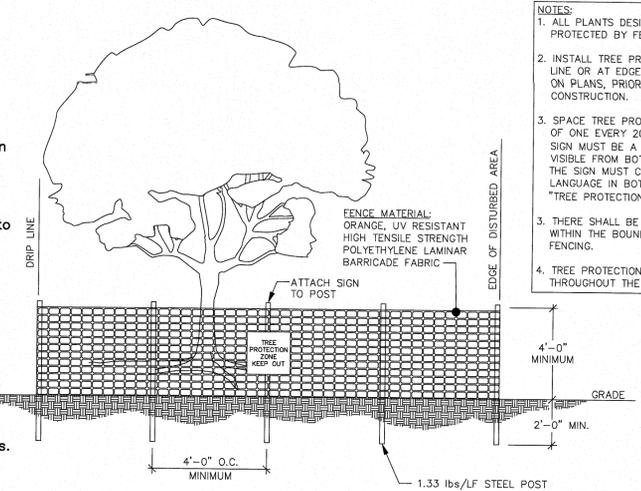
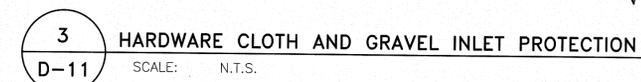
CONSTRUCTION SPECIFICATIONS

- CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENING OVER ALL BLOCK OPENING TO HOLD GRAVEL IN PLACE.
- USE WASHED STONE PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE.
- INSTALL 1/4 IN. WIRE MESH HARDWARE CLOTH, AND METAL POSTS THAT ARE 5 FT. TALL. PLACE THE WIRE MESH A MINIMUM OF 3 FT. HIGH, (2' IN GROUND, 3' ABOVE) AND THE STONE 16\"/>
- BEFORE COMMENCING CLEARING & GRUBBING OPERATIONS, THE CONTRACTOR SHALL FIELD LOCATE ALL EX. INLETS WITHIN THE OPERATIONS AREA AND INSTALL INLET PROTECTION.

(REFERENCE: EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, 6.51)



- GENERAL NOTES:
- INSTALL CONSTRUCTION ENTRANCE OVER EXISTING ASPHALT TAKING CARE TO AVOID DAMAGE AS EXISTING ASPHALT IS TO BE OVERLAYED PRIOR TO PROJECT COMPLETION.
 - INSTALL A 1' LAYER OF SOIL OVER EXISTING ASPHALT.
 - INSTALL A GEOTEXTILE LINER OVER NEWLY PLACED SOIL.
 - PLACE THE GRAVEL OVER THE GEOTEXTILE LINER TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
 - PROVIDE DRAINAGE TO CARRY WATER TO A SUITABLE OUTLET.
 - MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING W/2 INCH STONE.



| Site Area Description | Stabilization | Timeframe Exceptions |
|--|---------------|--|
| Perimeter dikes, swales, ditches and slopes | 7 days | None |
| High Quality Water (HQW) Zones | 7 days | None |
| Slopes steeper than 3:1 | 7 days | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. |
| Slopes 3:1 or flatter | 14 days | 7 days for slopes greater than 50' in length |
| All other areas with slopes flatter than 4:1 | 14 days | None, except for perimeters and HQW Zones |

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

City of Wilmington North Carolina

Public Services + Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

03/13/14

NOT FOR CONSTRUCTION

EROSION CONTROL DETAILS

SHOPS AT COLLEGE RD. - WILMINGTON, NC

The Curry Engineering Group, PLLC

www.curryeng.com

12/29/13
12/29/13
03/13/14
03/13/14

REVISIONS
CITY OF WILMINGTON COMMENTS #1
REVISION DUMPSTER LOCATION PER BEST PRACTICE
CITY OF WILMINGTON COMMENTS #2
CITY OF WILMINGTON COMMENTS #3

DATE: OCTOBER, 2013
HORZ. SCALE:
FILE NO. 2013 - 007
ORIG. SHEET SIZE: 24 x 36

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27526
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N.C. LIC. NO. P-0799