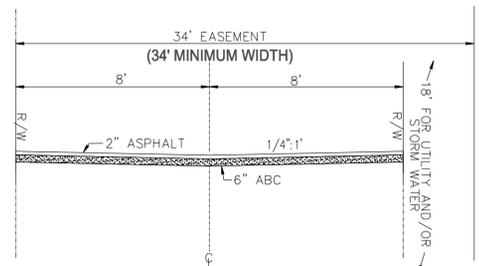


RESIDENTIAL DRIVEWAY STREETS WITH NO CURB  
SD 8-05  
NOT TO SCALE

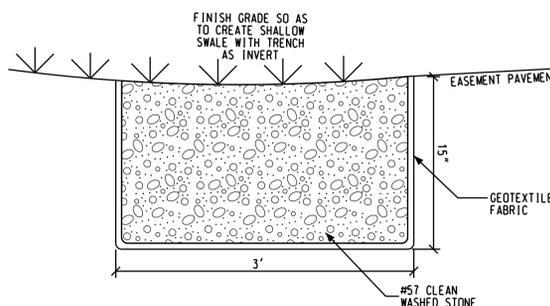


PRIVATE ACCESS EASEMENT  
SEE NOTES

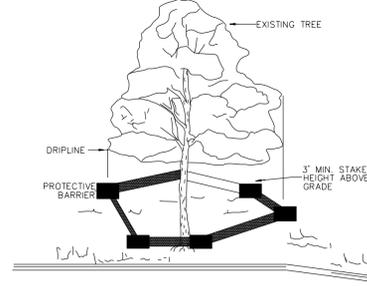
ALLEY NOTES:  
1. NOT TO CONTAIN WATER AND SEWER UTILITY LINES

PRIVATE ACCESS EASEMENT NOTES:  
1. 400' MAXIMUM LENGTH TO FURTHEST UNIT FROM PUBLIC STREET.  
2. SERVES A MAXIMUM OF 4 SINGLE FAMILY OR DUPLEX UNITS.  
3. 23' WIDTH REQUIRED AT STREET INTERSECTION.

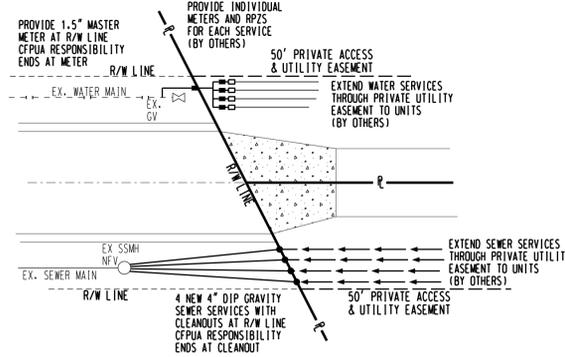
PRIVATE ACCESS ROAD SHALL BE SUPERELEVATED TO DRAIN TOWARD INFILTRATION TRENCHES



Infiltration Trench Detail



TREE PROTECTION  
NTS



UTILITY SERVICE DETAIL  
1" = 20'

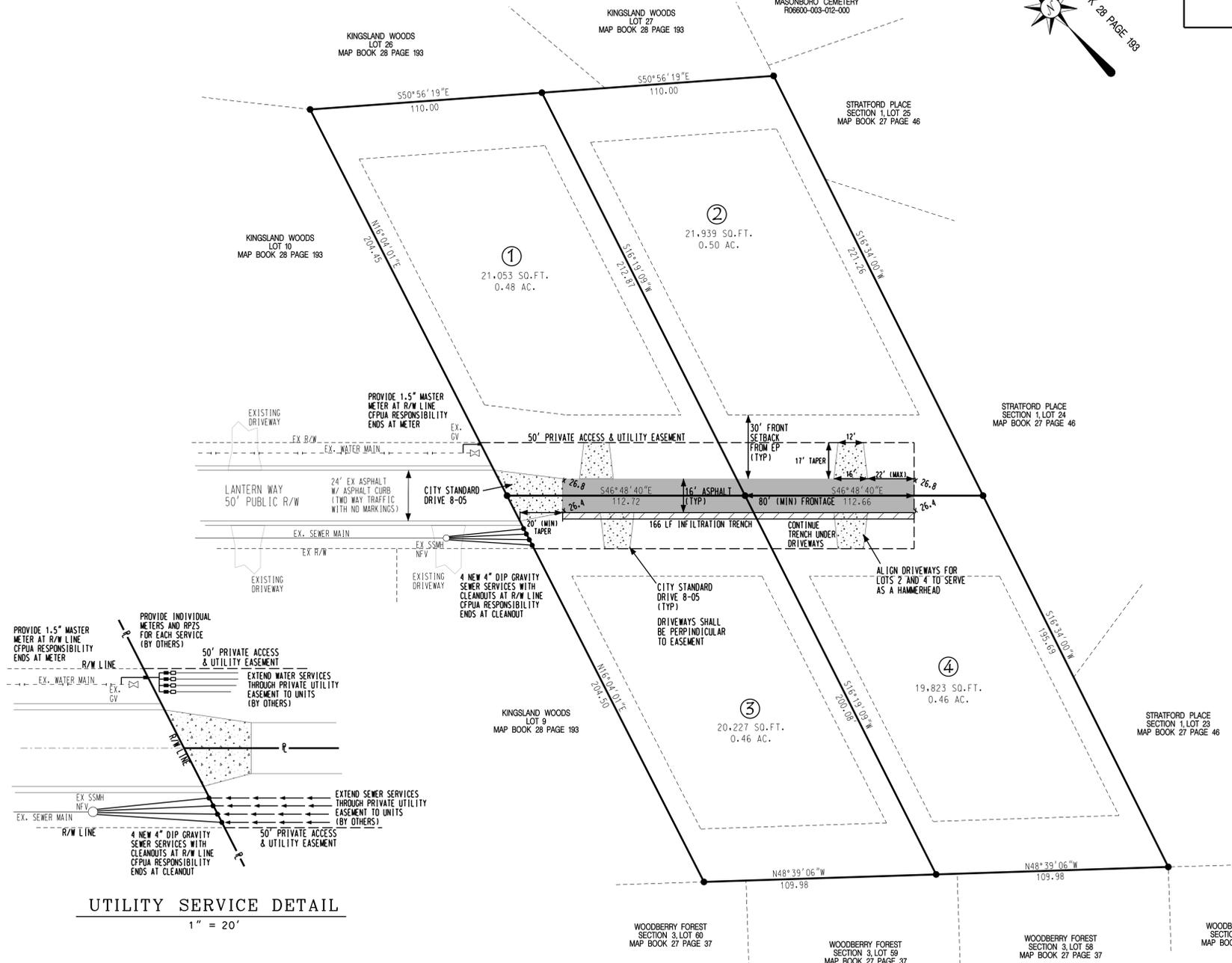
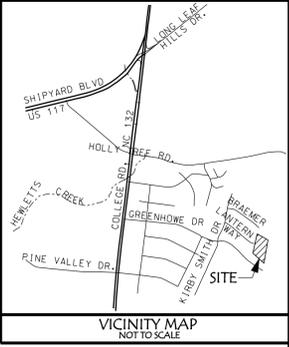
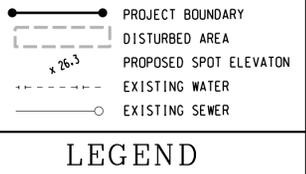
Utility Notes:

- Water and sanitary sewer services can be extended to the site from existing, adjacent public mains. NO ADDITIONAL HYDRANTS ARE PROPOSED.
- All utility services such as electric power, CATV, gas & telephone shall be installed underground.
- Project shall comply with CFPWA Cross Connection Control requirements. Water meters cannot be released until all requirements are met and NCDENR has issued their "Final Approval."
- If contractor desires CFPWA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Water and sewer services are to be marked with No. 10 insulated copper wire installed and strapped to the pipes with duct tape. The insulated wire is to be stripped to bare wire and secured to oil valves and fittings. This wire is to be accessible in all valve and meter boxes to aid in future location of facilities.
- The contractor is responsible for the location and protection of existing utilities during construction. Call U-LOCO at 1-800-632-4949.
- Contractor is responsible for the repair and replacement of any utilities, curb & gutter, pavement, etc. that may be damaged during construction. Damaged items shall be repaired to at least the quality or workmanship found in the original item.
- CITY OF WILMINGTON WILL NOT PROVIDE SOLID WASTE COLLECTION SERVICES ON A PRIVATE EASEMENT. EITHER TRASH CARTS SHALL BE PLACED AT LANTERN WAY OR PRIVATE SOLIDS WASTE COLLECTION SERVICES SHALL BE OBTAINED.
- Estimated Water & Sewer Capacity Request:  
4 X 3-BR units @ 120 GPD per BR = 1440 GPD Sewer  
4 Units @ 400 GPD per Unit = 1600 GPD Water

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN  
**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_



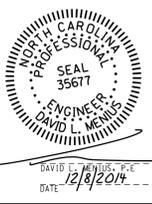
- TRAFFIC NOTES:
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 2'-6" TO 10'-0" ABOVE GRADE.
  - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT PRIOR TO THE RECORDING OF THE FINAL PLAN.
  - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE R/W.
  - CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
  - ALL PAVEMENT MARKINGS IN PUBLIC R/W AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT GUIDELINES.
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES RESURFACING OF THE ENTIRE AREA MAY BE REQUIRED. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS.
  - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.
  - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL.
  - ANY BROKEN OR MISSING DRIVEWAY PANELS, SIDEWALK PANELS OR CURBING SHALL BE REPLACED.
  - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
  - DRIVEWAYS SHALL BE CITY STANDARD RAMP-TYPE WITH CURB RETURNS 6.5' (MIN) FROM PROPERTY LINES.
  - LOT BUYERS SHALL RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.
  - ALL EXISTING DRIVEWAY STREET SIGNS, AND PAVEMENT MARKINGS WITHIN 100' OF THE PROJECT ARE SHOWN.

- Grading & Stormwater Management Notes:
- No land disturbance is permitted on areas outside of the necessary grading limits for site improvements other than the minimum to tie back into the existing contours.
  - Protective fencing is to be maintained throughout the duration of the project. Land clearing & construction contractors shall receive adequate instruction on tree protection requirements and methods. No equipment is allowed on the site until all tree protection fencing and silt fencing has been installed.
  - Runoff from Private Access Drive to be cross-sloped into infiltration trench.
  - Maximum allowable BUA is 20,760 SF (25% of tract area). Total common pavement surfaces = 3625 SF. BUA allocation per lot = 4000 SF. Declarant reserve = 1135 SF.

- Site Inventory Notes:
- Soils Types: Ur-Urban
  - This property is not impacted by any AEC.
  - There are no Conservation Overlay boundaries affecting this property.
  - This site is not impacted by any recognized historic or archeological significance.
  - There is no evidence of cemeteries on this site.
  - There is no evidence of jurisdictional wetlands on this site.
  - There is no evidence of endangered species or habitats on the site.
  - This property is not within any flood hazard area as evidenced by N.C. Flood Map 3720313600J.
  - Map Dated: April 3, 2006.
  - The site drainage flows into Hewlett's Creek watershed. The site is outside of 1/2 mile SA watershed setback.

- Fire & Life Safety Notes:
- Construction type- 5B
  - Contractor shall maintain an all weather access for emergency vehicles at all times during construction.
  - Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles.

- General Notes:
- New Hanover County Parcel No.: R06600-003-015-001
  - Project address is: 3133 LANTERN WAY
  - Total Tract Area: 471,306 ac (83.042 s.f.)
  - Zoning District: R-15  
Setbacks- 30' Front  
10' Interior Side  
25' Rear  
15' Corner
  - Cema Land Classification: Watershed Resource Protection
  - All development shall be in accordance with the City of Wilmington Land Development Code.



PRELIMINARY PLAN  
**DIVISION OF IVORY TRACT**  
A MINOR SUBDIVISION  
WILMINGTON TOWNSHIP NORTH CAROLINA

OWNER: KIRK ANDREWS  
ADDRESS: 3129 BRAEMAR LANE WILMINGTON, NC 28409

DESIGNED: JHF  
DRAWN: GAG  
APPROVED: JHF  
DATE: 11/4/2013  
SCALE: 1" = 30'  
SHEET 1 OF 1

STROUD ENGINEERING, P.A.  
102-D CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA  
(910) 815-0775 (910) 815-0593 FAX