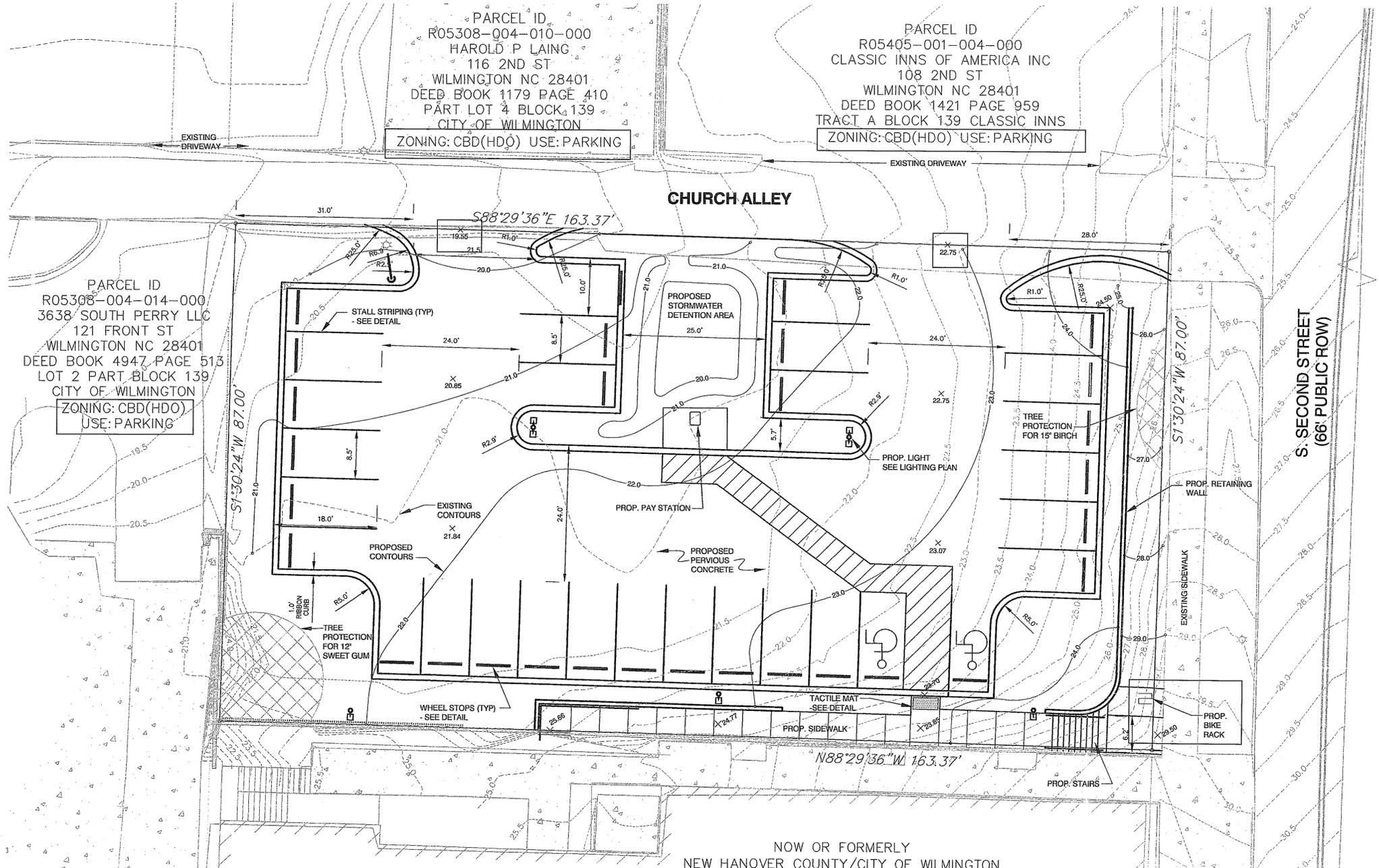


John Sawyer Architects

124 Market Street
Wilmington, NC 28401
p: 910.762.0882
e: info@johnsawyerarchitects.com



SageDesign



- SITE INFORMATION:**
- ADDRESS: 118 S. 2ND ST.
 - PARCEL ID: R05308-004-015-000
 - DEED BOOK 5431 PAGE 2050
 - ZONING: CBD (HDO)
 - BUILDING SETBACK: N/A
 - LOT AREA: 14,213 SF
 - IMPERVIOUS:
 - EXISTING PARKING AREA APPROX. 8,518 SF GRAVEL
 - PROPOSED PARKING AREA APPROX. 8,700 SF PERV. CONC.
 - PROPOSED IMPERVIOUS APPROX. 1,289 SF CONCRETE
 - CAMA LAND USE: URBAN
 - SURVEY PROVIDED BY CITY OF WILMINGTON AND VERTICAL DATAM IS NAVD 1988
 - PROPERTY DOES NOT LIE WITHIN A FEMA DESIGNATED 100 YEAR FLOOD HAZARD AREA

- PARKING NOTES:**
- 30 PARKING SPACES
 - 2 HANDICAP SPACES REQUIRED
 - 2 HANDICAP SPACES PROVIDED
 - PARKING STALLS 8.5' X 18'
 - HC PARKING STALLS 8.0' X 18'
 - TWO WAY DRIVE ISLES 24'
 - 1' CONCRETE RIBBON CURB
 - PERVIOUS CONCRETE PAVING
 - BICYCLE PARKING - 5 PROVIDED
 - EXISTING DRIVEWAY TO BE RECONFIGURED AS SHOWN
 - STREET INTERSECTIONS WITHIN 500':
 - DOCK ST / S. SECOND ST
 - DOCK ST / S. FRONT ST
 - ORANGE ST / S. SECOND ST
 - ORANGE ST / S. FRONT ST

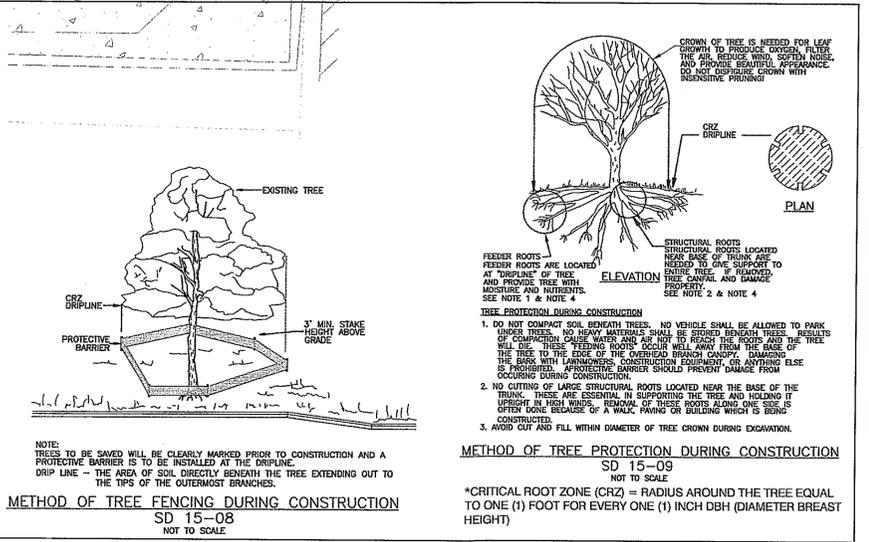
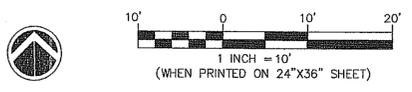
- DRAINAGE NOTES:**
- PARKING SURFACE TO BE PERVIOUS CONCRETE
 - ALL DRAINAGE TO SHEET FLOW TO DEPRESSED AREA
 - APPROX. DISTURBANCE 14,213 SF

For each open utility cut of city streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NOW OR FORMERLY
NEW HANOVER COUNTY/CITY OF WILMINGTON
COMMUNITY ARTS CENTER
DEED BOOK 355 PAGE 122
PART LOTS 6 & 6 1/2
BLOCK 139 WILMINGTON
R05405-001-001-000
ZONING: CBD(HDO) USE: CULTURAL EXHIBITION

- SITE SPECIFIC NOTES:**
- THERE ARE NO KNOWN OR PROPOSED EASEMENTS OR RESTRICTIONS ON THE PROPERTY.
 - THERE ARE NO KNOWN DRAINAGE PROBLEMS.
 - ALL WORK WILL BE COMPLETED IN ACCORDANCE WITH COA MJW-14-16, GRANTED BY THE HISTORIC PRESERVATION COMMISSION DATED OCTOBER 24, 2013 AND EXPIRING APRIL 25, 2014. Extended to October 25, 2014
 - ALL FEDERAL, STATE AND LOCAL PERMITS ARE REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE.

GENERAL UTILITY NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FROM THE UTILITY COMPANY AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE BROUGHT TO THE OWNERS AND ENGINEERS ATTENTION IMMEDIATELY.



Construction Drawing
January 13, 2014

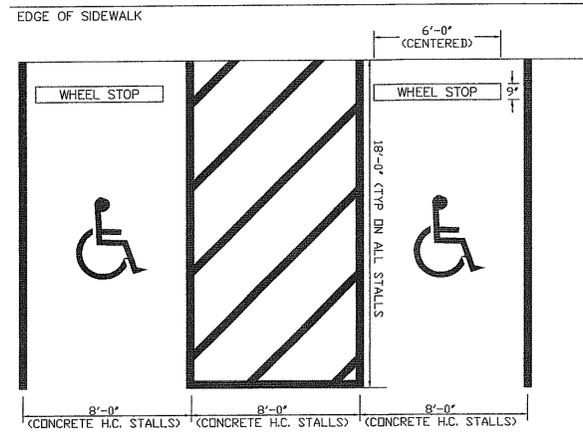
- Revisions:
- 1- Revisions per TRC review
 - 2- Revised driveway entrance to accommodate power pole

WILMINGTON
SOUTH CAROLINA
Public Services/Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit #: _____
Signed: _____

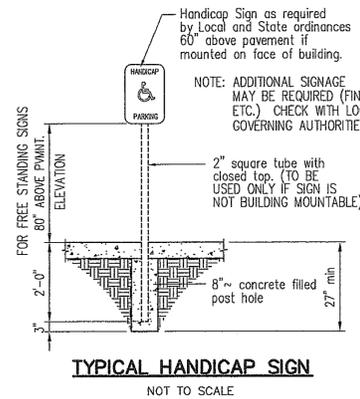
WILMINGTON
SOUTH CAROLINA
Approved Construction Plan
Name: _____
Date: _____
Traffic: _____
Fire: _____

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of 3 Sheets

NOTE:
ALL STRIPING TO BE PER CITY OF WILMINGTON SPECIFICATION

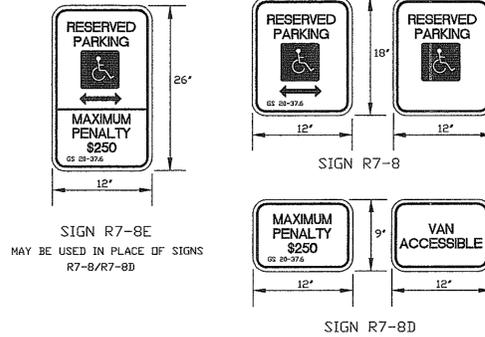


VAN ACCESS AND PARKING STALL DETAIL
NOT TO SCALE

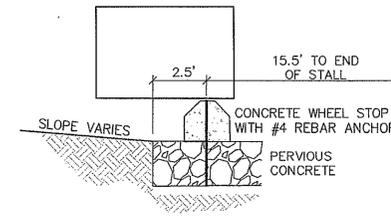


TYPICAL HANDICAP SIGN
NOT TO SCALE

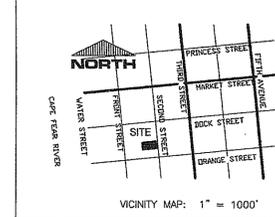
NOTE:
ALL SIGNAGE AND PAVEMENT MARKINGS MUST COMPLY WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)



HANDICAPPED SIGN DETAIL
NOT TO SCALE



CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



John Sawyer Architects
124 Market Street
Wilmington, NC 28401
P: 910.762.0892
E: info@johnsawyerarchitects.com

Coastal Land Design PLLC
Civil Engineering / Landscape Architecture
Land Planning / Geotechnical Engineering
NCCELS Firm License No. P-9509
11000A-117P
Wilmington, NC 28402 www.cldg.com Phone 910-346-9522 Fax 910-346-9523

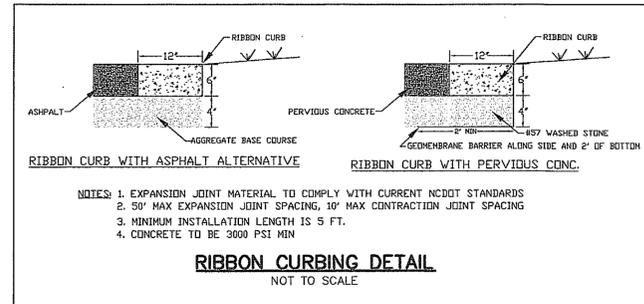
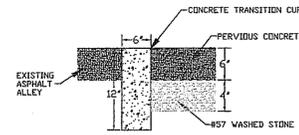
SageDesign

NOTES:

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAVEL ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROW WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
- CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHT OPTIONS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
- 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
- CONCRETE TO BE 3000 PSI MIN

TRANSITION CURB DETAIL: EXISTING ALLEY TO PERVIOUS CONCRETE
NOT TO SCALE



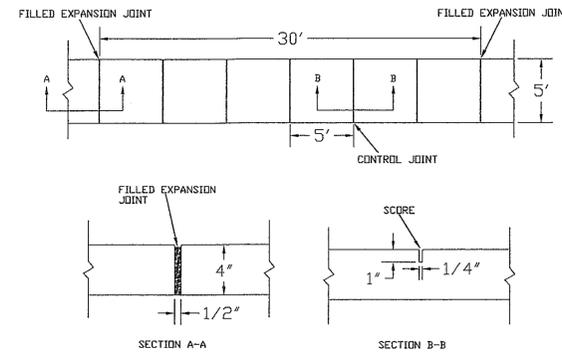
- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
- 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
- MINIMUM INSTALLATION LENGTH IS 5 FT.
- CONCRETE TO BE 3000 PSI MIN

RIBBON CURBING DETAIL
NOT TO SCALE



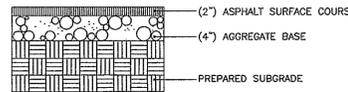
- PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 32 SPECIFICATIONS.
- GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 12MIL OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS. TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.
- DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50° F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40° F AND RISING.

CITY OF WILMINGTON PAVEMENT MARKING DETAIL SD 11-01
NOT TO SCALE

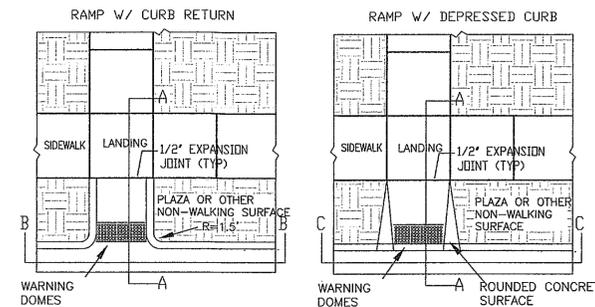


- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
- MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
- CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
- MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
- 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
- MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
- MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
- MIN GRADE FOR PROPER DRAINAGE IS 1/2" IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

CITY OF WILMINGTON SIDEWALK DETAIL SD 3-10
NOT TO SCALE

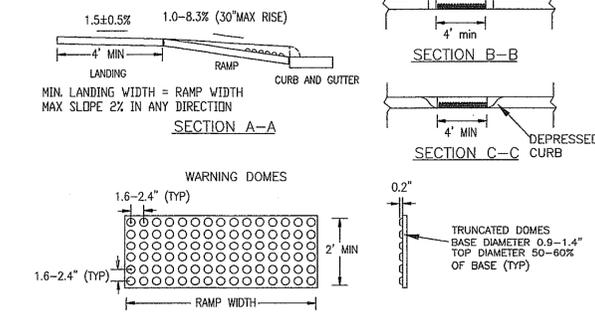


ALTERNATIVE PAVEMENT DESIGN - ASPHALT CROSS SECTION
NOT TO SCALE



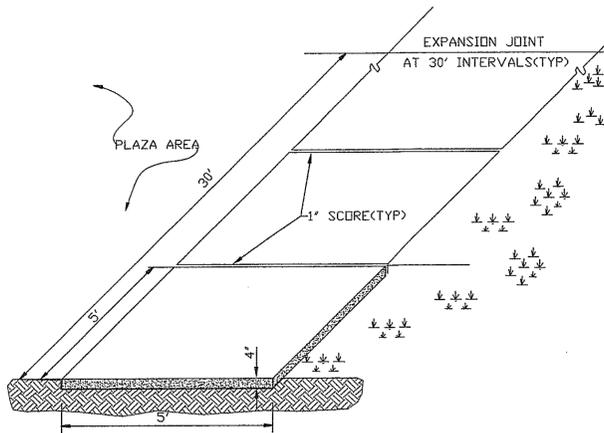
PERVIOUS CONCRETE PARKING CROSS SECTION
NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



- USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
- USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
- RUBBER MATS ARE PERMITTED FOR RETROFITS.
- LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

CITY OF WILMINGTON TACTILE WARNING MAT DETAIL SD 3-8
NOT TO SCALE



CITY OF WILMINGTON SIDEWALK DETAIL SD 8-15
NOT TO SCALE

CITY OF WILMINGTON
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

CITY OF WILMINGTON
Approved Construction Plan
Name _____
Date _____
Planning _____
Traffic _____
Fire _____

City of Wilmington

2nd Street & Church Alley
Parking Lot

Construction Drawing
January 13, 2014

- Revisions:
- Revisions per TRC review
 - Revise curbing details, add transition curb detail, clarify asphalt detail as alternative, 3/13/14

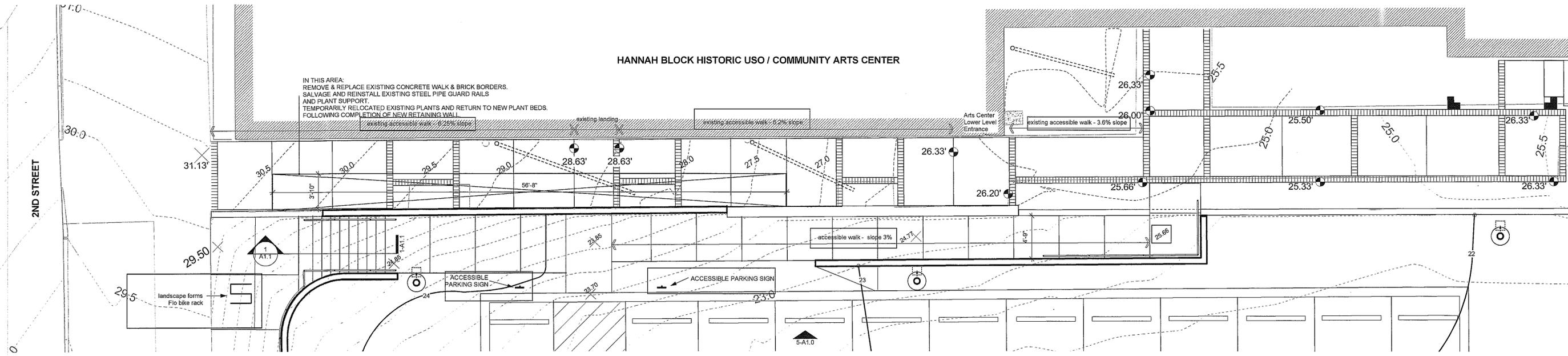
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of 3 Sheets

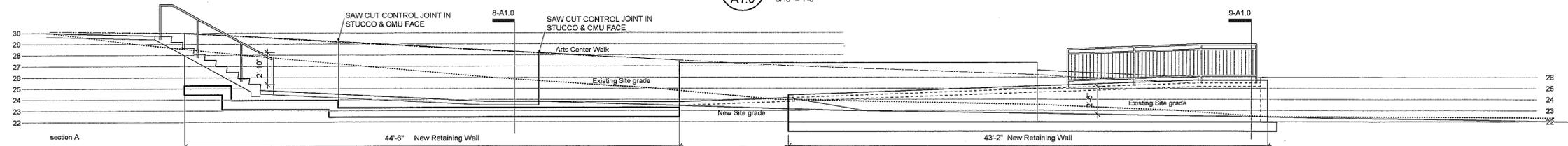


HANNAH BLOCK HISTORIC USO / COMMUNITY ARTS CENTER

IN THIS AREA:
REMOVE & REPLACE EXISTING CONCRETE WALK & BRICK BORDERS.
SALVAGE AND REINSTALL EXISTING STEEL PIPE GUARD RAILS
AND PLANT SUPPORT.
TEMPORARILY RELOCATED EXISTING PLANTS AND RETURN TO NEW PLANT BEDS.
FOLLOWING COMPLETION OF NEW RETAINING WALL.



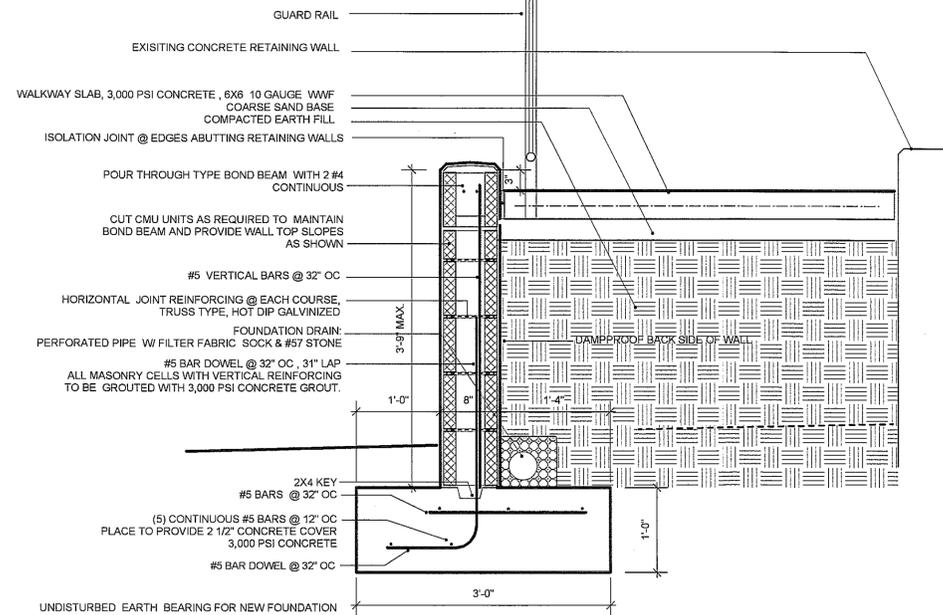
2 Walkway Plan
A1.0 3/16" = 1'-0"



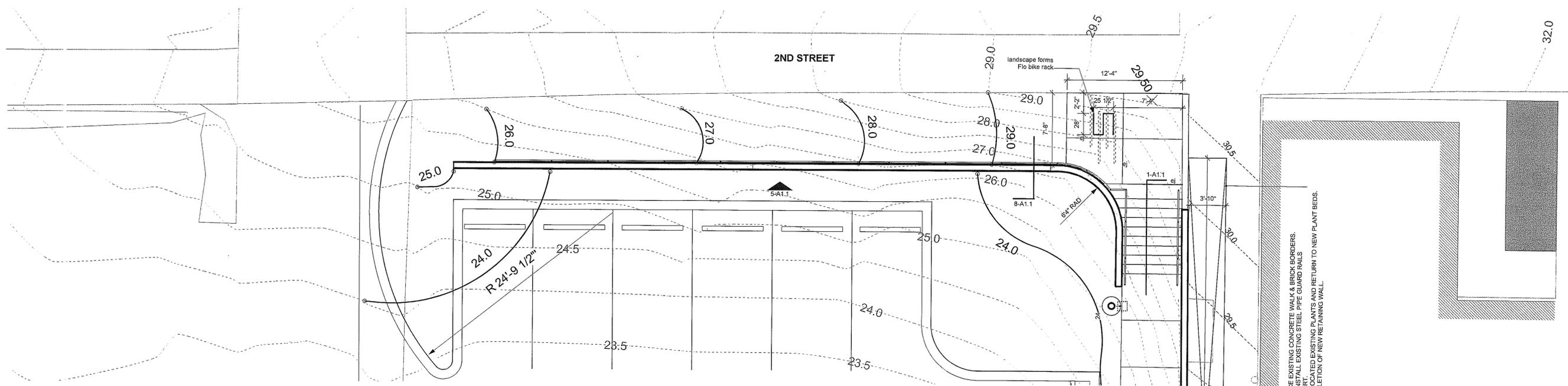
5 Retaining Wall Elevations
A1.0 3/16" = 1'-0"

REMOVE AND REPLACE EXISTING WALKWAY & GUARDRAILS, REFER TO PLAN NOTES
3/4" THICK PORTLAND CEMENT PARGE CAP - BEVEL TOP
3/4" CHAMFER ALL EXPOSED CORNERS
POUR THROUGH TYPE BOND BEAM WITH 2 #4 CONTINUOUS
CUT CMU UNITS AS REQUIRED TO MAINTAIN BOND BEAM AND PROVIDE WALL TOP SLOPES AS SHOWN
SYNTHETIC STUCCO DIRECT APPLIED TO CMU
#5 VERTICAL BARS @ 32" OC
HORIZONTAL JOINT REINFORCING @ EACH COURSE, TRUSS TYPE, HOT DIP GALVANIZED
FILL ALL CMU CELLS WITH 3000 PSI CONCRETE GROUT.
#5 BAR DOWEL @ 8" OC, 57" LAP
ALL MASONRY CELLS TO BE GROUTED WITH 3,000 PSI CONCRETE GROUT.
DAMPPOOF BACK SIDE OF WALL
FOUNDATION DRAIN: PERFORATED PIPE W/ FILTER FABRIC SOCK & #57 STONE
ISOLATION JOINT
WALKWAY SLAB
COARSE SAND BASE
2X4 KEY
#5 BARS @ 32" OC
#5 BARS @ 12" OC
PLACE TO PROVIDE 2 1/2" CONCRETE COVER
#5 BAR DOWEL @ 8" OC
UNDISTURBED EARTH BEARING FOR NEW FOUNDATION
TEMPORARY SHORING - DESIGN BY CONTRACTOR, SHALL BE REMOVED FOLLOWING COMPACTED BACKFILL.

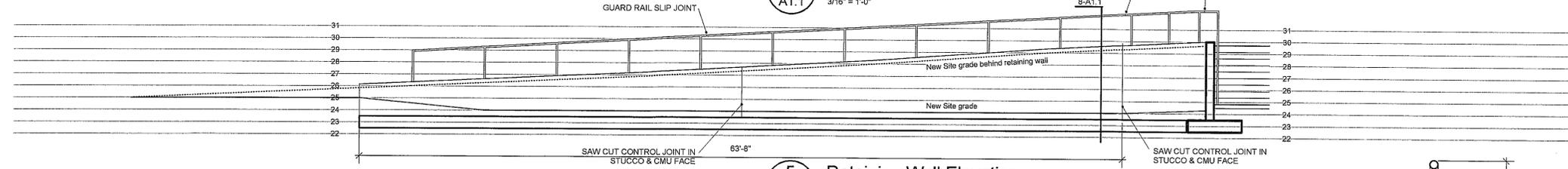
8 Retaining Wall Section
A1.0 1" = 1'-0"



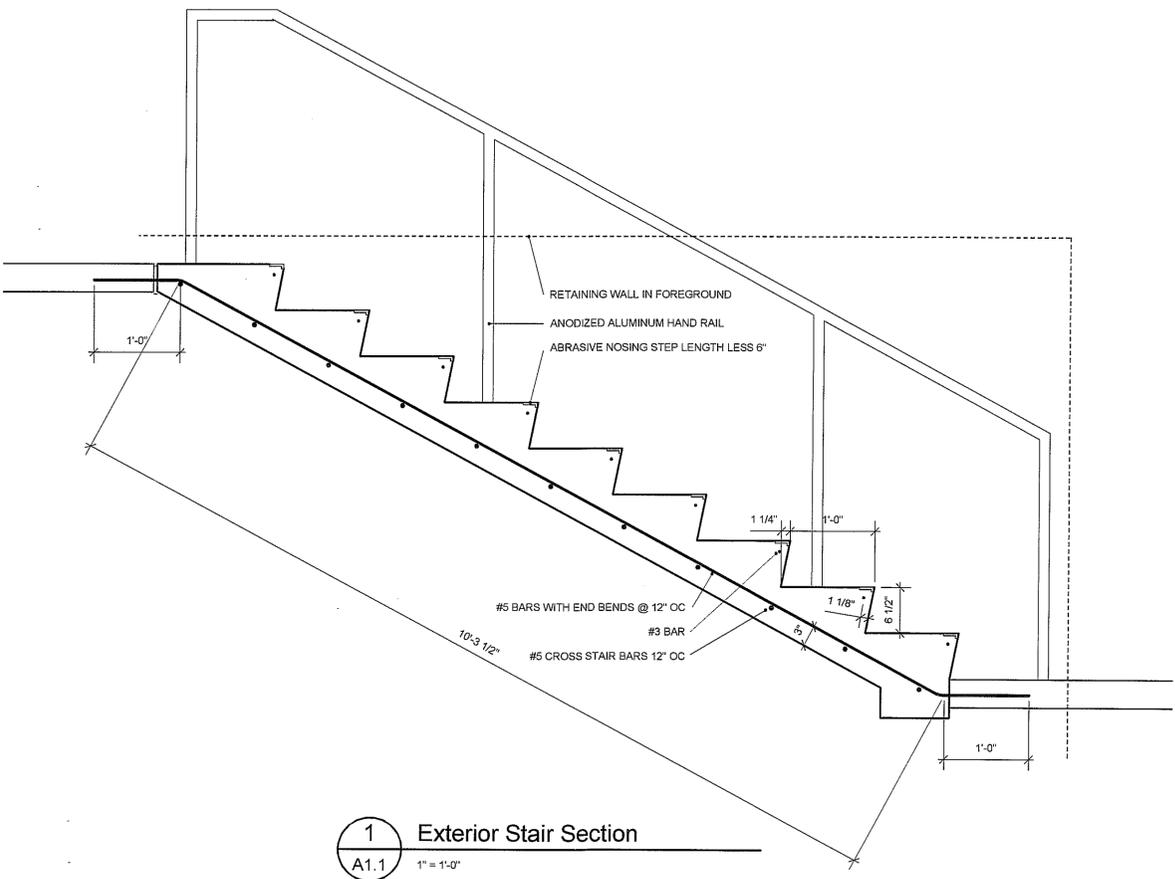
9 Retaining Wall Section
A1.0 1" = 1'-0"



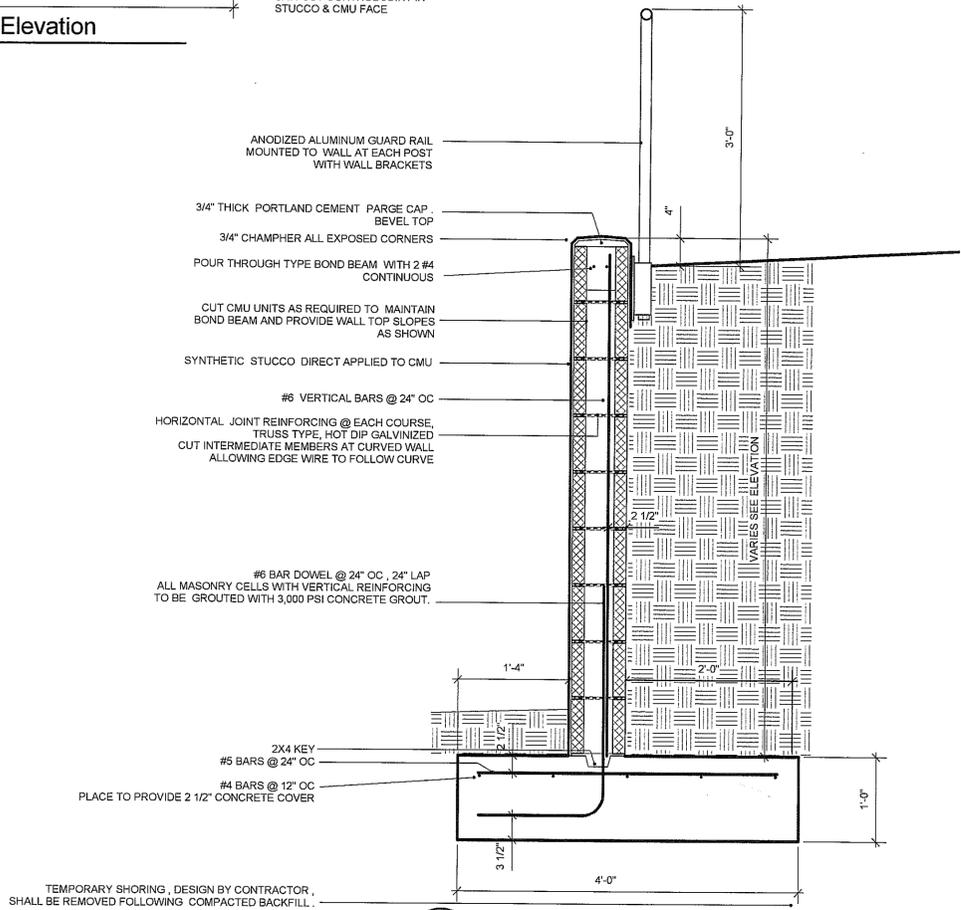
2 2nd Street Retaining Wall Plan
A1.1 3/16" = 1'-0"



5 Retaining Wall Elevation
A1.1 3/16" = 1'-0"



1 Exterior Stair Section
A1.1 1" = 1'-0"



8 Retaining Wall Section
A1.1 1" = 1'-0"

Revisions:

City of Wilmington

2nd Street & Church Alley Parking Lot

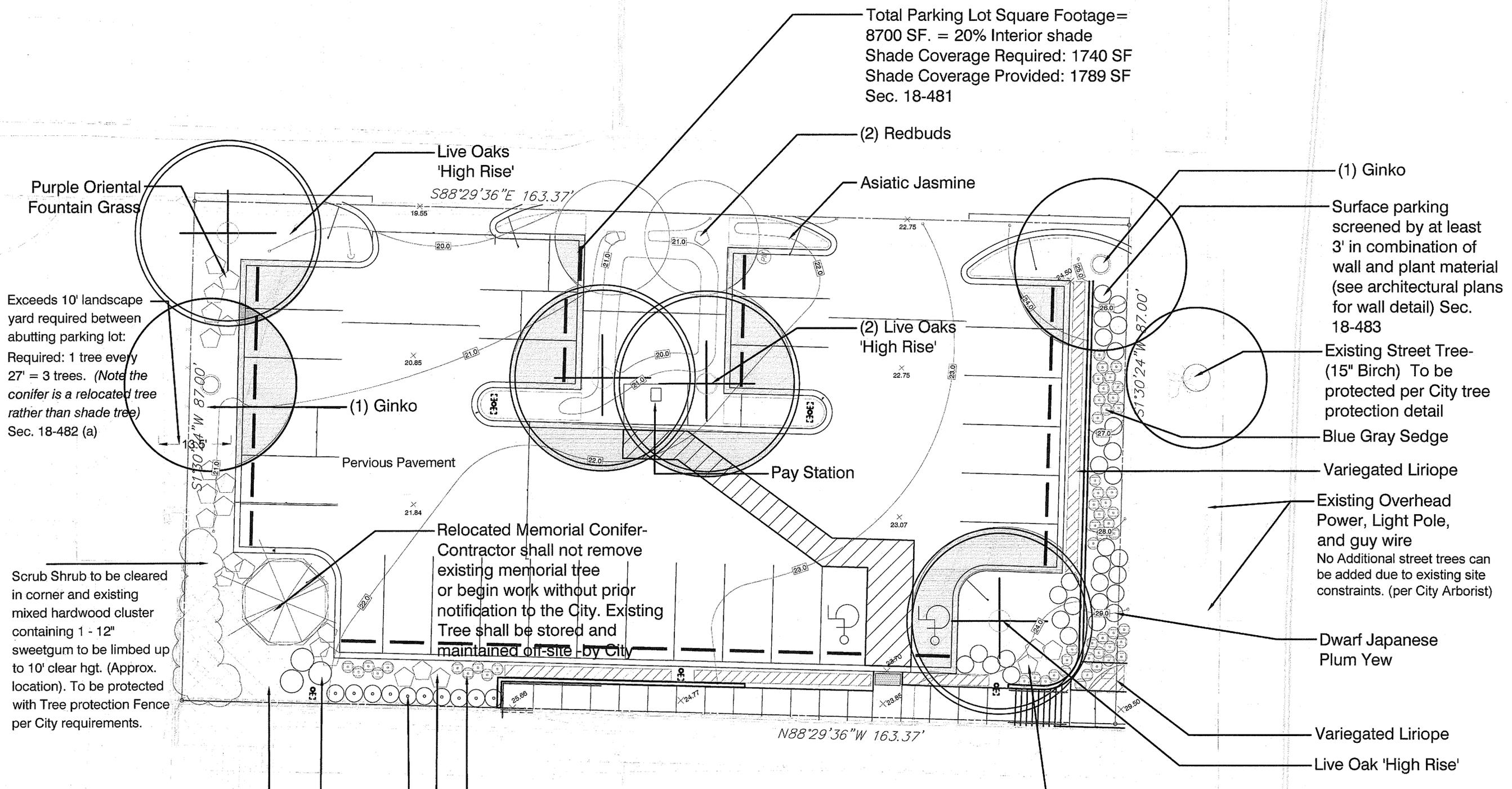
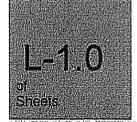
Wilmington, NC

Construction Documents
January 13, 2014

Revisions:
1- 02/05/14- Revisions from City comments made 1/31/14

2- 04/25/14- Adjusted Tree Locations to avoid Overhead Power

LANDSCAPE PLAN

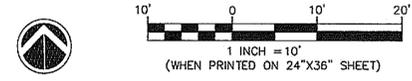


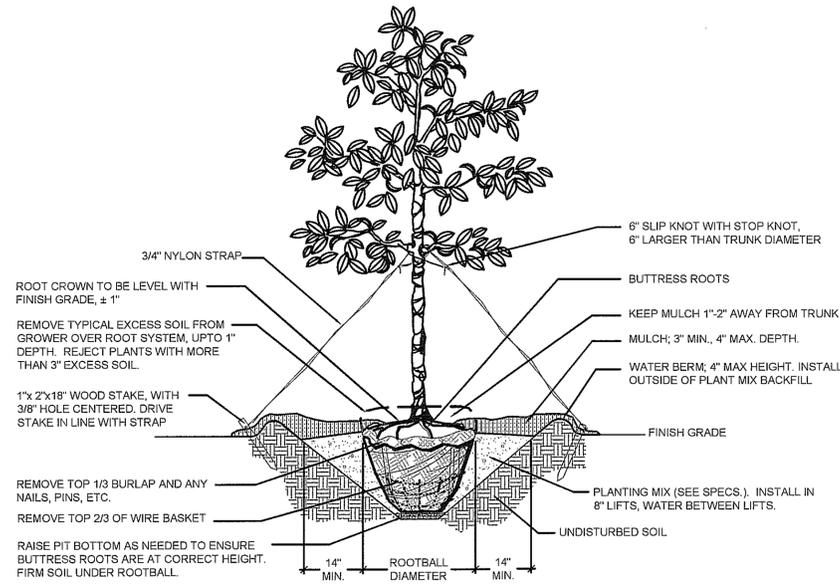
City of WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

City of WILMINGTON
 NORTH CAROLINA
 Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

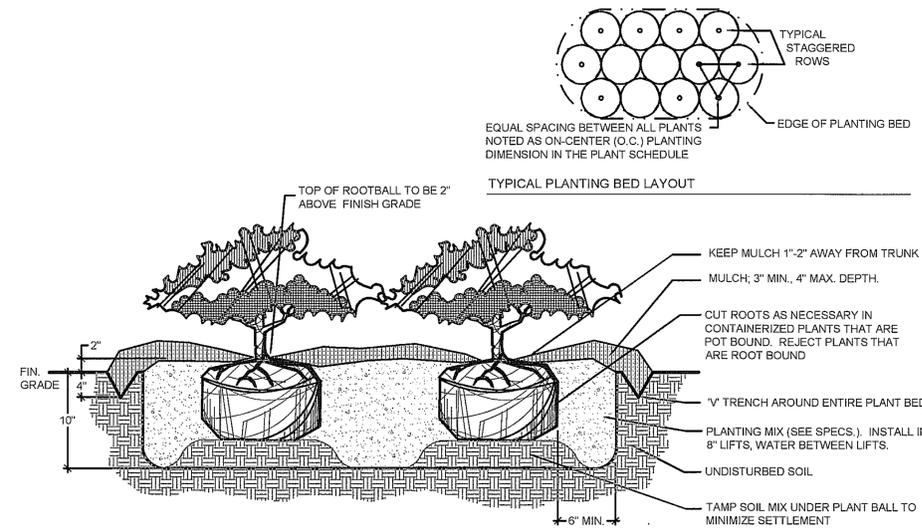
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

2ND STREET PARKING LOT PLANT LIST			
WILMINGTON, NORTH CAROLINA			
QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPECIFICATIONS
TREES			
4	QUERCUS VIRGINIANA 'HIGH RISE'	LIVE OAK- 'High Rise'	2.5" MIN. CAL.
2	GINKGO BILOBA (MALE ONLY)	GINKGO	2.5" MIN. CAL.
FLOWERING TREES			
2	CERCIS CANADENSIS	REDBUD	8'-10" HGT. 4' LIMBED CLEAR
SHRUBS			
10	ILEX GLABRA	INKBERRY	3' HGT. X 3' SPD.; 3' O.C.
5	LOROPETALUM CHINENSIS	LOROPETALUM	3' HGT. X 3' SPD.; 3' O.C.
GROUNDCOVERS			
140	TRACHELOSPERMUM ASIATICUM	ASIATIC JASMINE	1 GAL. 18" O.C. (TOT. SF = 318 sf)
54	CAREX GLAUCA	BLUE GREY SEDGE	1 GAL. 18" - 24" O.C.
30	CEPHALOTAXUS HARRINGTONIA PROSTRATA'	DWARF JAPANESE PLUM YEW	3 GAL. 3' O.C.
130	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 GAL. 18" O.C. (TOT. SF = 280 sf)
27	PENNISETUM ORIENTALE 'KARLEY ROSE'	PURPLE ORIENTAL FOUNTAIN GRASS	3 GAL. 3' O.C.





A SINGLE STEM TREE INSTALLATION DETAIL
SCALE: NTS



B SHRUB INSTALLATION DETAIL
SCALE: NTS

PLANT MATERIAL NOTES

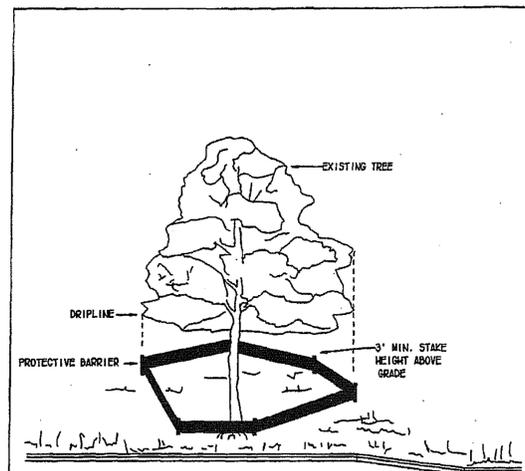
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. CONTAINERIZED PLANTS SHALL HAVE A ROOT SYSTEM SUFFICIENT ENOUGH IN DEVELOPMENT TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER. THE ROOT SYSTEM SHALL NOT BE ROOT BOUND, A CONDITION WHERE THE ROOT SYSTEM IS DENSE IN MASS, EXCESSIVELY INTERTWINED, AND HAS ESTABLISHED A CIRCULAR GROWTH PATTERN.
3. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
4. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SHIPMENT.
5. ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
6. TOPSOIL AMENDMENTS REQUIRED FOR SOIL MIXES SHALL BE PROVIDED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR MUST LOAD, HAUL, MIX AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED ON SITE.
7. CONTRACTOR SHALL VERIFY AND/OR AMEND ALL PLANTING SOILS TO ENSURE PROPER SUITABILITY INCLUDING STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE QUALITY PLANTING SOIL FOR ALL PLANT MATERIAL TO SURVIVE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PLANTING PITS PERCOLATE PROPERLY PRIOR TO PLANTING INSTALLATION.
9. SHRUBS, BULBS, AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND/OR IN THE PLANT SCHEDULE.
10. THE CONTRACTOR SHALL VERIFY EXTENT OF SEEDING OR SOD AREA WITH OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. INSTALLATION OF PLANT MATERIAL TO BE COMPLETED BY CITY CREW AND WILL BEGIN UPON COMPLETION OF PARKING LOT AND HARDSCAPE.
12. LANDSCAPING WILL BE APPROVED BY THE HISTORIC PRESERVATION PLANNER AND ARBORIST PRIOR TO INSTALLATION. CONTRACTOR TO CONTACT THE CITY PLANNING DEPARTMENT. IF CONTRACTOR HAS COMPLETED THE LANDSCAPE PLAN PROVIDED IN THE BID DOCUMENTS AND REVISIONS ARE REQUIRED IN THE FIELD THE CONTRACT WILL BE ADJUSTED USING THE BID DOCUMENT PROVISIONS FOR PROJECT CHANGES.

TREE INSTALLATION NOTES

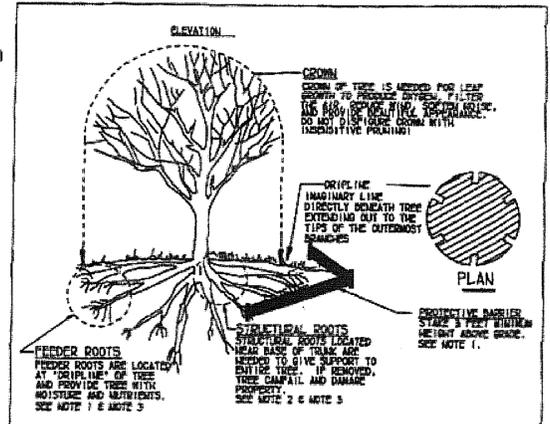
1. ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI, 1990, PART 1, "SHADE AND FLOWERING TREES").
2. TREES SUPPLIED MUST HAVE BEEN PROPERLY PLANTED AND GROWN IN THE NURSERY. THE ROOT CROWN (ALSO CALLED THE TRUNK FLARE) SHALL BE EVIDENT NEAR THE TOP OF THE GROUND. ANY EXCESS SOIL, UP TO 3 INCHES COVERING THE CROWN WILL HAVE TO BE REMOVED CAREFULLY BY HAND, IN ORDER TO PREVENT ROOT SCRAPES. THE TREE IS THEN TO BE PLANTED WITH THE ROOT CROWN IN PROPER RELATION TO THE SURROUNDING GRADE. ANY TREES WITH MORE THAN 3 INCHES OF SOIL ON TOP OF THE ROOT CROWN WILL BE REJECTED. THE NURSERY OWNERS MAY DIG OVERSIZE BALLS AND REMOVE THE SOIL IN ORDER FOR THE ROOT SYSTEM DIAMETER (WHICH IS THE REQUIRED ROOT BALL DIAMETER) TO MEET THE SPECIFICATION FOR THE TRUNK CALIPER REQUIRED.
3. BALL AND BURLAPPED (B&B) PLANTS MUST HAVE FIRM, NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN RECOMMENDED IN THE "TREE AND SHRUB TRANSPLANTING MANUAL", AND BE OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.
4. REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY 2/3 OF WIRE BASKET, IF ANY, AND TOP 1/3 OF BURLAP.
5. SOAK ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
6. CONSTRUCT 4" HIGH SAUCER (WATER BERM) OUTSIDE OF PLANT MIX BACK FILL.
7. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
8. NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER REPRESENTATIVE EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS.
9. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED TREES AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
10. ALL TREES SHALL BE STAKED AT TIME OF INSTALLATION IN ACCORDANCE WITH PLANTING DETAILS.
11. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
12. STAKES FOR TREE SUPPORT SHALL BE CONSTRUCTED OF 2"x2" x18" UNTREATED PINE. GUYING FABRIC SHALL BE "ARBOR TAPE", AS MANUFACTURED BY NEPTCO, PAWTUCKET, RI. (401) 722-5500 (OR APPROVED EQUAL). COLOR SHALL BE OLIVE DRAB.

SHRUB INSTALLATION NOTES

1. CUT ROOTS AS NECESSARY IN CONTAINERIZED PLANTS THAT ARE POT BOUND. REJECT PLANTS THAT HAVE GIRDLED ROOT OR ARE BOUND.
2. INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
3. TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL.
4. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



C CITY TREE PROTECTION FENCE DETAIL
SCALE: NTS



D METHOD OF TREE PROTECTION DURING CONSTRUCTION
SCALE: NTS

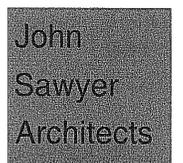
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

CITY OF WILMINGTON
NORTH CAROLINA
Approved Construction Plan

Name _____ Date _____
Planning _____
Traffic _____
Fire _____



124 Market Street
Wilmington, NC 28401

910.762.0892
johnsawyerarchitects.com



Coastal Land Design, PLLC
Professional Landscaping & Site Construction
1000 E. 8th Street, Suite 100
Wilmington, NC 28401

City of
Wilmington
2nd Street &
Church Alley
Parking Lot

Wilmington, NC

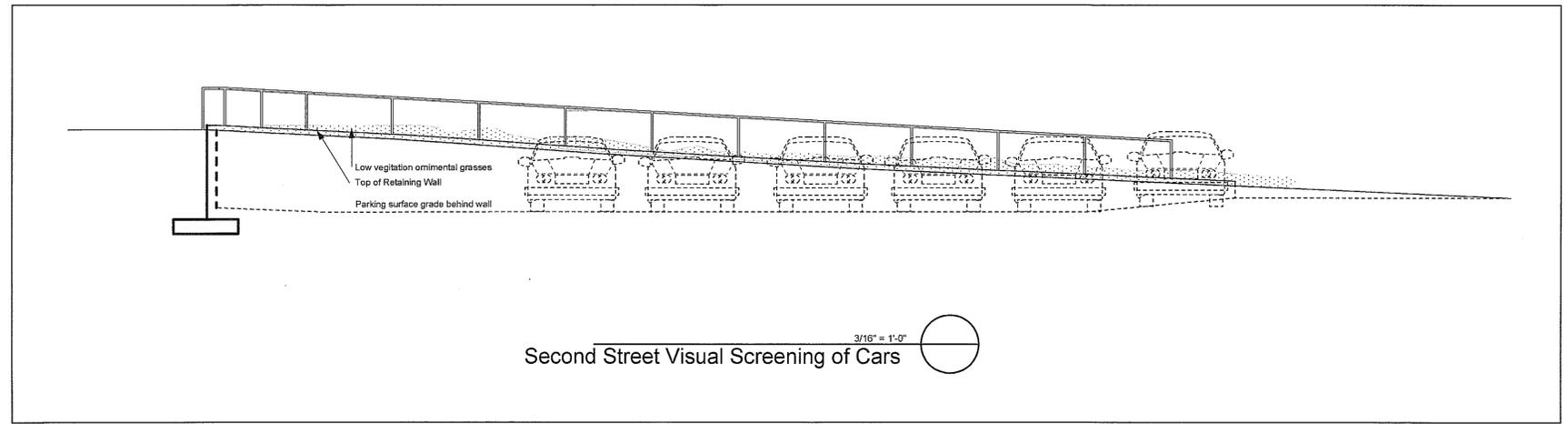
Construction Documents
January 13, 2014

Revisions:
1-02/05/14: Revisions from City
comments made 1/31/14

LANDSCAPE
DETAILS



SageDesign PLLC
Sara Burroughs, RLA
228 North Front Street
Suite 202D
Wilmington, NC 28401
Ph. (910) 232-3678
sara@sagedesign.us



City of
Wilmington

2nd Street &
Church Alley
Parking Lot

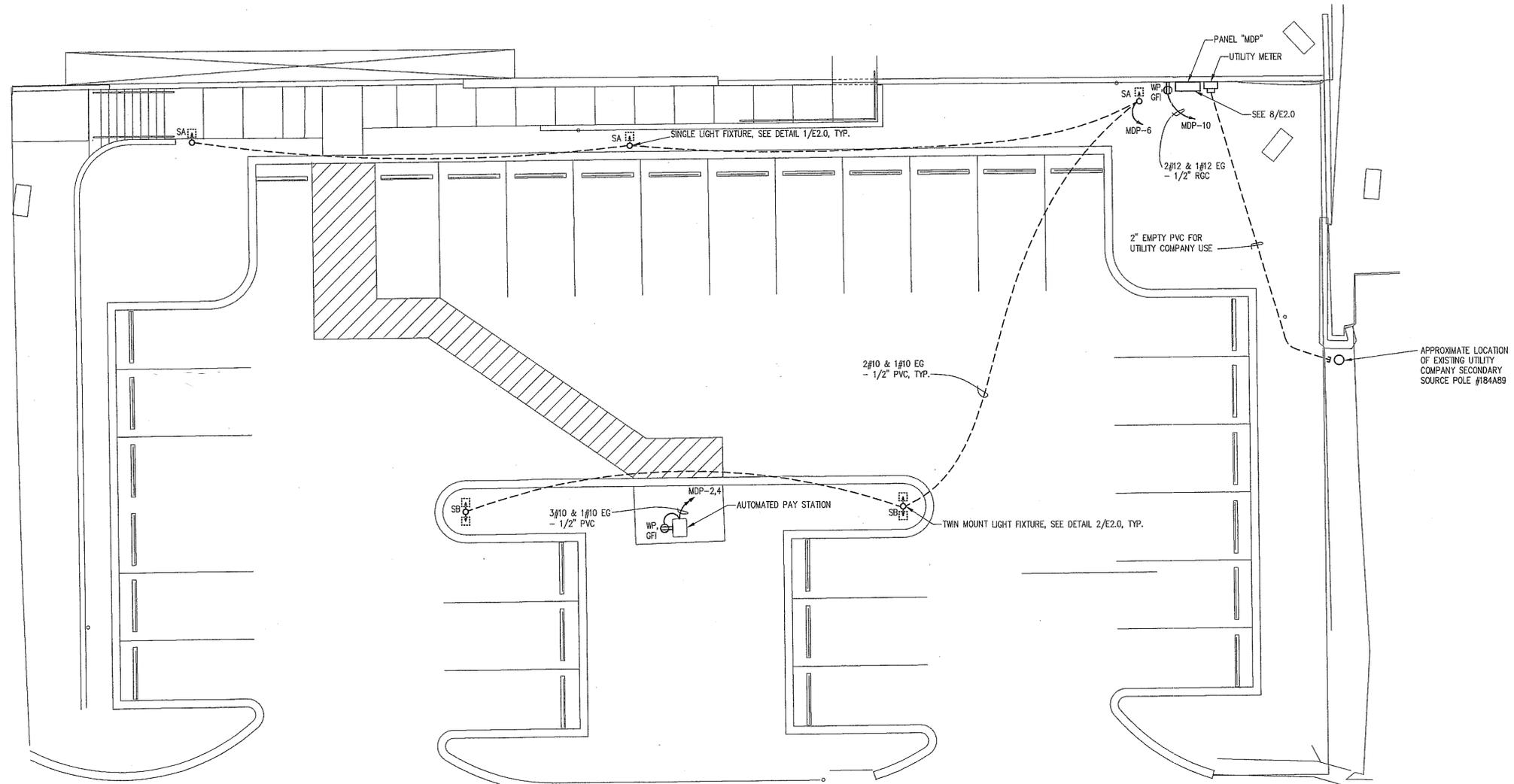
Wilmington, NC

Construction Documents
January 13, 2014

Revisions:

Duke Power
Encroachment

A1.3
of
Sheets



1 - Electrical Parking Lot Lighting Plan
 1/8"=1'-0"

City of
 Wilmington
 2nd Street &
 Church Alley
 Parking Lot

Wilmington, NC

Construction Documents
 January 13, 2014

Revisions:
