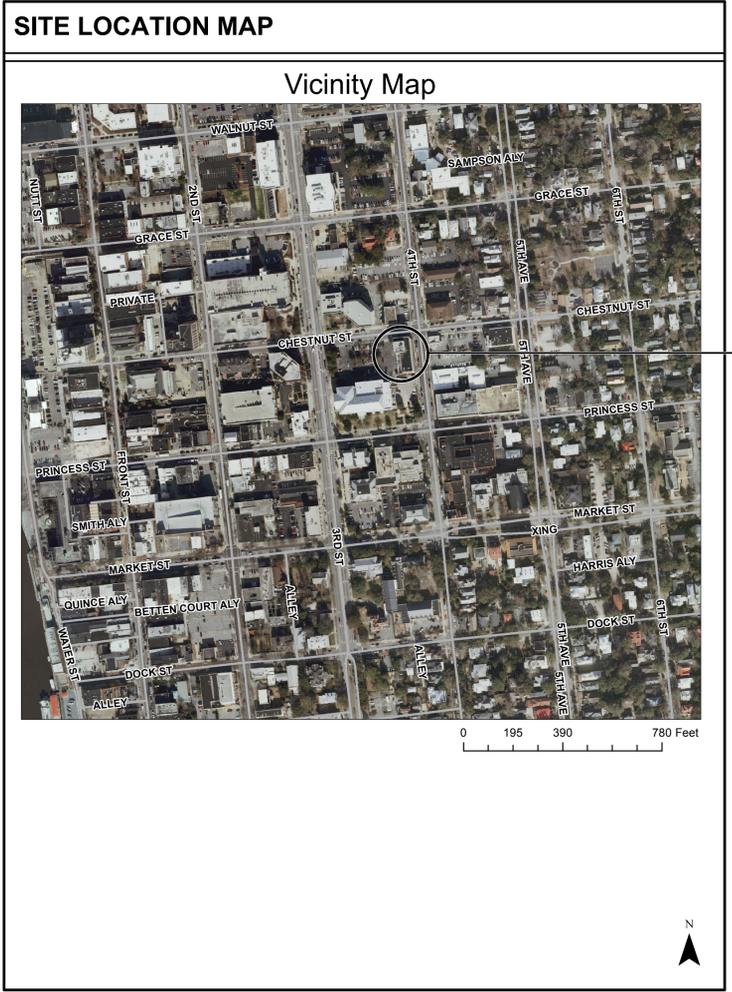


320 Chestnut Street Additions & Renovations New Hanover County

Engineering Review Submittal
August 4, 2014



Abbreviations	Symbols Legend
<p>A.C.T. - ACOUSTICAL CEILING TILE ADJ. - ADJUSTABLE A.F.F. - ABOVE FINISHED FLOOR ALUM. - ALUMINUM AHU - AIR HANDLING UNIT BLDG. - BUILDING B.O.S. - BOTTOM OF STEEL B.R. - BACKER ROD C.J. - CONTROL JOINT C.M.U. - CONCRETE MASONRY UNIT CONC. - CONCRETE C.O. - CLEAN OUT CONT. - CONTINUOUS CP - CONCRETE PIPE C.L. - CENTER LINE DIA. - DIAMETER DIM. - DIMENSION D.S. - DOWN SPOUT E.C. - ELECTRICAL CONTRACTOR E.J. - EXPANSION JOINT ELEV. - ELEVATION EQ. - EQUAL EQUIP. - EQUIPMENT EXIST. - EXISTING EXP. JT. - EXPANSION JOINT F.F.E. - FINISH FLOOR ELEVATION GALV. - GALVANIZED GA. - GAUGE G.C. - GENERAL CONTRACTOR GWB - GYPSUM WALL BOARD HT. - HEIGHT INSUL. - INSULATION INV. - INVERT JT. - JOINT MAS. - MASONRY MAX. - MAXIMUM MECH. - MECHANICAL MFG. - MANUFACTURER MIN. - MINIMUM NOM. - NOMINAL O.C. - ON CENTER PERF. - PERFORATED HPL - HIGH PRESSURE LAMINATE PLYWD. - PLYWOOD P.S.I. - POUNDS PER SQUARE INCH R. - RADIUS RA - RETURN AIR R.A.G. - RETURN AIR GRILL R.C.P. - REINFORCED CONCRETE PIPE RD. - ROOF DRAIN REINF. - REINFORCEMENT REOF. - REQUIRED R.O. - ROUGH OPENING SA - SUPPLY AIR S.S. - STAINLESS STEEL T.O.M. - TOP OF MASONRY STRUCT. - STRUCTURAL T.O.S. - TOP OF STEEL TRTD - TREATED TYP. - TYPICAL V.B. - VAPOR BARRIER V.C.T. - VINYL COMPOSITE TILE VERT. - VERTICAL W/ - WITH @ - AT, AROUND, REGARDING</p>	<p>DRAWING TITLE</p> <p>INDICATES DRAWING #</p> <p>Drawing Title Scale</p> <p>INDICATES SHEET WHERE DRAWING IS SHOWN</p> <p>BUILDING SECTION REFERENCE</p> <p>INDICATES SECTION #</p> <p>INDICATES SHEET WHERE DRAWING IS SHOWN</p> <p>WALL SECTION REFERENCE</p> <p>INDICATES SHEET WHERE SECTION IS SHOWN</p> <p>INDICATES SECTION #</p> <p>ELEVATION REFERENCE</p> <p>INDICATES SHEET WHERE ELEVATION IS SHOWN</p> <p>INDICATES ELEVATION #</p> <p>PLAN DETAIL REFERENCE</p> <p>INDICATES ENLARGED DETAIL</p> <p>100 DOOR # 100 ROOM #</p> <p>A WINDOW TYPE</p> <p>Vertical Elevation Above Reference Point</p>

INDEX OF DRAWINGS	
G1.0	Index, Legend & Abbreviations
C1.1	Site Staking Plan
C2.1	Existing Conditions and Demolition Plan
C3.1	Site Grading and Erosion Control Plan
C4.1	Site Planting Plan
C5.1	Details
C5.2	Details
PE1	Existing Site Work
PE2	New Site Work
AC1.0	Site & Adjacent Property Owners
AC1.1	Construction Fence Plan and Off Site Improvements
AC1.2	Impervious Surface Calculations
AC1.3	Communications Services Conduit

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A TERRACON COMPANY
Building Envelope Systems Specialists



320 Chestnut Street
Additions & Renovations
New Hanover County

Engineering Review Submittal
August 4, 2014

Revisions:

Cover

G1.0
of
6 Sheets

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PARID: R04817-018-006-000
 WILMINGTON CITY OF
 320 CHESTNUT ST
 BOOK 1144, PAGE 0438

PARID: R04817-018-004-000
 NEW HAN CNTY
 320 CHESTNUT ST
 BOOK 1042, PAGE 0202
 (SECOND TRACT)

PARID: R04817-018-004-000
 NEW HAN CNTY
 320 CHESTNUT ST
 BOOK 1032, PAGE 0489

NORTH FOURTH STREET
 66' PUBLIC R/W

CHESTNUT STREET
 66' PUBLIC R/W

KEY NOTES

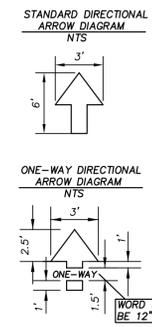
- (A) CONCRETE WHEEL STOPS, SEE DETAIL SHEET C5.1.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C5.1.
- (C) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C5.1.
- (D) 24" CURB AND GUTTER, SEE DETAIL SHEET 5.1.
- (E) WHITE PARKING SPACE MARKING, SEE TRAFFIC CONTROL NOTES THIS SHEET.
- (F) ACCESSIBLE PARKING SIGNAGE MOUNTED ON BUILDING, SEE DETAIL SHEET C5.1.
- (G) DIRECTIONAL ARROWS, SEE TRAFFIC CONTROL NOTES THIS SHEET
- (H) ASPHALT PAVEMENT, SEE DETAIL SHEET C5.1.
- (I) BOLLARD, SEE DETAIL SHEET C5.1. CONFIRM CLEARANCES WITH DUKE ENERGY PRIOR TO INSTALLATION.
- (J) ACCESSIBLE RAMP, SEE DETAIL SHEET C5.1
- (K) CROSSWALK, SEE DETAIL SHEET C5.1
- (L) 8"x8" CONCRETE PAVERS, SEE DETAIL SHEET C5.1
- (M) REPLACE EXISTING CURB TO CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.
- (N) NEW BICYCLE RACKS (2) - "BOLA" BY LANDSCAPE FORMS (OR APPROVED EQUAL) INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

GENERAL NOTES

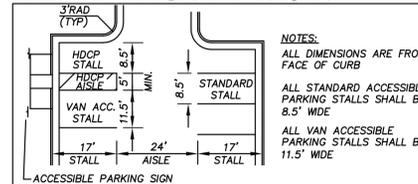
1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON AND LOCAL STANDARDS AND SPECIFICATIONS.
5. ALL EXISTING ITEMS TO REMAIN: SUCH AS PLANT MATERIAL, IRRIGATION, SOD, SITE WALLS, FENCES, HARDSCAPE, ASPHALT, ETC. THAT ARE DISTURBED OR DAMAGED, SHALL BE REPLACED AND RESTORED TO MATCH PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
6. EXISTING SITE SURVEY INFORMATION WAS TAKEN FROM TOPOGRAPHIC SURVEY BY ARNOLD W. CARSON, PLS, PC DATED 2-11-13. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
7. CONTRACTOR SHALL SUBMIT SCORING PATTERN LAYOUT FOR APPROVAL FOR ALL NEW WALKS PRIOR TO CONCRETE PLACEMENT. EXPANSION AND CONTROL JOINTS SHALL BE SPACED ACCORDING TO SPECIFICATIONS.

TRAFFIC CONTROL NOTES

1. ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
2. ALL SIGNS SHALL BE MOUNTED ON EXISTING BUILDING.
3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.
4. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE WITH REFLECTIVE GLASS BEADS, THERMOPLASTIC MATERIAL SHALL BE SPECIALLY FORMULATED FOR PERMANENT ADHESION TO CONCRETE.
5. ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
6. CENTER ALL DIRECTIONAL ARROWS WITHIN TRAVEL LANE.
7. COORDINATE AND INSTALL FIRE LANE MARKINGS AS REQUIRED BY CITY OF WILMINGTON FIRE MARSHAL.
8. ALL PAVEMENT MARKINGS ON CITY STREETS OR ENTRANCE TO RIGHT OF WAY WILL BE THERMO-PLASTIC STOP/YIELD BARS MUST BE 4' BEHIND THE CROSSWALK.
9. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE MUTCD, NC SUPPLEMENT TO THE MUTCD, AND THE CITY OF JACKSONVILLE MSSD STANDARDS.



TYP. PARKING DIMENSIONS



SEE ARCHITECTURAL PLANS FOR ALTERNATE WORK IN THIS AREA.

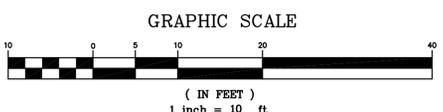
CONSTRUCTION FENCE SEE ARCHITECTURAL DRAWINGS FOR LIMITS

RESTRIPE TO MATCH EXISTING PAVEMENT MARKINGS. REPAIR ANY DAMAGE TO TRAFFIC CONTROL LOOPS.

MATCH EXISTING SCORE LINES

MATCH EXISTING SCORE LINES

S05°36'37"E
 CONTROL MONUMENT AT LINE OF PRINCESS STREET



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320 Chestnut Street Additions & Renovations

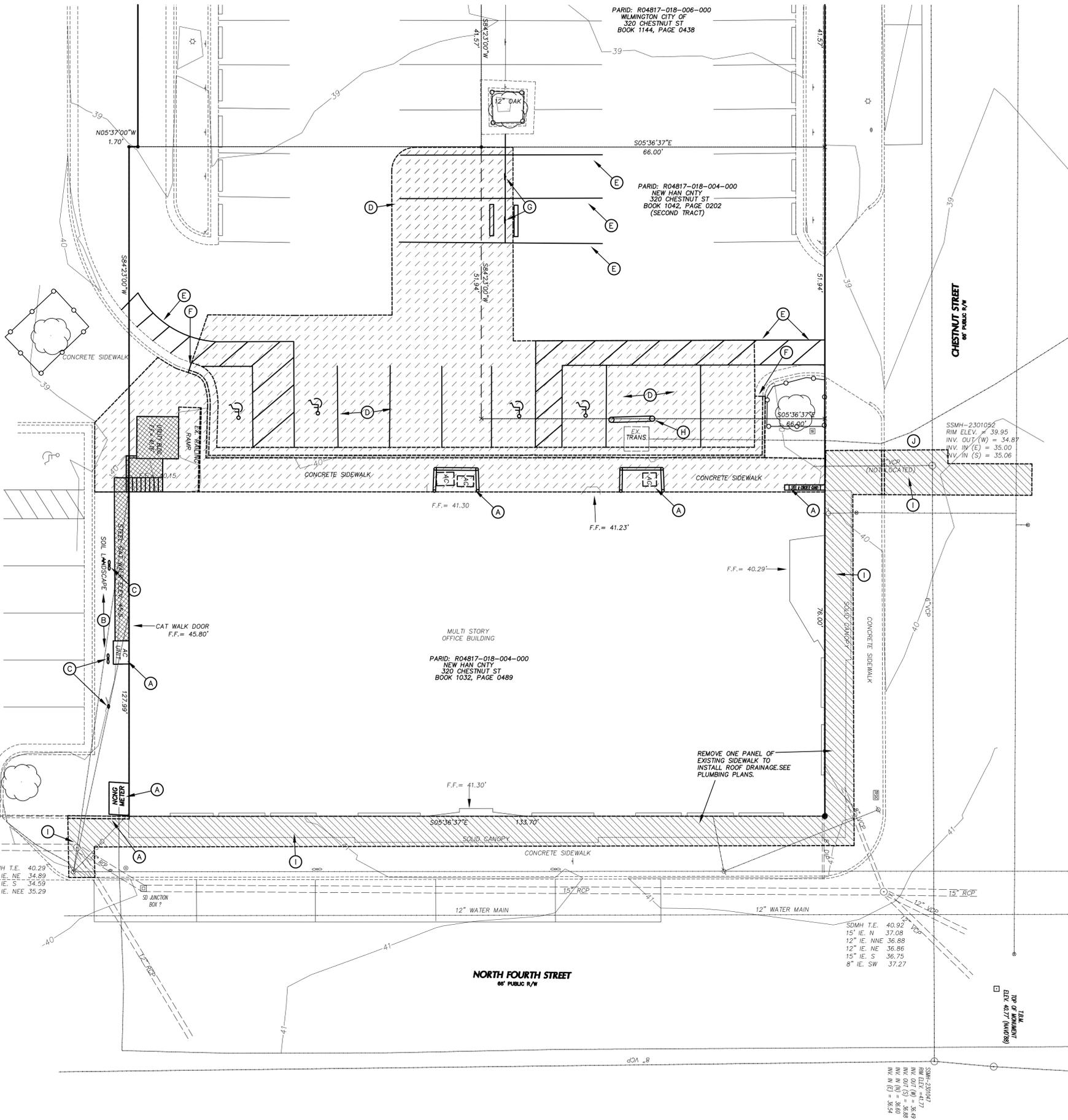
Construction Drawings
 January 24, 2014

Revisions:
 1 May 7, 2014
 Remove parking space, add bicycle racks.

SITE STAKING PLAN

C1.1
 1 of 6

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LEGEND - STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	----- E -----	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	----- UE -----	UTILITY POLE	⊗ PP
GAS	----- G -----	MANHOLE	⊙ MH
SANITARY SEWER	----- SS -----	CLEAN OUT	⊙ CO
TELEPHONE	----- T -----	DROP INLET, CATCH BASIN	□ DI, CB
UNDERGROUND TELEPHONE	----- UT -----	FIRE HYDRANT	⊙ FH
FIRE PROTECTION	----- FP -----	WATER VALVE	⊙ WV
WATER	----- W -----	TREE PROTECTION FENCING	SEE DETAIL SHEET C8.1.
FORCE MAIN	----- FM -----	INDIVIDUAL TREE TO REMAIN.	⊙
STORM DRAIN	===== ST =====		
IRRIGATION	----- IW -----		

LEGEND - STRUCTURES/UTILITIES TO BE REMOVED

OVERHEAD ELECTRICAL	----- E -----	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	----- UE -----	UTILITY POLE	⊗ PP
GAS	----- G -----	MANHOLE	⊙ MH
SANITARY SEWER	----- SS -----	CLEAN OUT	⊙ CO
TELEPHONE	----- T -----	DROP INLET, CATCH BASIN	□ DI, CB
UNDERGROUND TELEPHONE	----- UT -----	FIRE HYDRANT	⊙ FH
FIRE PROTECTION	----- FP -----	WATER VALVE	⊙ WV
WATER	----- W -----	C&G TO BE REMOVED, PAVEMENT, SIDEWALK, CONCRETE.	▨
FORCE MAIN	----- FM -----	BUILDING DEMOLITION, SEE ARCHITECTURAL PLANS.	▨
STORM DRAIN	===== ST =====	INDIVIDUAL TREE TO BE REMOVED.	⊗
IRRIGATION	----- IW -----		

KEY NOTES

- (A) UTILITY/STRUCTURE TO BE REMOVED (SEE ARCHITECTURAL PLANS).
- (B) EXISTING SHRUBS & LANDSCAPE AREA TO BE REMOVED.
- (C) EXISTING SIGNS TO BE REMOVED BY CITY OF WILMINGTON PRIOR TO CONSTRUCTION.
- (D) SIDEWALK/PAVEMENT/CURB AND GUTTER TO BE REMOVED.
- (E) REMOVE EXISTING STRIPING AND MILL 1/2". REFER TO STAKING PLAN FOR ADDITIONAL INFORMATION.
- (F) SAW CUT AND REMOVE EXISTING GUTTER.
- (G) REMOVE SIGNS.
- (H) REMOVE BOLLARDS.
- (I) SIDEWALK/PAVEMENT TO BE REMOVED TO INSTALL NEW UTILITIES AND ROOF DRAINAGE. SEE PLUMBING DRAWINGS FOR INFORMATION REGARDING INSTALLATION OF NEW UTILITIES.
- (J) REMOVE, STORE AND PROTECT EXISTING CURBING FOR REUSE. REMOVE ONLY AS REQUIRED FOR INSTALLATION OF NEW UTILITIES.
- (K) TREE PROTECTION FENCING, PROTECT EXISTING TREES FROM DAMAGE, SEE DETAIL SHEET.

GENERAL NOTES

1. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
2. LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
3. ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS. OWNER HAS FIRST RIGHT OF REFUSAL, CONTRACTOR SHALL DELIVER TO AREA DESIGNATED BY OWNER; OTHERWISE IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE.
4. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AS NEEDED WITHIN CONSTRUCTION LIMITS PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL BE REMOVED WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS) FOLLOWING APPROVAL OF OWNER/ARCHITECT COORDINATE WITH OWNER'S GROUND'S DEPARTMENT ON SALVAGE OF REMOVED LANDSCAPE MATERIAL. BY SUBMITTING A BID, CONTRACTOR ACKNOWLEDGES THAT THE SITE HAS BEEN INVESTIGATED TO DETERMINE TYPE, SIZE AND QUANTITY OF CLEARING REQUIRED FOR CONSTRUCTION. COORDINATE TREE PROTECTION FENCING WITH NEW HANOVER COUNTY GROUNDS DEPARTMENT.
5. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE.
- LIMITS OF PAVEMENT REMOVAL SHOWN ARE MINIMUM REQUIRED. ADDITIONAL PAVEMENT MAY BE REMOVED AND REPLACED AS DEEMED NECESSARY BY THE CONTRACTOR FOR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. ALL EXISTING PAVEMENT & STRIPING DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
6. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
7. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.

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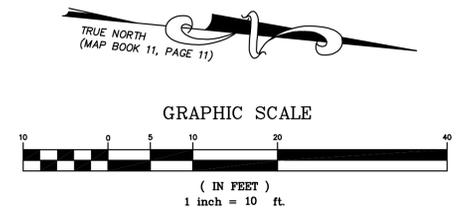
320 Chestnut Street Additions & Renovations

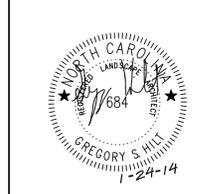
Construction Drawings
January 24, 2014

Revisions:

EXISTING CONDITIONS AND DEMOLITION PLAN

C2.1





LEGEND

EXISTING CONTOURS	
FINISH CONTOURS	
EXISTING SPOT ELEVATION	69.3+
PROPOSED SPOT ELEVATION	70.50
PROPOSED SPOT ELEVATION (TOP OF CURB)	57.80
EXISTING STORM PIPE	
TREE PROTECTION FENCE	
TEMPORARY SILT FENCE	

GRADING GENERAL NOTES

1. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER ARE TO TOP OF CURB, UNLESS OTHERWISE SHOWN. ALL OTHER SPOT ELEVATIONS INDICATE GROUND/PAVEMENT GRADE.
2. CONSTRUCTION LIMITS: 0.36 AC. TOTAL DISTURBED AREA: 0.11 AC.
3. CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. TO MATCH FINISH GRADE (WHETHER OR NOT SHOWN ON THE DRAWINGS).
4. ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION).
5. ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY. SEE DETAIL SHEET.
6. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE.
7. THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
8. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
9. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING HIS PHASE OF WORK AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
10. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING GRADING OPERATIONS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

EROSION CONTROL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. ALL OFF-SITE SOIL BORROW AND WASTE SITES SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITIES.
2. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ARCHITECT.
3. ALL OPEN STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER WORK STOPPAGE EACH DAY.
4. ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE SYSTEM.
5. SOIL AND OTHER MATERIALS SHALL ONLY BE TEMPORARILY STOCKPILED WITHIN THE CONSTRUCTION LIMITS PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES. STOCKPILES SHALL BE STABILIZED AS REQUIRED AS INDICATED IN THE SLOPE & SURFACE STABILIZATION NOTES.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL NCDENR, NEW HANOVER COUNTY STANDARDS AND PROJECT SPECIFICATIONS.

MAINTENANCE PLAN

1. DURING ALL PHASES OF CONSTRUCTION, GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED ACCORDING TO GROUND STABILIZATION TABLE (THIS SHEET) FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
2. FINAL PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED OR DEVELOPMENT AREAS ACCORDING TO GROUND STABILIZATION TABLE (THIS SHEET) FOLLOWING COMPLETION OF CONSTRUCTION.
3. THE ABOVE REQUIREMENTS ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL AND SCHEDULES WHICH MAY EXCEED THOSE ABOVE. REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS.

SLOPE & SURFACE STABILIZATION

GROUND STABILIZATION SHALL BE PROVIDED ON ALL DISTURBED AREAS ACCORDING TO FOLLOWING SCHEDULE:

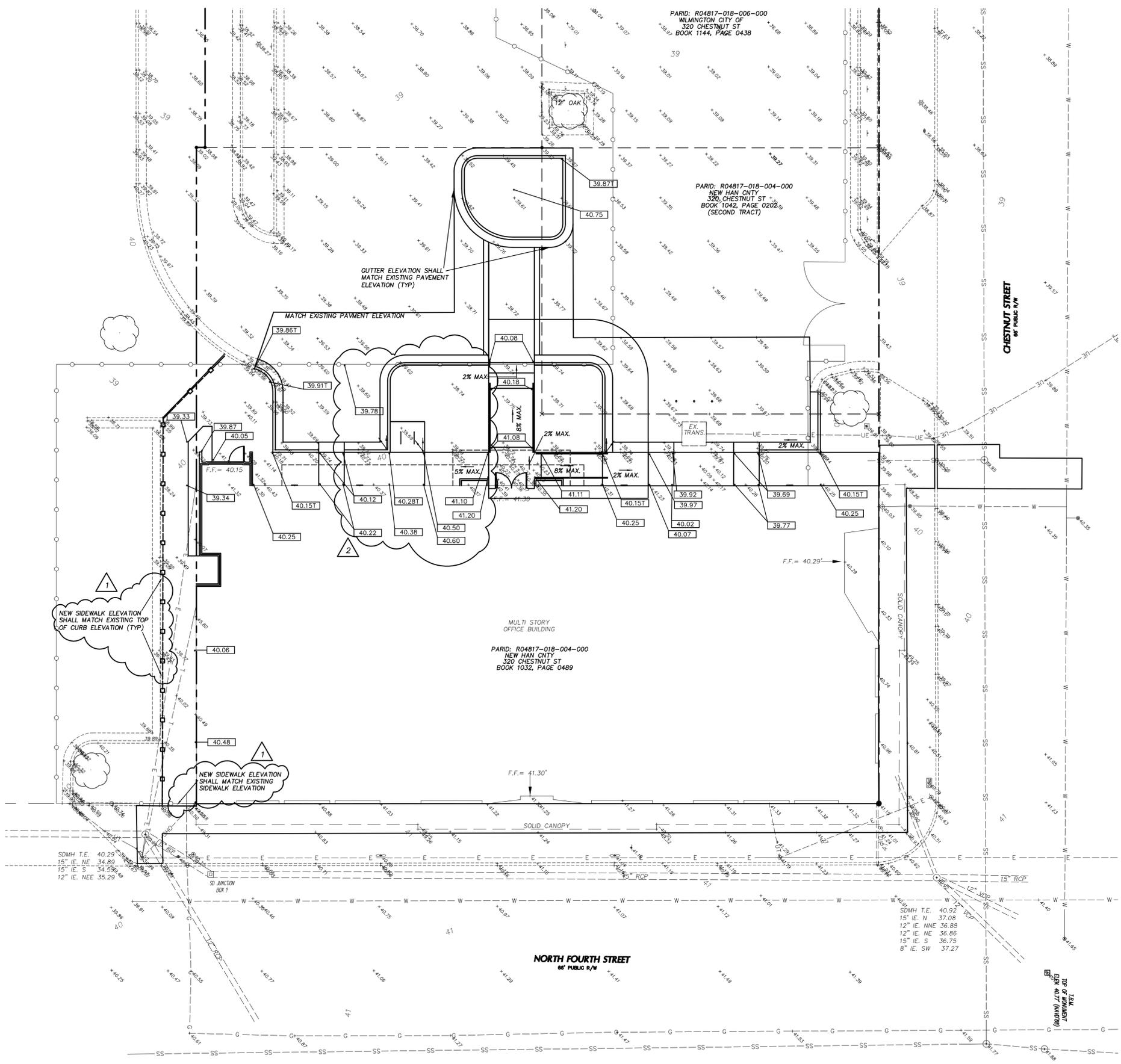
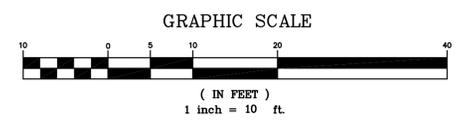
SITE AREA DESCRIPTION	GROUND STABILIZATION	
	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES).

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE (SECTION II.B(2) (b)).

THE ABOVE REQUIREMENTS ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS AND SCHEDULES WHICH MAY EXCEED THOSE ABOVE.

INSTALL SLOPE EROSION CONTROL MATTING FOR TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (3:1 OR STEEPER). REFER TO SPECIFICATION SECTION 311000 FOR MATERIAL SPECIFICATIONS. INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS.

INSTALL GROUND COVER ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING; PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT



320 Chestnut Street Additions & Renovations

Construction Drawings
January 24, 2014

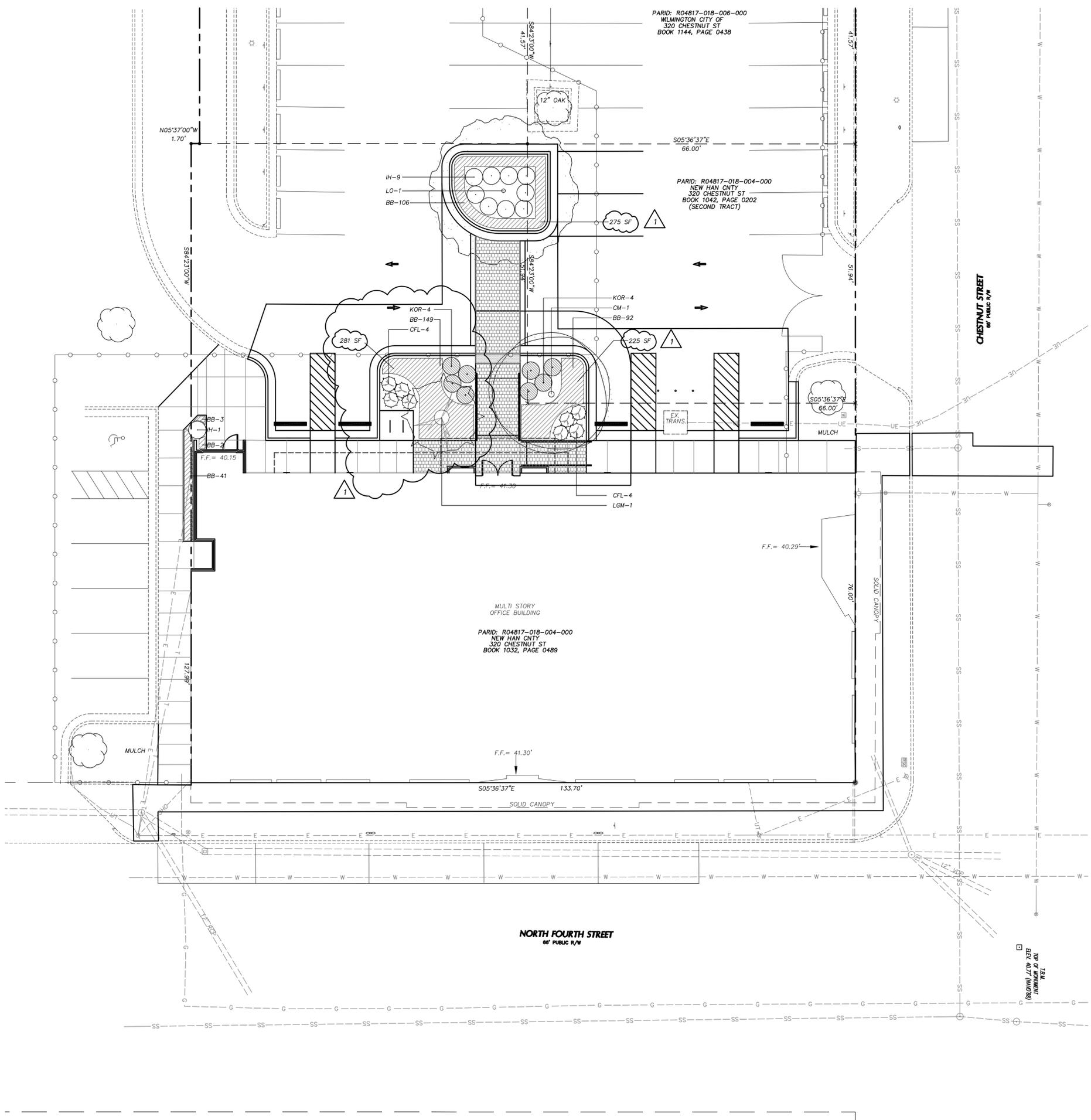
Revisions:

- 1 April 9, 2014 Add elevation notes per Engineering comment
- 2 May 7, 2014 Remove parking space, add bicycle racks.

SITE GRADING AND EROSION CONTROL PLAN

C3.1

3 of 6



PLANT LIST

KEY	QTY.	PLANT NAME	SIZE	REMARKS
TREES, SHRUBS AND GROUNDCOVERS				
BB	393	BIG BLUE LIRIOPE LIRIOPE MUSCARI 'BIG BLUE'	5-7 BIBS CONT.	SPACING 12" O.C.
CFL	8	CRIMSON FIRE LOROPETALUM LOROPETALUM CHINENSE 'CRIMSON FIRE'	15"-18" HT. CONT.	FULL PLANTS SPACING 3' O.C.
CM	1	CRAPE MYRTLE LAGERSTROEMIA INDICA x FAURIEI 'MUSKOGEE'	8'-9" HT. CONT.	3-5 TRUNK SPECIMEN
IH	9	SNOW WHITE INDIAN HAWTHORN RHAPHIOLEPIS UMBELLATA 'SNOW WHITE'	15"-18" HT CONT.	FULL PLANTS MATCHING 42" O.C.
KOR	8	DOUBLE KNOCK OUT ROSE ROSA 'RADTKO'	15"-18" HT CONT.	FULL PLANTS MATCHING 42" O.C.
LGM	1	LITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CAL. 8'-10" HT., B&B	FULL CROWN, MATCHING, STRAIGHT TRUNK
LO	1	LIVE OAK QUERUS VIRGINIANA	2" CAL. 10'-12" HT., B&B	FULL CROWN, MATCHING, STRAIGHT TRUNK

GRAPHIC SYMBOLS SUPERSEDE WRITTEN QUANTITIES WHERE DISCREPANCIES OCCUR.

LANDSCAPE NOTES

- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND THE WRITTEN SPECIFICATIONS.
- PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" OF TRIPLE SHREDDED HARDWOOD. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.)
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AT HIS COST FROM HIS OWN WATER SOURCE INCLUDING DURING PERIODS OF DROUGHT UNTIL PROJECT ACCEPTANCE. ANY WATERING OR MAINTENANCE REQUIRED AFTER PROJECT ACCEPTANCE SHALL BE AT OWNERS COST.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM PLANTED AREAS. IF DAMAGE OCCURS, THROUGH NO FAULT OF THE OWNER, AREAS SHALL BE RE-PLANTED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95-100% COVERAGE OR HAVE PROJECT ACCEPTANCE.
- SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTANTIATED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
- ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS SHOWN TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADD'L COST TO THE OWNER.

TOPSOIL

TOPSOIL IS TO BE PROVIDED FOR THE CONTRACT AND INSTALLED BY THE CONTRACTOR PRIOR TO THE SITE BEING TURNED OVER TO OWNER.

TOPSOIL SHALL BE PREMIXED AND PRESCREENED PRIOR TO PLACING.

TOPSOIL SHALL BE 3 PARTS SANDY-LOAM WITH A pH OF 5.5-6.5 RANGE AND 1 PART COMPOSTED PINE BARK ORGANIC MATERIAL.

A MINIMUM OF 4" TOPSOIL SHALL BE APPLIED IN DISTURBED AREAS AND A MINIMUM OF 12" TOPSOIL IS TO BE APPLIED IN ALL LANDSCAPE PLANT BED AREAS.

PRIOR TO TOPSOIL APPLICATION, THE CONTRACTOR SHALL SCARIFY THE SOIL AREAS WHERE TOPSOIL IS TO BE APPLIED TO A DEPTH OF 1 FOOT AND REMOVE AND HAUL OFF ALL CONSTRUCTION DEBRIS BEFORE SPREADING THE TOPSOIL.

NO SCARIFICATION OR SUBSOILING SHALL BE DONE WITHIN THE DRIPLINE OF ANY EXISTING TREE TO REMAIN.

TREE PROTECTION

PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES, AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. SEE SHEET CS.2 FOR TREE PROTECTION DETAIL.

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PE: C-1595



320 Chestnut Street Additions & Renovations

Construction Drawings
January 24, 2014

Revisions:

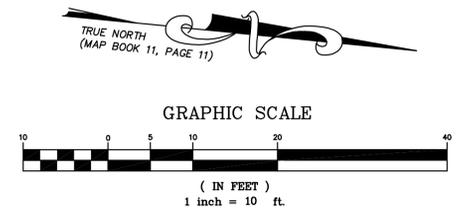
1 May 7, 2014
Remove parking space, add bicycle racks. Add notes.

SITE PLANTING PLAN

C4.1

4 of 6

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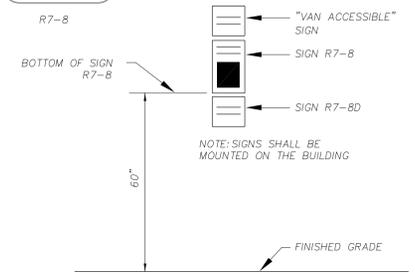




NOTE: MAXIMUM PENALTY SHALL BE PER LATEST FINE AMOUNT AS SPECIFIED BY LOCAL AUTHORITIES.

MAXIMUM PENALTY \$250

VAN ACCESSIBLE

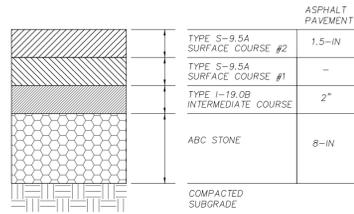


ALL SIGNS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES SPECIFICATIONS AND REQUIREMENTS

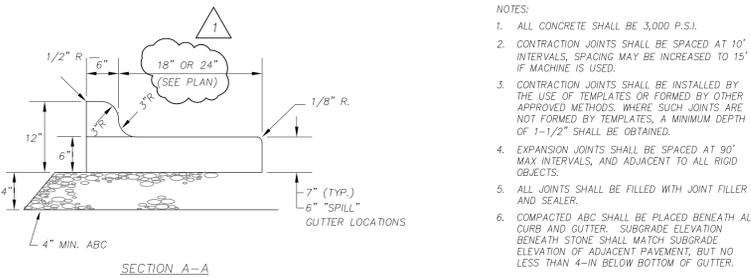
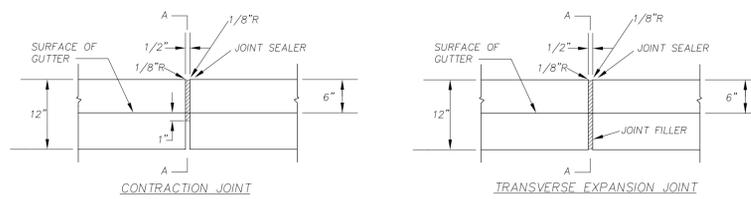
ACCESSIBLE PARKING SIGNAGE N.T.S.

NOTES:

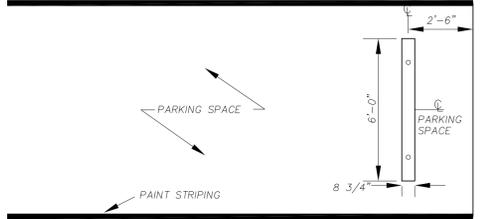
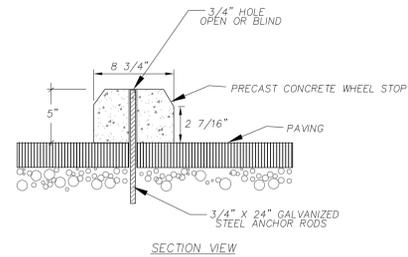
- SEE SPECIFICATIONS FOR PROOFROLLING, COMPACTION & TESTING REQUIREMENTS.
- DETAIL IS FOR ON-SITE PAVING OPERATIONS ONLY.
- THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.



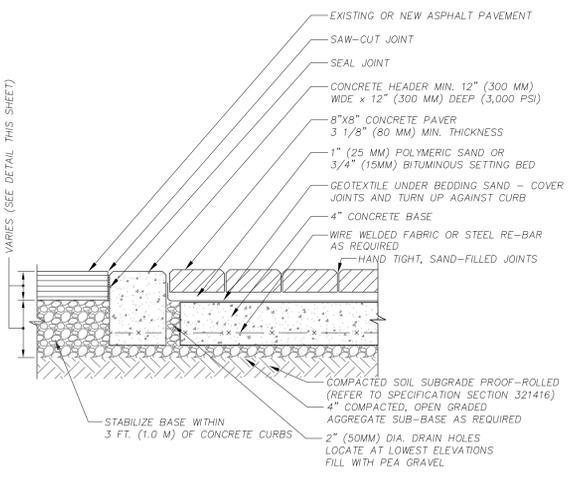
ASPHALT PAVEMENT N.T.S.



STANDARD CONCRETE CURB AND GUTTER N.T.S.

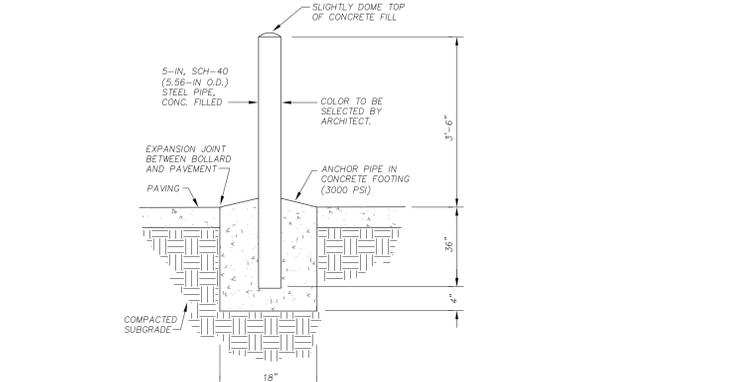


PRE-CAST CONCRETE WHEELSTOP N.T.S.

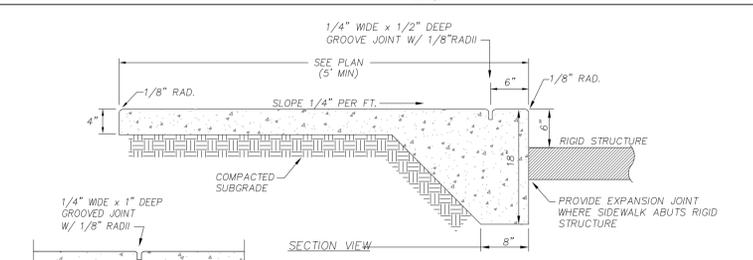


- NOTE:
- BASE THICKNESS AND REINFORCING VARIES WITH TRAFFIC, CLIMATE, AND SUBGRADE CONDITIONS.
 - CONCRETE BASE MINIMUM 2% SLOPE FROM CENTERLINE TO CURB.
 - DO NOT PROVIDE DRAIN HOLES TO SUBGRADE WHEN WATER TABLE IS LESS THAN 2 FT. (0.6 M) FROM TOP OF SOIL SUBGRADE. PROVIDE DRAIN HOLES TO CATCH BASINS.

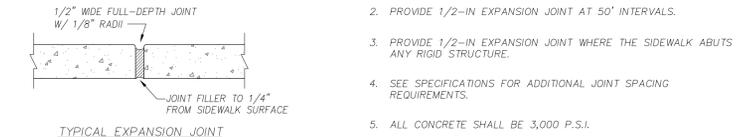
CONCRETE UNIT PAVERS—CROSSWALK N.T.S.



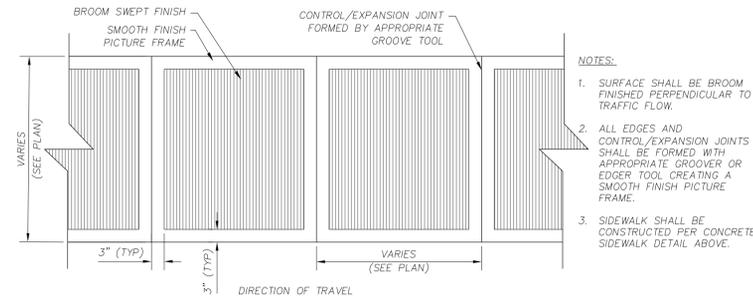
STEEL BOLLARD N.T.S.



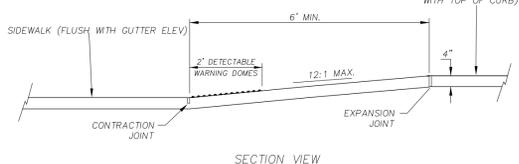
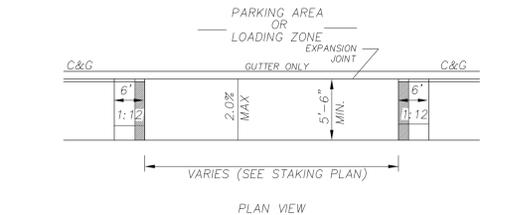
TYPICAL CONTROL JOINT N.T.S.



TYPICAL EXPANSION JOINT N.T.S.



ON-SITE CONCRETE SIDEWALK WITH PICTURE FRAME FINISH N.T.S.



- NOTES:
- DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
 - THE RAMP MAY BE BLACK IN COLOR OR ANY COLOR WITH A 70% CONTRAST RATIO.
 - REFER TO NCDOT STANDARD DETAIL 848005 FOR ADDITIONAL INFORMATION.
 - RAMP SHALL HAVE BRUSHED SLIP RESISTANT SURFACE.
 - ALL CONCRETE SHALL BE 3,000 P.S.I. WITH FIBER REINFORCING.
 - ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS.

RAMP WIDTH AREA IS VARIABLE	W	A	W+A+9'	X	B
6'	0.0'	6.8'	6.8'	6.0'	6.0'
7'	0.0'	7.8'	7.3'	6.5'	6.5'
8'	0.0'	8.8'	7.3'	6.5'	6.5'
9'	2.0'	7.8'	7.8'	5.0'	5.0'
5'	2.5'	8.3'	8.1'	4.6'	4.6'
5'	3.0'	8.8'	8.3'	4.4'	4.4'
5'	3.5'	9.3'	8.4'	4.1'	4.1'
5'	4.0'	9.8'	8.6'	3.8'	3.8'
5'	4.5'	10.3'	8.7'	3.4'	3.4'
5'	5.0'	10.8'	8.9'	3.1'	3.1'

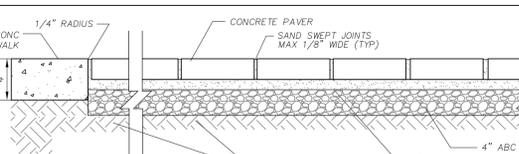
B = X - (A + 9')

B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (8.33%) SLOPE.

* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.

** BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPE 0.04.

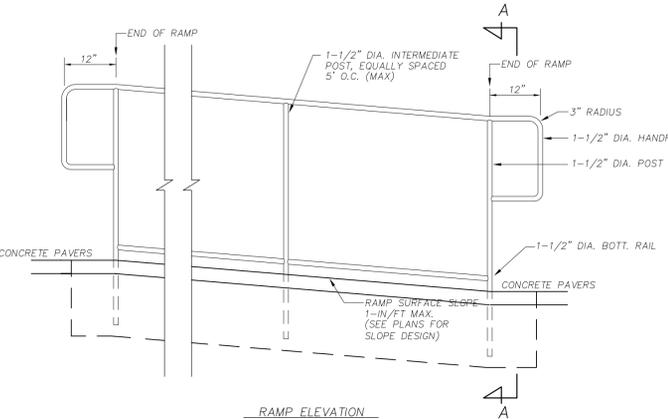
DETECTABLE WARNING DOMES PRECAST CLASS 'B' CONCRETE



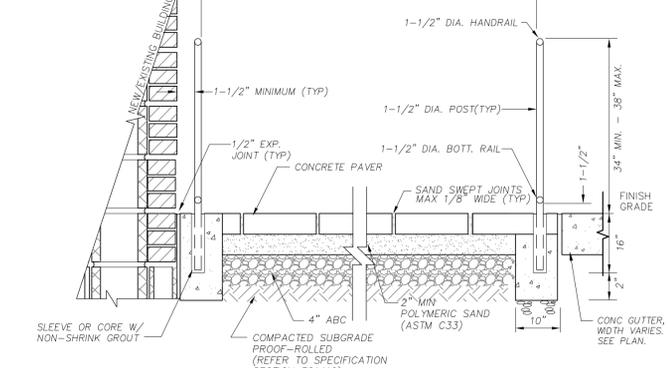
- SECTION - CONCRETE PAVER
- NOTES:
- UNIT PAVERS TO MATCH THE COLUMN STONE AND SUBMITTED TO ARCHITECT FOR APPROVAL.
 - UNIT PAVES SHALL BE LIGHT-TRAFFIC PAVING BRICK; SOLID BRICK COMPLYING WITH ASTM C902 AND THE FOLLOWING:
WEATHER CLASS: SX
TRAFFIC TYPE: 1
APPLICATION: PS
 - PROVIDE EXPANSION JOINT WHERE UNIT PAVERS ABUT A RIGID OBJECT (CURB AND GUTTER, CONCRETE WALLS, ETC.). SEE CURB AND GUTTER DETAIL FOR EXPANSION JOINT REQUIREMENTS.

CONCRETE UNIT PAVERS N.T.S.

- NOTES:
- CONCRETE SHALL BE 3,000-PSI @ 28 DAYS.
 - PROVIDE NO-SLIP BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.
 - HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NC BUILDING CODE VOLUME 1-C, CHAPTER 5.4.2. HANDRAILS SHALL BE BLACK IRON - PAINTED.
 - PROVIDE 1-1/2" MINIMUM CLEAR SPACE BETWEEN WALL AND HANDRAIL.
 - 12 IN. SLEEVES SHALL BE HOT-DIP GALVANIZED STEEL PIPE (ASTM A53) NOT LESS THAN 1/2 IN. MORE THAN OUTSIDE DIMENSION OF POST AND FLAT STEEL PLATE FORMING BOTTOM CLOSURE. FILL VOIDS BETWEEN POST AND SLEEVE WITH NONSHRINK ANCHORING CEMENT MIXED AND PLACED TO COMPLY WITH ANCHORING MATERIAL MANUFACTURER'S RECOMMENDATIONS. FINISHED SLOPE TO DRAIN AWAY FROM POST. CONTRACTOR MAY ALSO CORE AND FILL WITH NON-SHRINK GROUT AS INDICATED ON RAMP SECTION 'A'.



RAMP ELEVATION



RAMP SECTION 'A'

CONCRETE ACCESSIBLE RAMP WITH HANDRAILS N.T.S.

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320 Chestnut Street Additions & Renovations

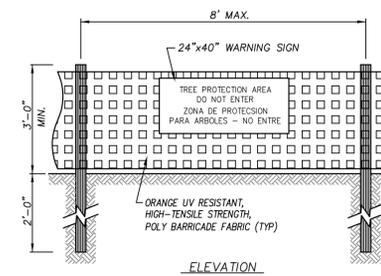
Construction Drawings
January 24, 2014

Revisions:
1. April 9, 2014
Reconcile curb dimension per Engineering comment

SITE DETAILS

C5.1
5 of 6

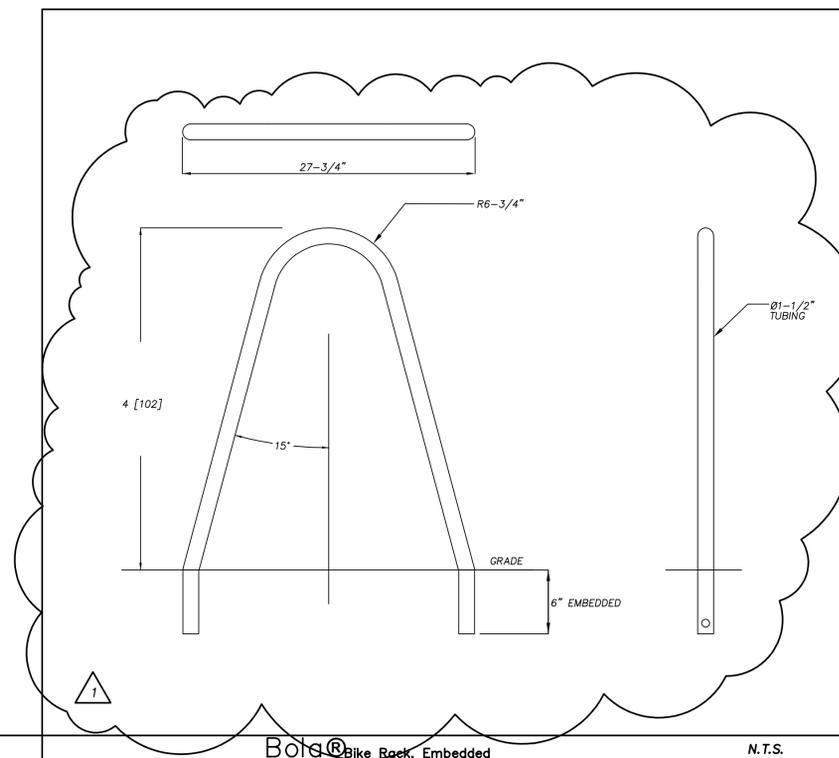
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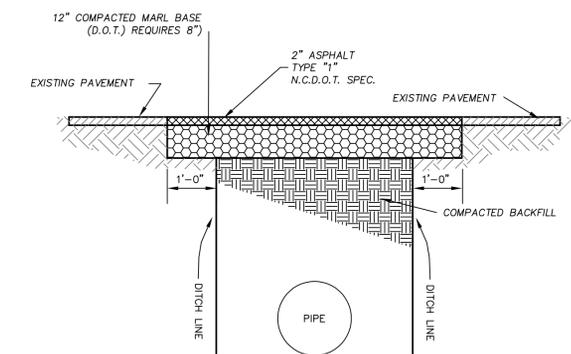
NOTES:

1. INSTALL TREE PROTECTION FENCING PRIOR TO PERFORMING ANY CLEARING OF THE SITE.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
3. LETTERS TO BE 3" TALL AND CLEARLY LEGIBLE.
4. SIGNS SHALL BE PLACED AT 100' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 100' ON CENTER THEREAFTER.
5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.

TREE PROTECTION FENCE N.T.S.



Bolted Bike Rack, Embedded N.T.S.



NOTES:

- * BACKFILL TO BE INSTALLED IN 6" LIFTS (MAXIMUM) AND COMPACTED TO A MINIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED A.A.S.H.T.O. STANDARD METHOD T-99
- * CUT - BACK TO BE PREPARED AFTER TRENCH BACKFILLING AND COMPACTION

STANDARD SHOWING METHOD MAKING PAVEMENT REPAIRS WHERE PIPE IS INSTALLED

PAVEMENT REPAIRS

SD-1-05 N.T.S.

320 Chestnut Street Additions & Renovations

Construction Drawings
January 24, 2014

Revisions:

1 May 7, 2014
Add bicycle racks.

SITE DETAILS

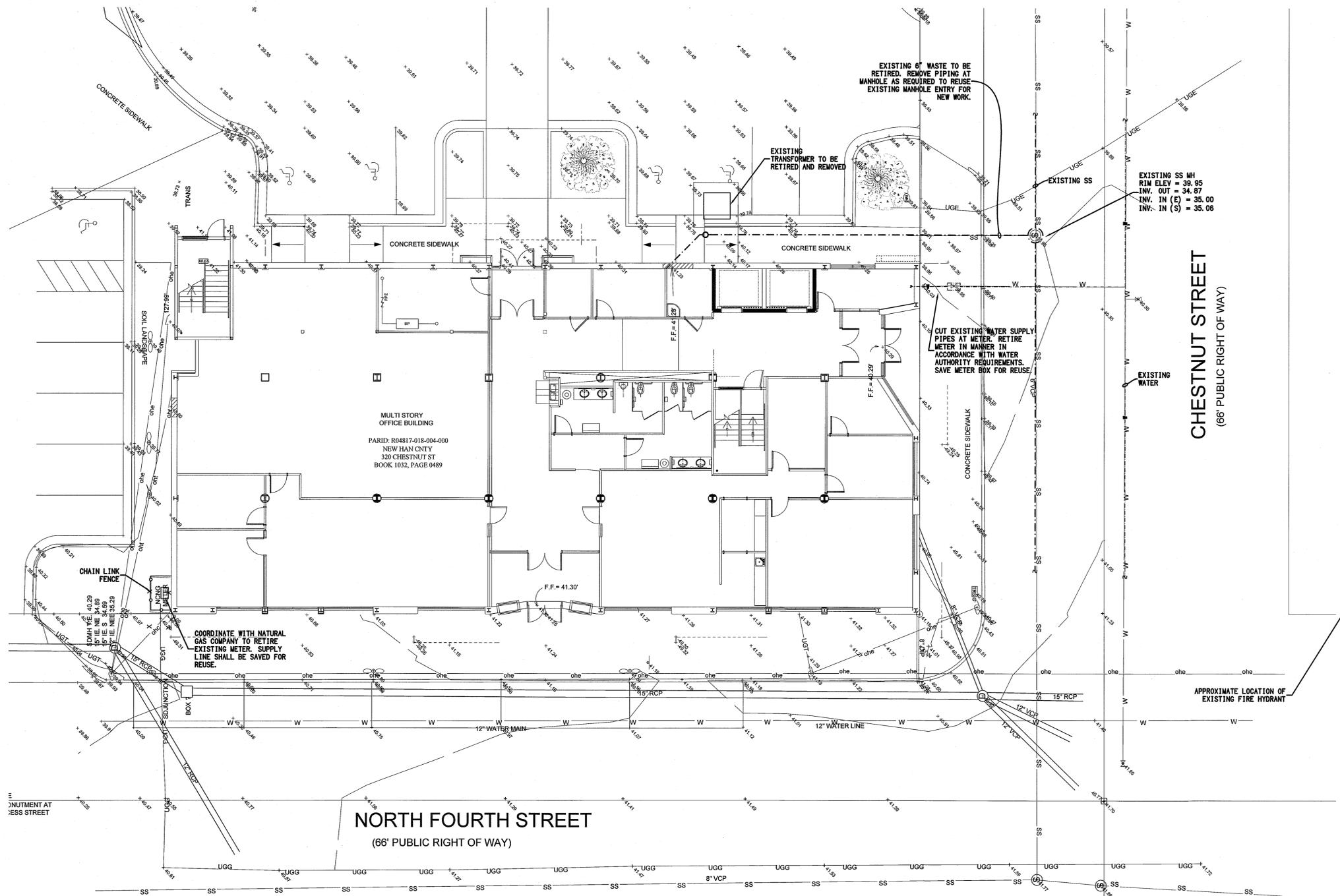
C5.2
6 of 6

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2/21/14



A
PE1 EXISTING UTILITY DEMOLITION SITE PLAN
 SCALE: 1" = 10'

320 Chestnut Street
 Renovation
 New Hanover County

Construction Drawings
 January 24, 2014

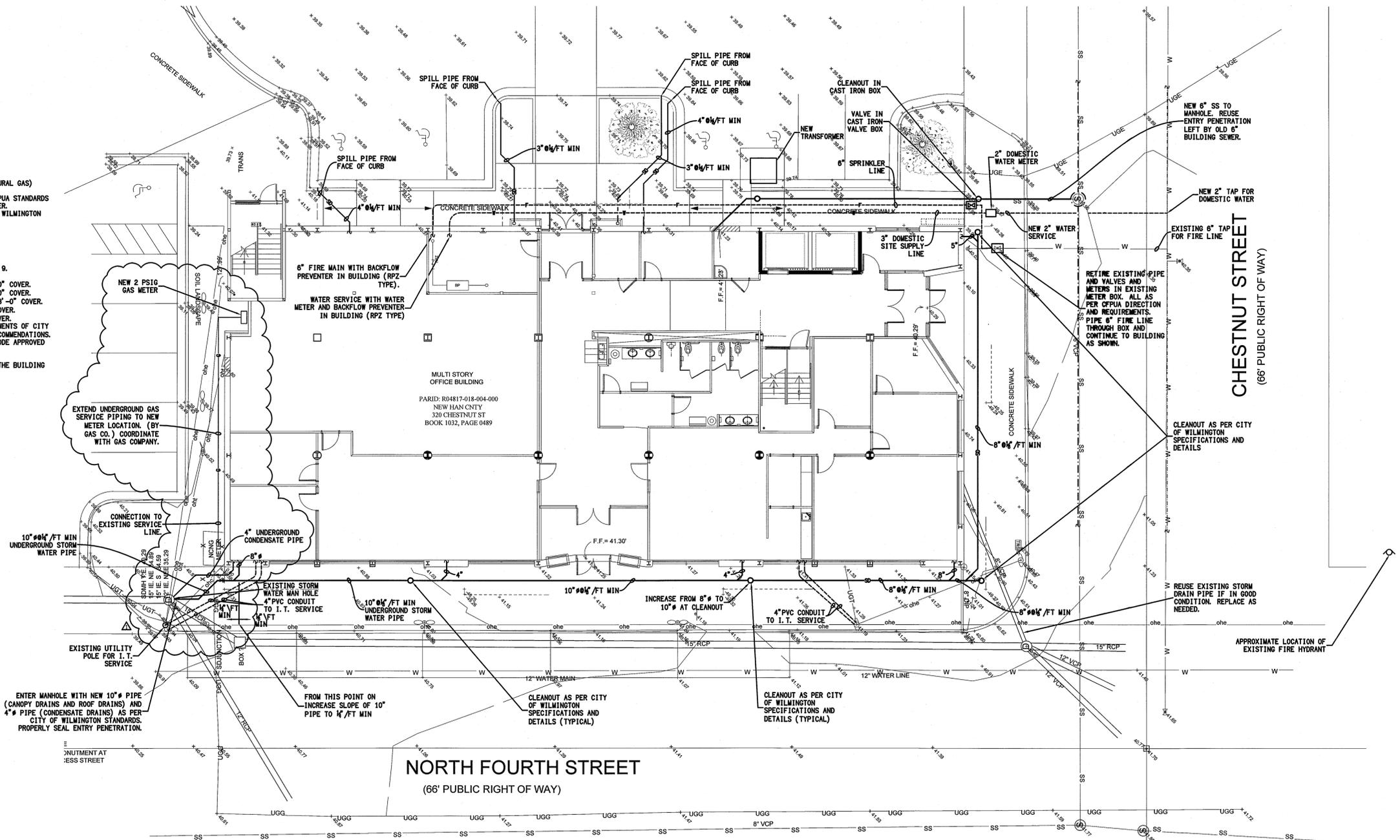
Revisions:

Existing Site Work

PE1
 of 2
 Sheets



- NOTES:
- ALL NATURAL GAS PIPING SHALL BE INSTALLED BY GAS COMPANY (PIEDMONT NATURAL GAS) STRICTLY AS PER GAS COMPANY STANDARDS.
 - ALL WASTE AND WATER PIPING IN RIGHT OF WAY SHALL BE STRICTLY AS PER CPWA STANDARDS AND SPECIFICATIONS. SEE SHEETS FOR ALL CPWA DETAILS FOR WASTE AND WATER.
 - ALL STORM WATER AND CONDENSATE PIPING SHALL BE STRICTLY AS PER CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.
 - SITE PIPING ON PRIVATE PROPERTY SHALL BE AS FOLLOWS:
SPRINKLER WATER - 6900 PVC CLASS 150 (DR 18) - PUSH JOINT.
DOMESTIC WATER - SCH 40 PVC PRESSURE PIPE - SOLVENT WELD JOINTS.
SANITARY SEWER - SCH 40 PVC, ASTM D1785 - SOLVENT WELD JOINTS.
STORM DRAIN PIPING - CLASS 51 DUCTILE IRON - PUSH JOINT.
ALL PIPING SHALL HAVE 3'-0" COVER MINIMUM EXCEPT STORM DRAIN. SEE NOTE 9.
 - SITE PIPING ON PUBLIC PROPERTY INSIDE RIGHT OF WAY SHALL BE AS FOLLOWS:
SPRINKLER WATER - 6900 PVC CLASS 150 (DR 18) - PUSH JOINT. MINIMUM 3'-0" COVER.
DOMESTIC WATER - POLYETHYLENE (PE) TUBING, SDR 9, 200 PSI, MINIMUM 3'-0" COVER.
SANITARY SEWER - SCH 40 PVC, ASTM D1785 - SOLVENT WELD JOINTS. MINIMUM 3'-0" COVER.
STORM DRAIN PIPING - CLASS 51 DUCTILE IRON PUSH JOINT. MINIMUM 2'-0" COVER.
CONDENSATE PIPING - CLASS 51 DUCTILE IRON PUSH JOINT. MINIMUM 2'-0" COVER.
 - ALL EXCAVATION AND BACKFILL FOR UTILITY PIPING SHALL BE AS PER REQUIREMENTS OF CITY OF WILMINGTON AND/OR CPWA AND PIPE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. TRANSITION FITTINGS BETWEEN DIFFERENT PIPING MATERIALS SHALL BE WITH CODE APPROVED FITTINGS DESIGNED STRICTLY FOR THAT PURPOSE.
 - DISINFECT WATER PIPING AND MAINS AS PER CPWA SPECIFICATIONS.
 - THE BACK OF BUILDING CANOPY AND THE 2ND FLOOR ROOF DRAIN PIPING EXITS THE BUILDING SHALLOW AND ROUTES TO DISCHARGE AT FACE OF CURB.



- LEGEND
- SD - STORM DRAIN PIPE
 - F - SPRINKLER PIPE
 - W - DOMESTIC WATER PIPE
 - W - WASTE PIPE
 - C - CLEANOUT
 - COND - CONDENSATE PIPE
 - G - GAS PIPE

NORTH FOURTH STREET
(66' PUBLIC RIGHT OF WAY)

CHESTNUT STREET
(66' PUBLIC RIGHT OF WAY)

A NEW SITE PLAN
PE2 SCALE: 1" = 10'

320 Chestnut Street Renovation
New Hanover County

Construction Drawings
January 24, 2014

Revisions:
3/21/14 GENERAL REVISIONS

New Site Work

PE2
of 2
Sheets

DATE: 03/27/2014 DRAWING LOCATION: F:\PROJECTS\320 CHESTNUT ST\DRAWINGS\030302.dwg

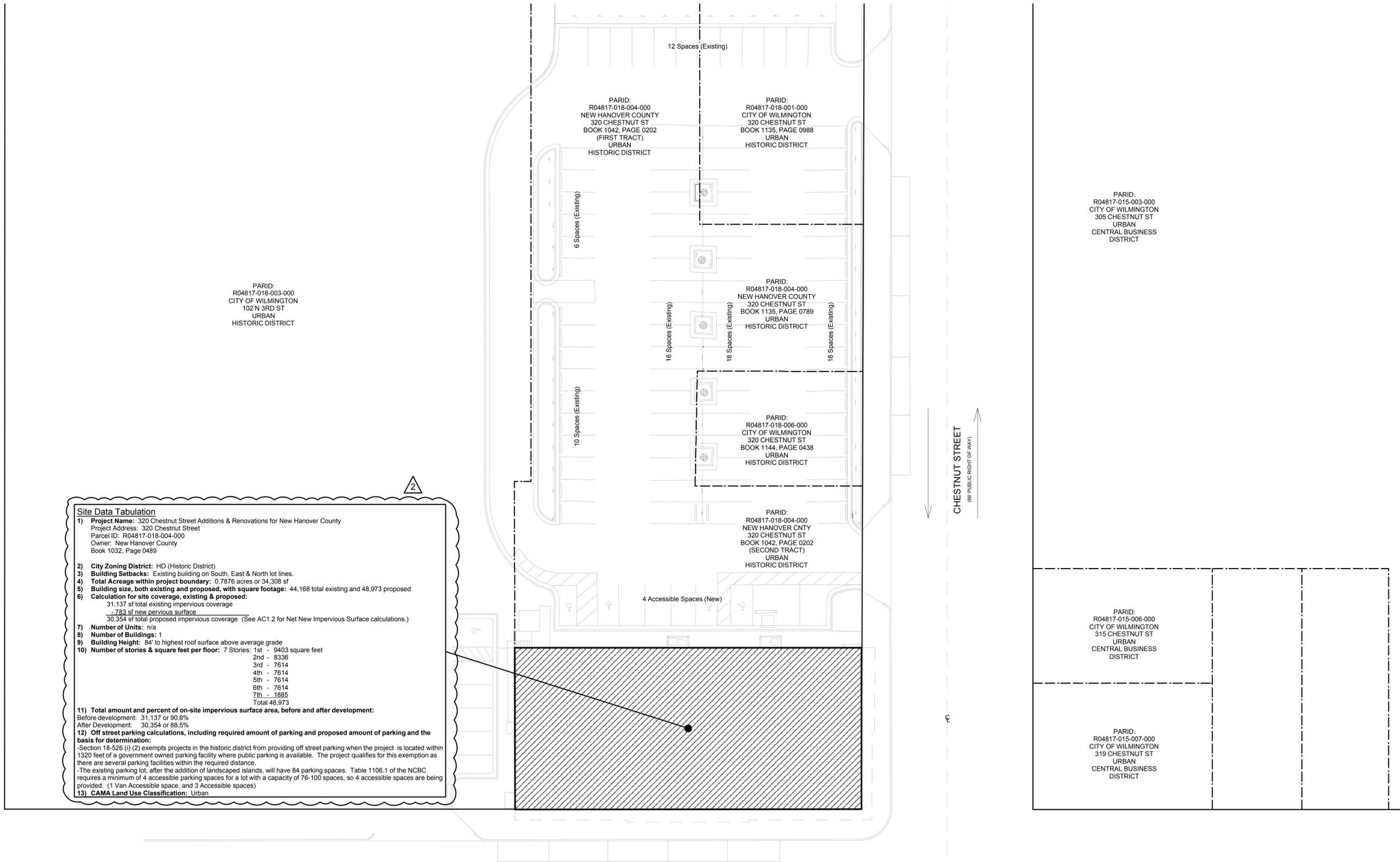


320 Chestnut Street Additions & Renovations
New Hanover County

Construction Drawings
January 24, 2014

- Revisions:
- 15 May, 2014
Parking note added.
 - 26 June, 2014
Site Data Tabulation Added.

Site & Adjacent Property Owners



Site Data Tabulation

- 1) **Project Name:** 320 Chestnut Street Additions & Renovations for New Hanover County
Project Address: 320 Chestnut Street
Parcel ID: R04817-018-004-000
Owner: New Hanover County
Book 1032, Page 0489
- 2) **City Zoning District:** HD (Historic District)
- 3) **Building Setbacks:** Existing building on South, East & North lot lines.
- 4) **Total Acreage within project boundary:** 0.7876 acres or 34,308 sf
- 5) **Building size, both existing and proposed, with square footage:** 44,168 total existing and 48,973 proposed
- 6) **Calculation for site coverage, existing & proposed:**
31,137 sf total existing impervious coverage
- 783 sf new impervious surface
30,354 sf total proposed impervious coverage (See AC1.2 for Net New Impervious Surface calculations.)
- 7) **Number of Units:** n/a
- 8) **Number of Buildings:** 1
- 9) **Building Height:** 84' to highest roof surface above average grade
- 10) **Number of stories & square feet per floor:** 7 Stories: 1st - 9403 square feet
2nd - 8336
3rd - 7614
4th - 7614
5th - 7614
6th - 7614
7th - 1885
Total 48,973
- 11) **Total amount and percent of on-site impervious surface area, before and after development:**
Before development: 31,137 or 90.8%
After Development: 30,354 or 88.5%
- 12) **Off street parking calculations, including required amount of parking and proposed amount of parking and the basis for determination:**
-Section 18-526 (i) (2) exempts projects in the historic district from providing off street parking when the project is located within 1320 feet of a government owned parking facility where public parking is available. The project qualifies for this exemption as there are several parking facilities within the required distance.
-The existing parking lot, after the addition of landscaped islands, will have 84 parking spaces. Table 1106.1 of the NCBC requires a minimum of 4 accessible parking spaces for a lot with a capacity of 76-100 spaces, so 4 accessible spaces are being provided. (1 Van Accessible space, and 3 Accessible spaces)
- 13) **CAMA Land Use Classification:** Urban

PRINCESS STREET
(66' PUBLIC RIGHT OF WAY)

CHESTNUT STREET
(66' PUBLIC RIGHT OF WAY)

NORTH FOURTH STREET
(66' PUBLIC RIGHT OF WAY)

PRINCESS STREET
(66' PUBLIC RIGHT OF WAY)

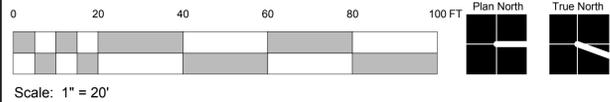
CHESTNUT STREET
(66' PUBLIC RIGHT OF WAY)

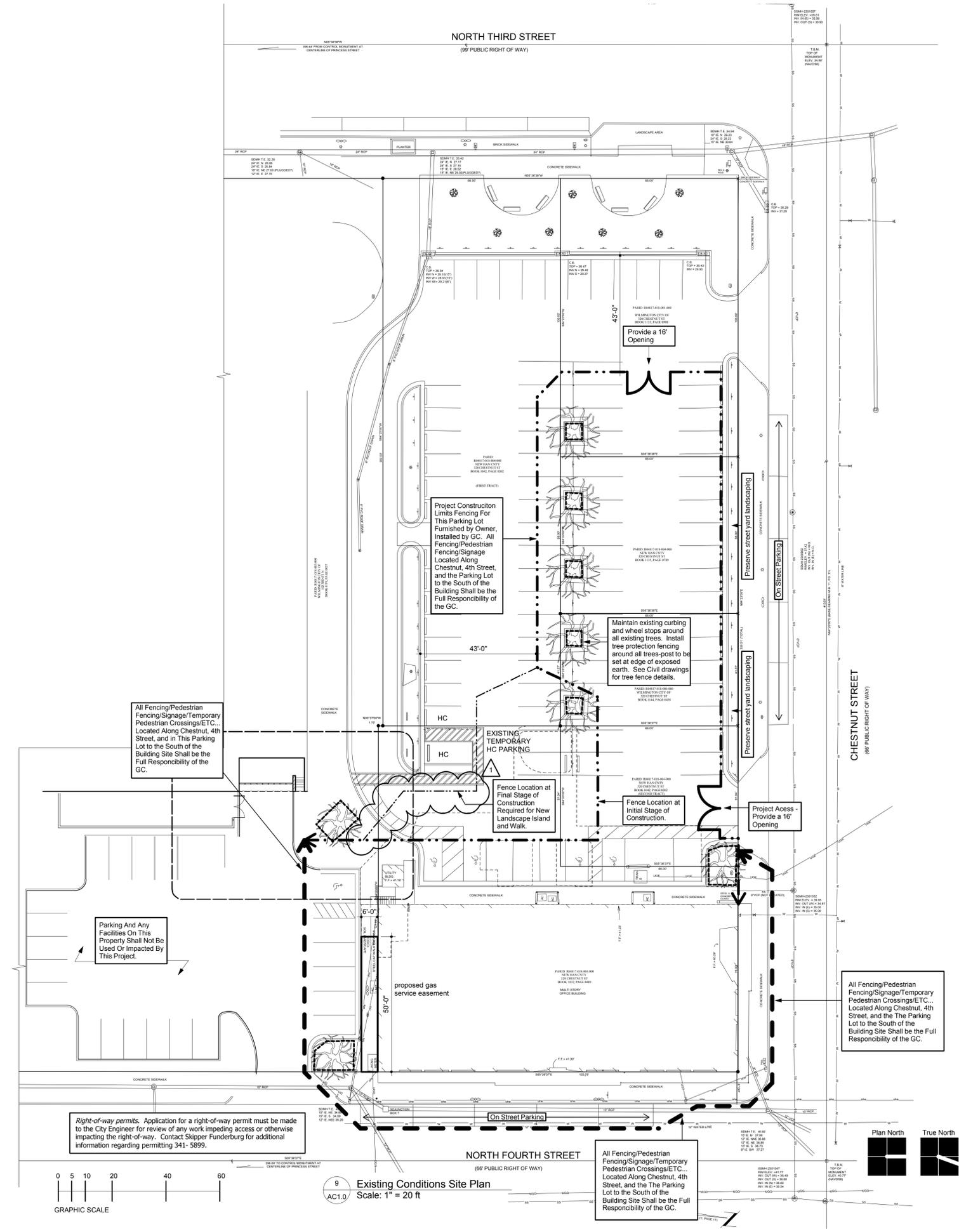
PARID:
R04817-019-003-000
CITY OF WILMINGTON
138 N 4TH ST
URBAN
HISTORIC DISTRICT

PARID:
R04817-019-002-000
BELL SOUTH TELECOMMUNICATIONS
130 N 4TH ST
URBAN
HISTORIC DISTRICT

PARID:
R04817-019-001-000
NEW MARKET LLC
402 CHESTNUT ST
URBAN
HISTORIC DISTRICT

PARID:
R04817-014-005-000
BARRISTER'S ROW COMMON AREA
401 CHESTNUT ST
URBAN
CENTRAL BUSINESS DISTRICT





1

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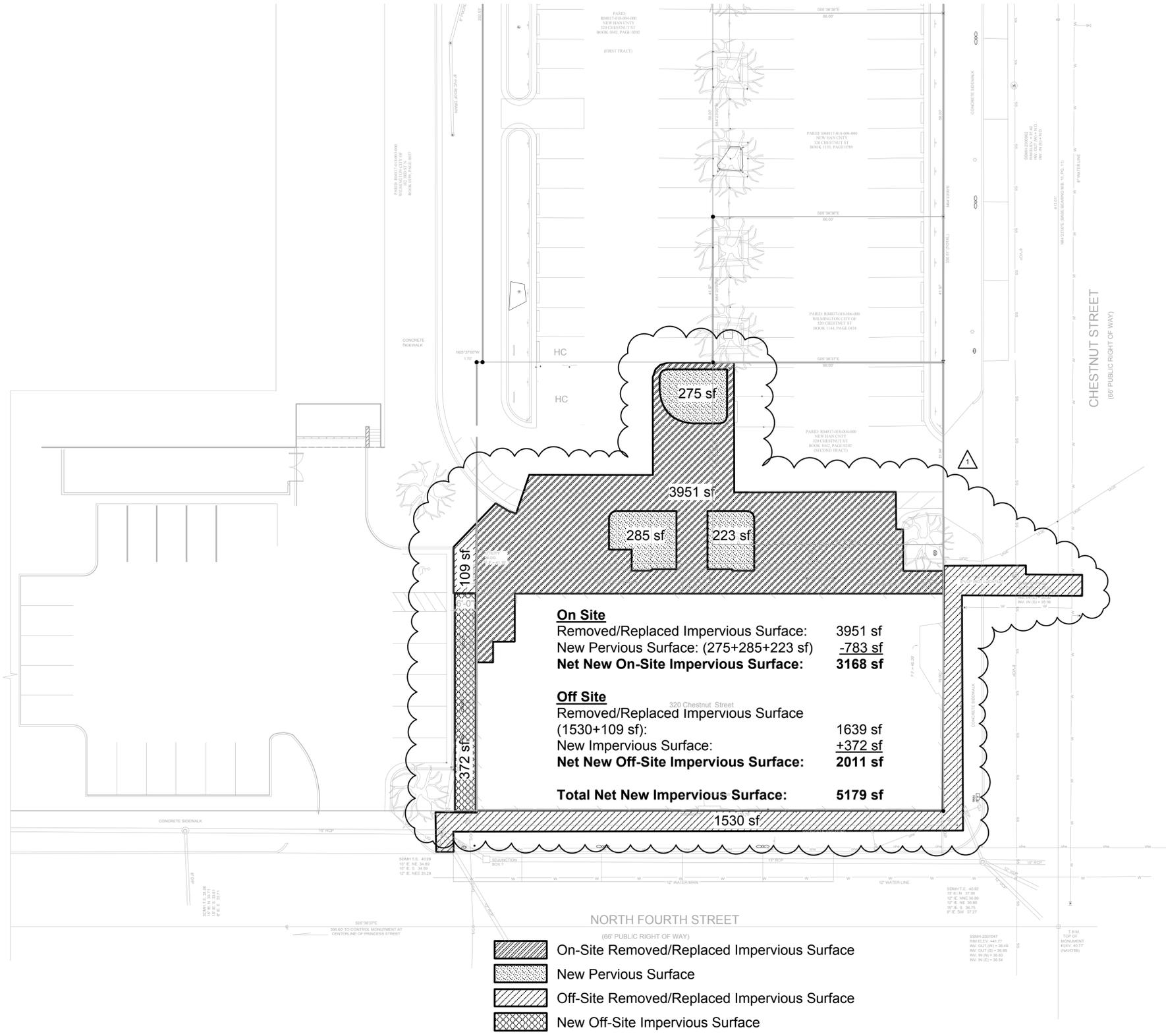
320 Chestnut Street Additions & Renovations
New Hanover County

Construction Drawings
January 24, 2014

Revisions:
26 June, 2014
Construction fence revised & Dumpster Alternate Bid Not Accepted

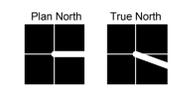
Construction Fence Plan and Off Site Improvements

AC1.1
of 1 Sheets
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-  On-Site Removed/Replaced Impervious Surface
-  New Pervious Surface
-  Off-Site Removed/Replaced Impervious Surface
-  New Off-Site Impervious Surface

9 Impervious Surface Calculations
AC1.2 Scale: 1/16" = 1'-0"



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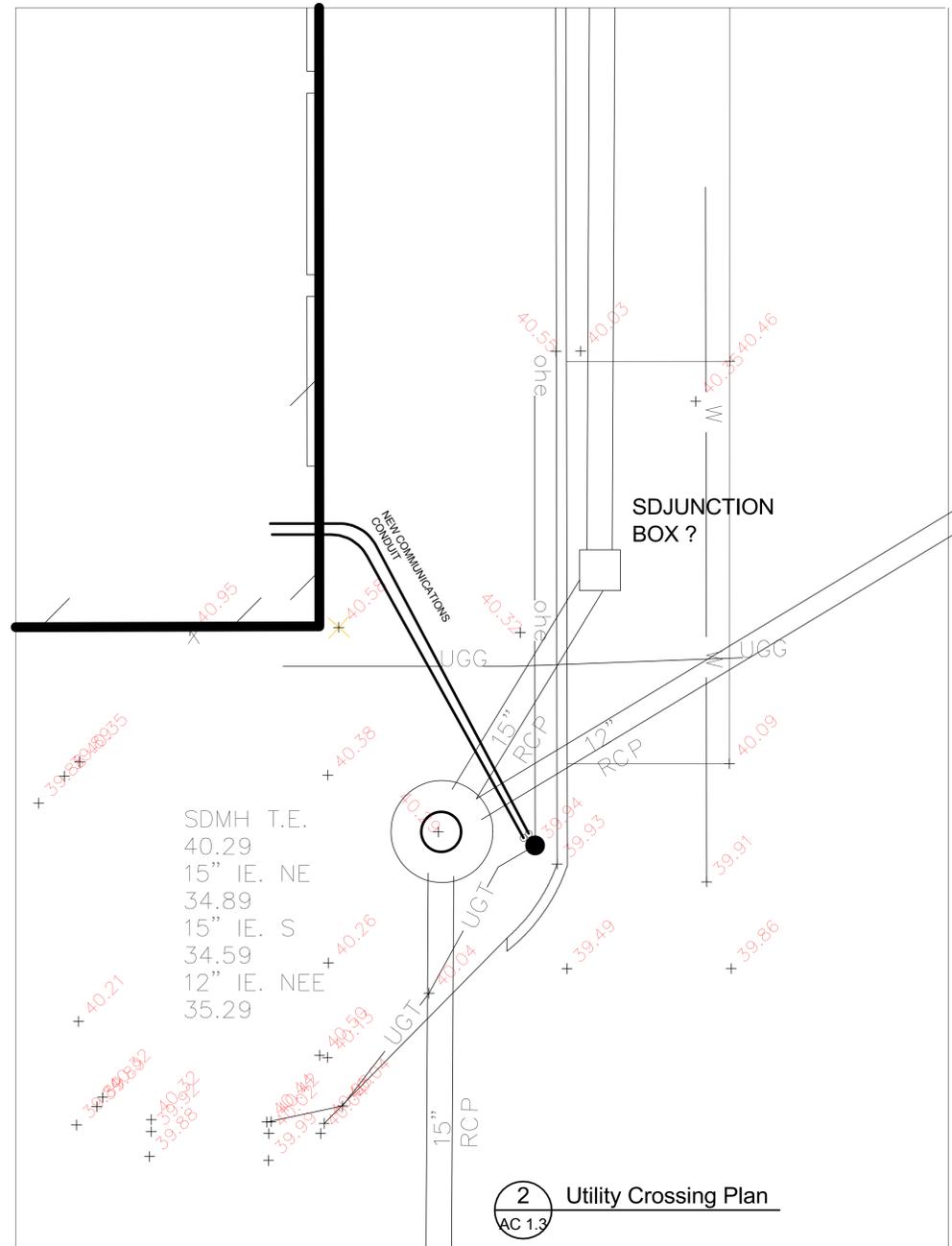
320 Chestnut Street
Additions & Renovations
New Hanover County

Construction Drawings
January 24, 2014

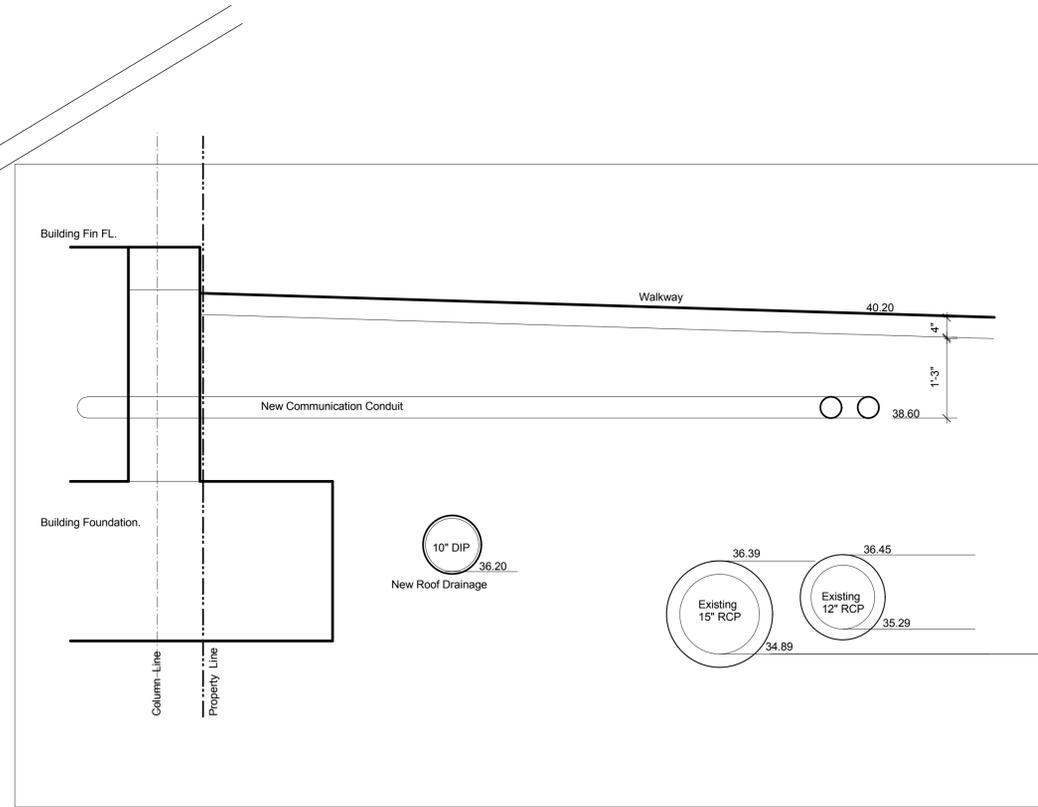
Revisions:
1 26 June, 2014
Impervious calcs revised.

Impervious Surface Calculation

AC1.2
of 1 Sheets



2 Utility Crossing Plan
AC 1.3



1 Utility Crossing Section
AC 1.3

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Revisions:

Communications
Service Conduit